



Historical Commission Meeting

Thursday, January 11, 2024 at 7:00 PM

Remote Participation Only

Agenda

Pursuant to Chapter 2 of the Acts of 2023, the meeting and public hearing will be conducted with remote opportunities for participation. Remote participation and access methods include:

ACCESS INFORMATION:

- A. This meeting will be held on January 11, 2024 at 7:00 pm. Location: Remote Participation Only
- B. The meeting will be televised through WCATV (Watertown Cable Access Television): <http://vodwcatv.org/CablecastPublicSite/watch-now?site=3>
- C. The Public may join the virtual meeting online: <https://watertown-ma.zoom.us/j/95648117955>
- D. Public may join the virtual meeting audio only by phone: (877) 853-5257 or (888) 475-4499 (Toll Free) and enter Webinar ID: 956 4811 7955
- E. Public may comment through email: sjenness@watertown-ma.gov
- F. Please Visit the Historical Commission Website here: <https://www.watertown-ma.gov/214/Historical-Commission>

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- 1. Acceptance of Minutes
 - A. Review and acceptance of the minutes from the November 9, 2023, Historical Commission meeting.
 - 2. Public Hearing-
 - A. 21 Fayette St.- to determine if the house is preferably preserved and if a demolition delay will be imposed. James Patnaude, Applicant
 - 3. CPC Update
 - 4. Agent Report

Joseph Panto

Elise Loukas
Chair

Richard Glenn

Thomas Melone

Marilynne Roach

Edward G. McCourt

Susan Steele

Matthew Walter

Susan Steele



City of Watertown
Administration Building
149 Main Street
Watertown, Massachusetts 02472
Historical Commission
(617) 972-6426 • Fax: (617) 972-6484

Susan C. Jenness, Clerk
sjenness@watertown-ma.gov

TO: Paul Johnson, Inspector of Buildings

FROM: Steve Magoon, Director of Community Development and Planning, Assistant City Manager

RE: 21 Fayette St.

DATE: December 7, 2023

Pursuant to §§153.03 and 153.04 of the Watertown Demolition Delay Ordinance, the Historical Commission Chair and Chair's designee have concluded their preliminary review of the pending application for demolition of the House at 21 Fayette St.

The Chair and Chair's designee agree that a public hearing before the Historical Commission is required.

<i>Property</i>	<i>Preservation Status</i>	<i>Demolition Application</i>
21 Fayette St.	Public hearing before Historical Commission necessary	Demolition application may not proceed at this time.

CC: James Patnaude
Tony Mancini, Zoning Enforcement Officer
Elise Loukas, HC Chair

NOTES

LEGEND

- 1. HORIZONTAL DATUM IS MASS. STATE PLANE
- 2. VERTICAL DATUM IS NAVD88
- 3. ALL DIMENSIONS TO STRUCTURES ARE TO SIDING UNLESS OTHERWISE NOTED.
- 4. THE PROPOSED STRUCTURE SHOWN WAS TAKEN FROM A CADD DRAWING PROVIDED BY ROB PACCIONE, RP ARCHITECTURAL STUDIO RECIEVED OCTOBER 30, 2023
- 5. GAS SERVICE APPEARS PRESENT ON THE SITE HOWEVER NO OBSERVABLE EVIDENCE WAS FOUND TO DETERMIN LOCATION.
- 6. THE LOCATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THIS PLAN IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, RECORD PLANS, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

- PROPERTY LINE
- ABUTTERS
- EDGE OF PAVEMENT
- CONCRETE CURB
- SEWER
- WATER
- O.H.W.
- CONTOUR MAJOR
- CONTOUR MINOR
- ELECTRIC METER
- UTILITY POLE
- WATER SHUT OFF

LOT AREA: 11,645 SF

EXISTING BUILDING COVERAGE: 2,180.73 SF (18.7%)
PROPOSED BUILDING COVERAGE: 3,018.66 SF (25.9%)

EXISTING IMPERVIOUS COVERAGE: 4,475.32 SF (38.4%)
PROPOSED IMPERVIOUS COVERAGE: 5,400 SF (43.4%)

EXISTING OPEN SPACE: 7,169.68 SF (61.6%)
PROPOSED OPEN SPACE: 6,245 SF (53.6%)

EXISTING AVERAGE GRADE: EL=39.50'

ZONE - T
MINIMUM AREA = 5,000 SF
MAX. BUILDING COVERAGE = 30%
MAX. IMPERVIOUS COVERAGE = 85%
MINIMUM OPEN SPACE = 15%
MINIMUM FRONTAGE = 50'
FRONT SETBACK = 15'
SIDE SETBACK = 12/10'
REAR SETBACK = 20'

PARCEL ID: 304 19X 77
N/F CHERKASOVA, ELENA
BK.60567 PG.382

PARCEL ID: 304 6 C
N/F ELKINS, CAROLINE
BK.70689 PG.263

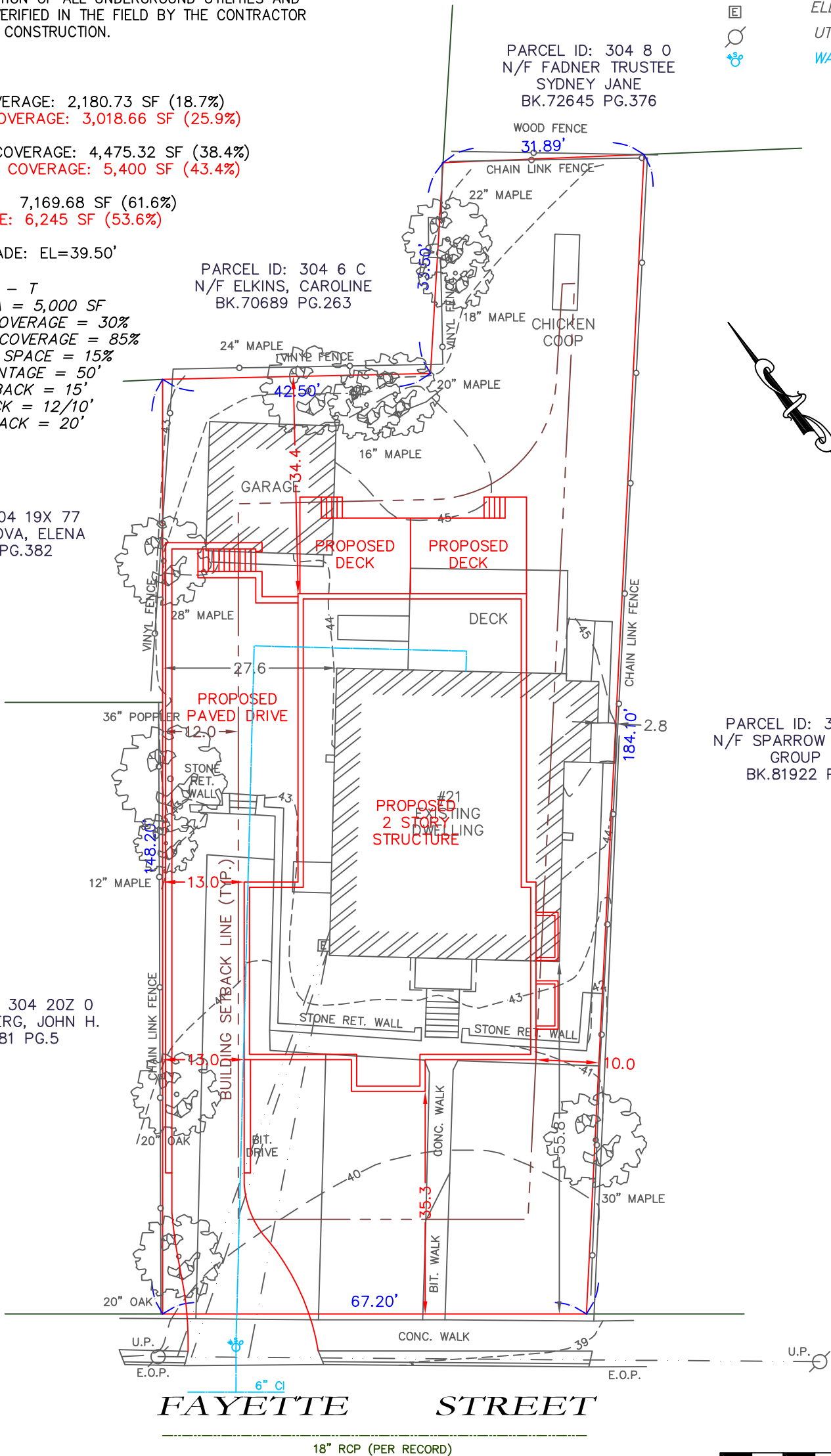
PARCEL ID: 304 8 0
N/F FADNER TRUSTEE
SYDNEY JANE
BK.72645 PG.376

PARCEL ID: 304 4A 2
N/F SPARROW PROPERTY
GROUP LLC
BK.81922 PG.255

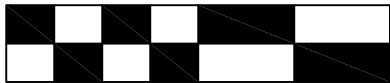
PARCEL ID: 304 20Z 0
N/F ORENBURG, JOHN H.
BK.25981 PG.5

James Patnaude

Nazar Vincent



DEED REFERENCE, BK: 47413 PG: 419
PLAN REFERENCE, PB: 334 PL: 11





D. O'BRIEN

LAND SURVEYING

480 WEST CENTRAL ST. EST 1996
FRANKLIN, MA 02038 508-541-0048

BUILDING PERMIT PLAN
21 FAYETTE ST
WATERTOWN, MA MIDDLESEX COUNTY

Dennis O'Brien P.L.S.

SCALE: 1:20'	DATE: 10/13/2023	REVISED: 11/3/2023	DRAWN BY: J.A.A.	CHECKED BY: D.O.
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21 Fayette st
Unit A and B

Google



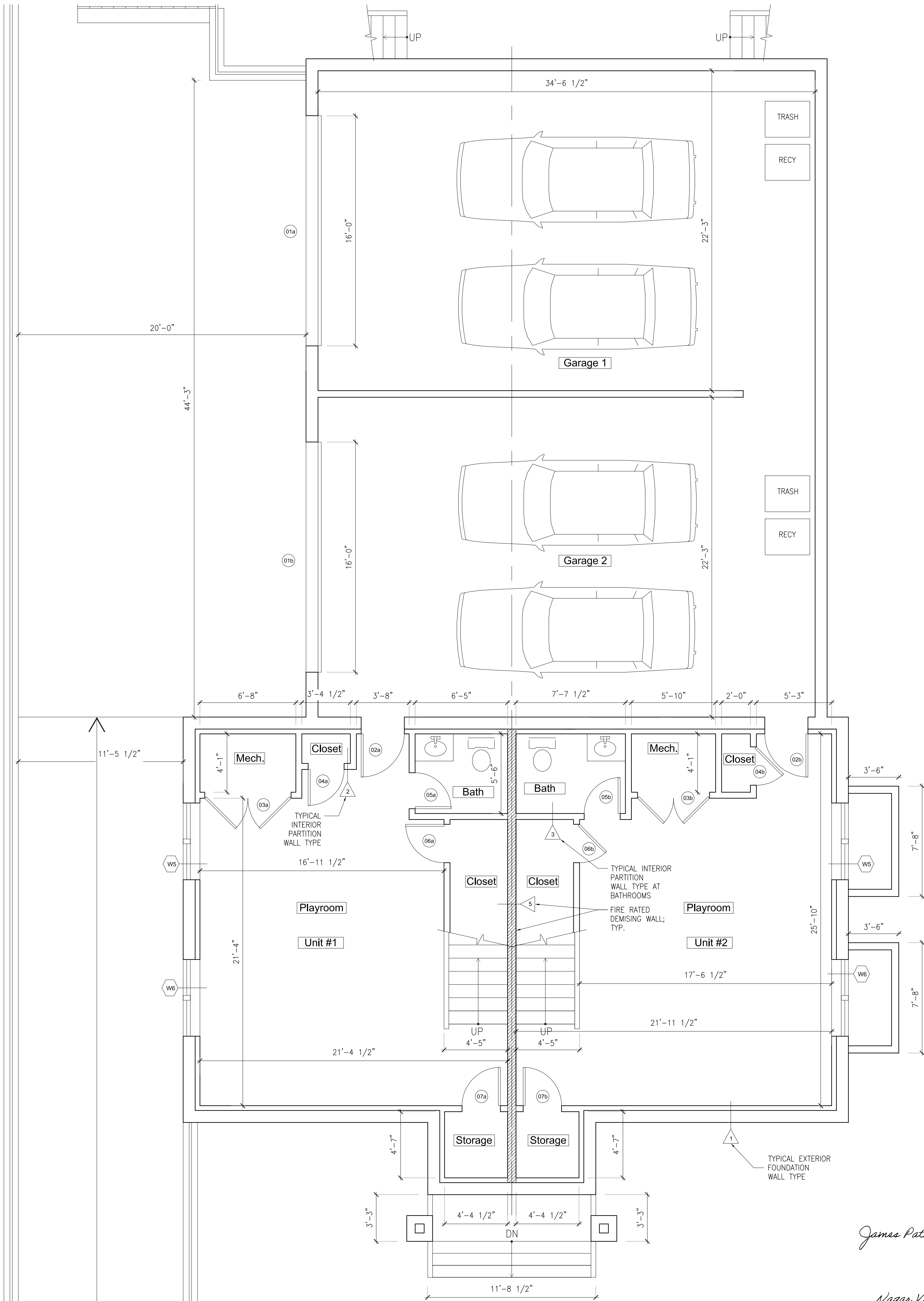


17-19 Fayette



27 Fayette
House to the left
of

Google

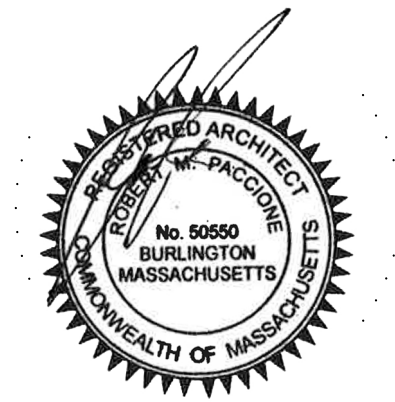


1 Proposed Basement Plan
Scale: 1/4" = 1'-0"

PROJECT:
21 Fayette Street - Single Family Home
New Construction
Watertown, MA

RP Architectural Studio

78 Highland Circle
Wayland, MA 01778
Tel. 617-794-7759

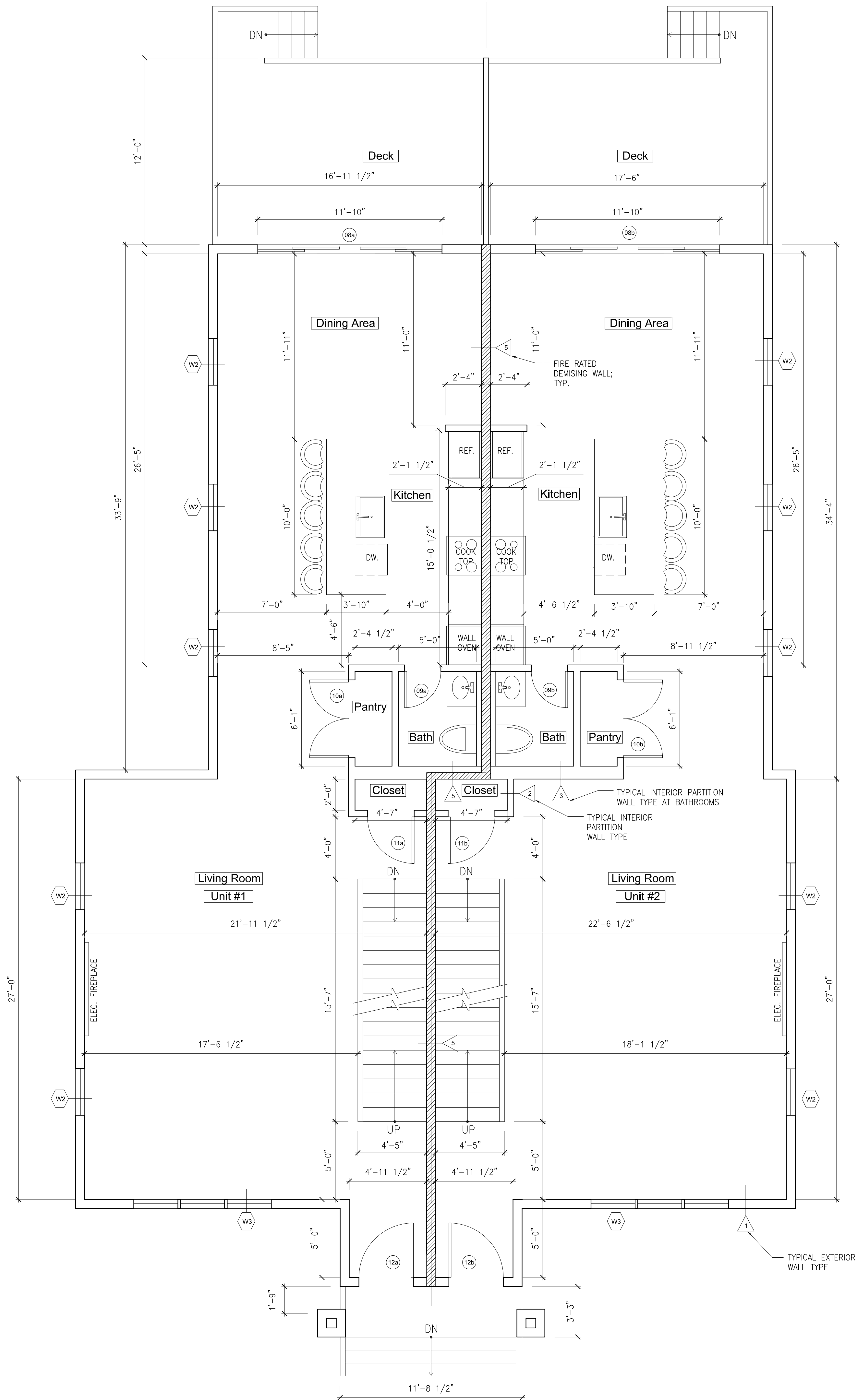


Project Team:

Date:	Revisions:

Drawing Title:
Proposed Floor Plans

Scale:	Noted	Drawing No. :
Job No.:	573	A1.1
Date:	11/3/23	

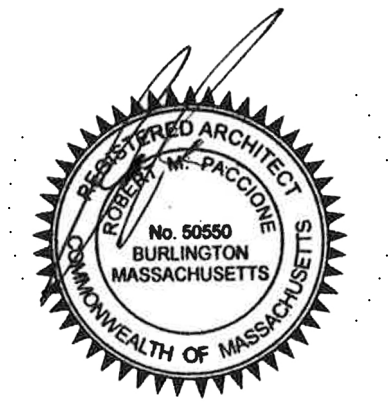


1 First Floor Proposed plan
Scale: 1/4" = 1'-0"

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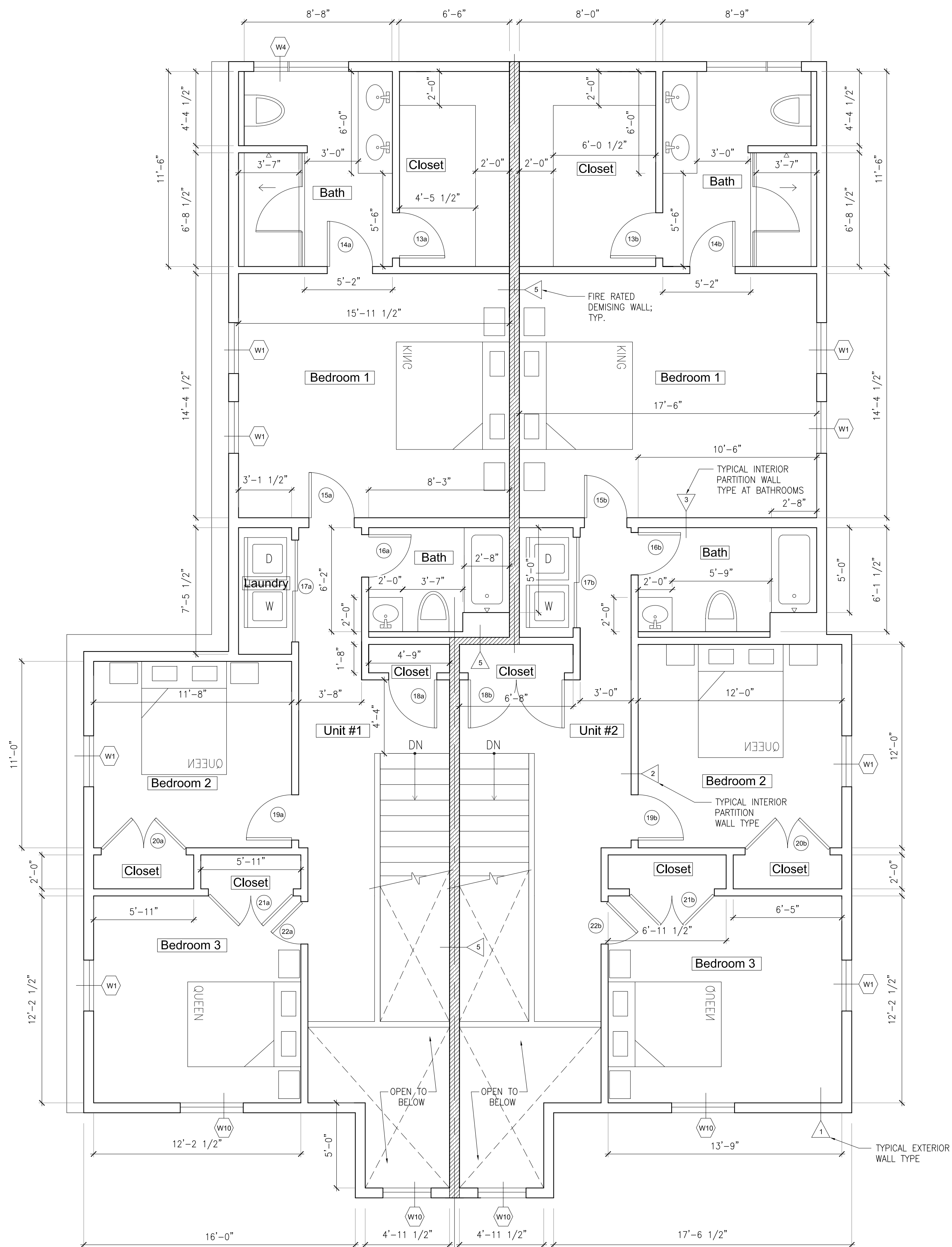
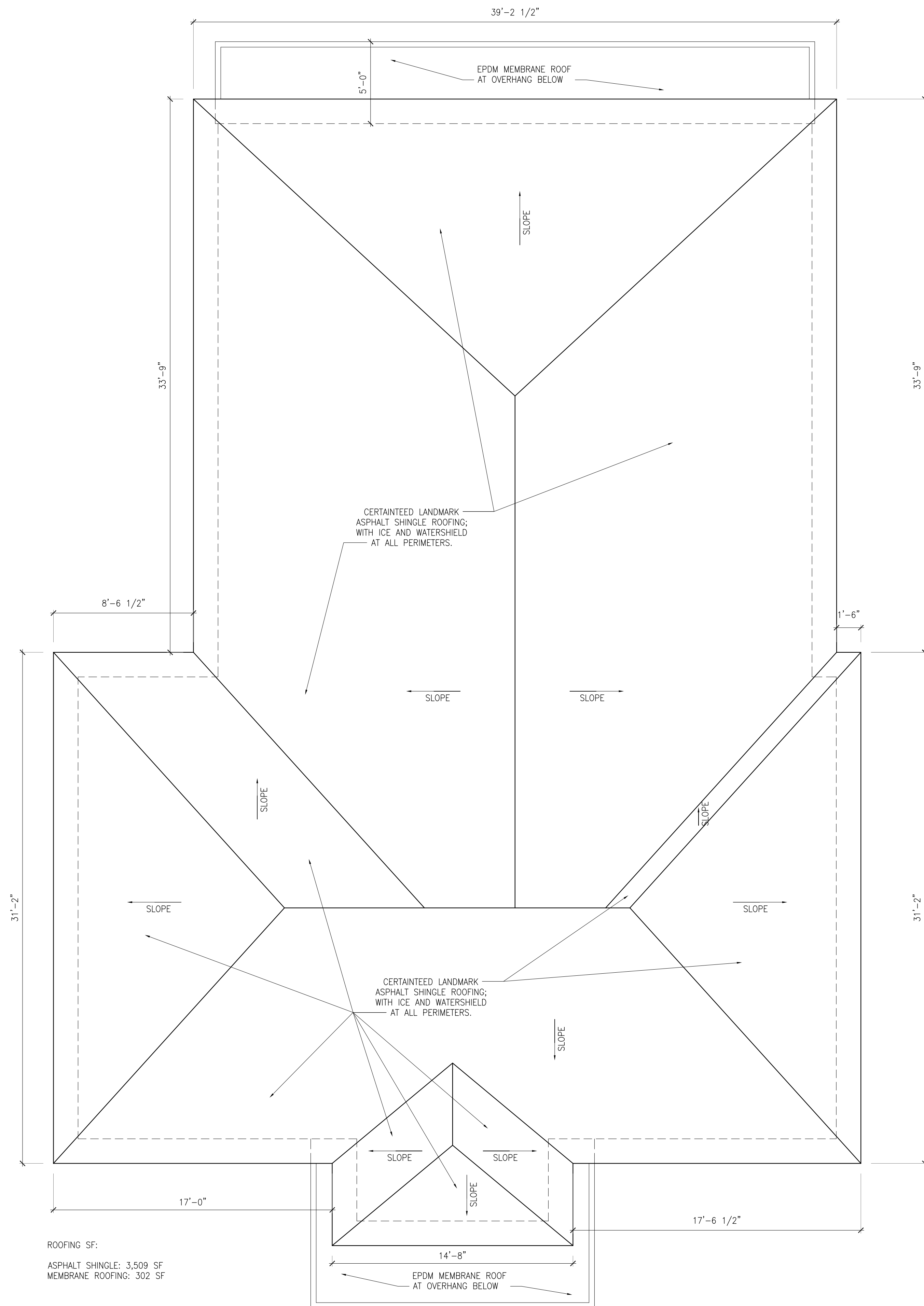
Project Team:

Date:	Revisions:

Drawing Title:
Proposed Floor Plans

Scale:	Noted	Drawing No. :
Job No.:	573	
Date:	11/3/23	

A1.2



PROJECT:
21 Fayette Street - Single Family Home
New Construction
Watertown, MA

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Wayland, MA 01778
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Project Team:

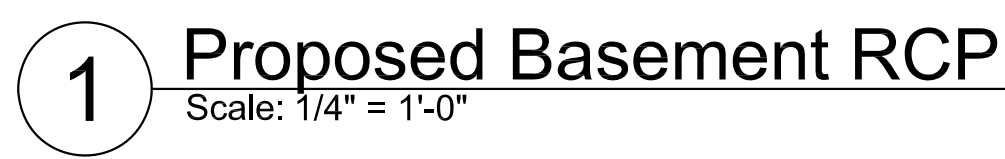
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Drawing Title:
Proposed Floor Plans

Scale: Noted Drawing No.

Job No.: 573 **A1.3**

Date: 11/3/23



Project Team:

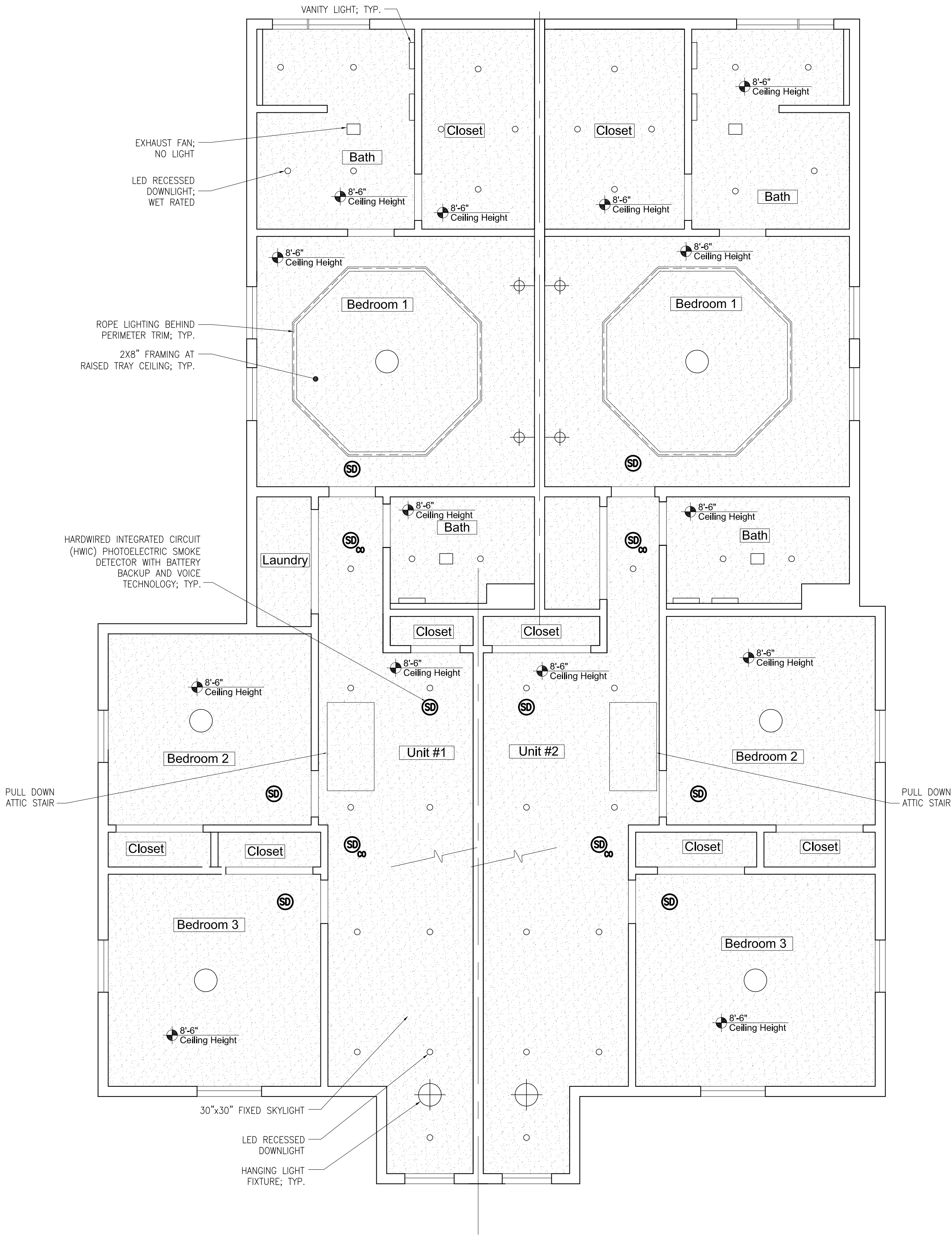
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Scale: Noted Drawing No.

Job No.: 573 **A1.4**

Date: 11/3/23

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
○	LED RECESSED DOWNLIGHT
◯	CEILING MOUNT LIGHT FIXTURE
⊕	CEILING MOUNT HANGING LIGHT FIXTURE
⊕	WALL SCONCE
□	BATHROOM EXHAUST FAN
◻	BATHROOM EXHAUST FAN WITH LIGHT
⌚	LED CLOSET LIGHT
▬	4'-0" / 8'-0" UTILITY LIGHT
▮	LED MEDICINE CABINET
≡	ROPE LIGHTING BEHIND PERIMETER TRIM
SD	HARDWIRED INTEGRATED CIRCUIT (HWIC) PHOTOELECTRIC SMOKE DETECTOR WITH BATTERY BACKUP AND VOICE TECHNOLOGY; TYP.
SD _{CO}	HARDWIRED INTEGRATED CIRCUIT (HWIC) PHOTOELECTRIC COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP AND VOICE TECHNOLOGY; TYP.

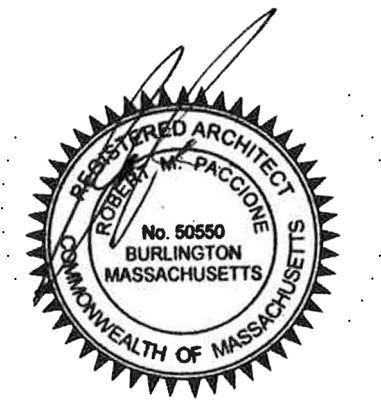


1 Proposed Second Floor RCP
Scale: 1/4" = 1'-0"

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21 Fayette Street - Single Family Home
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Watertown, MA

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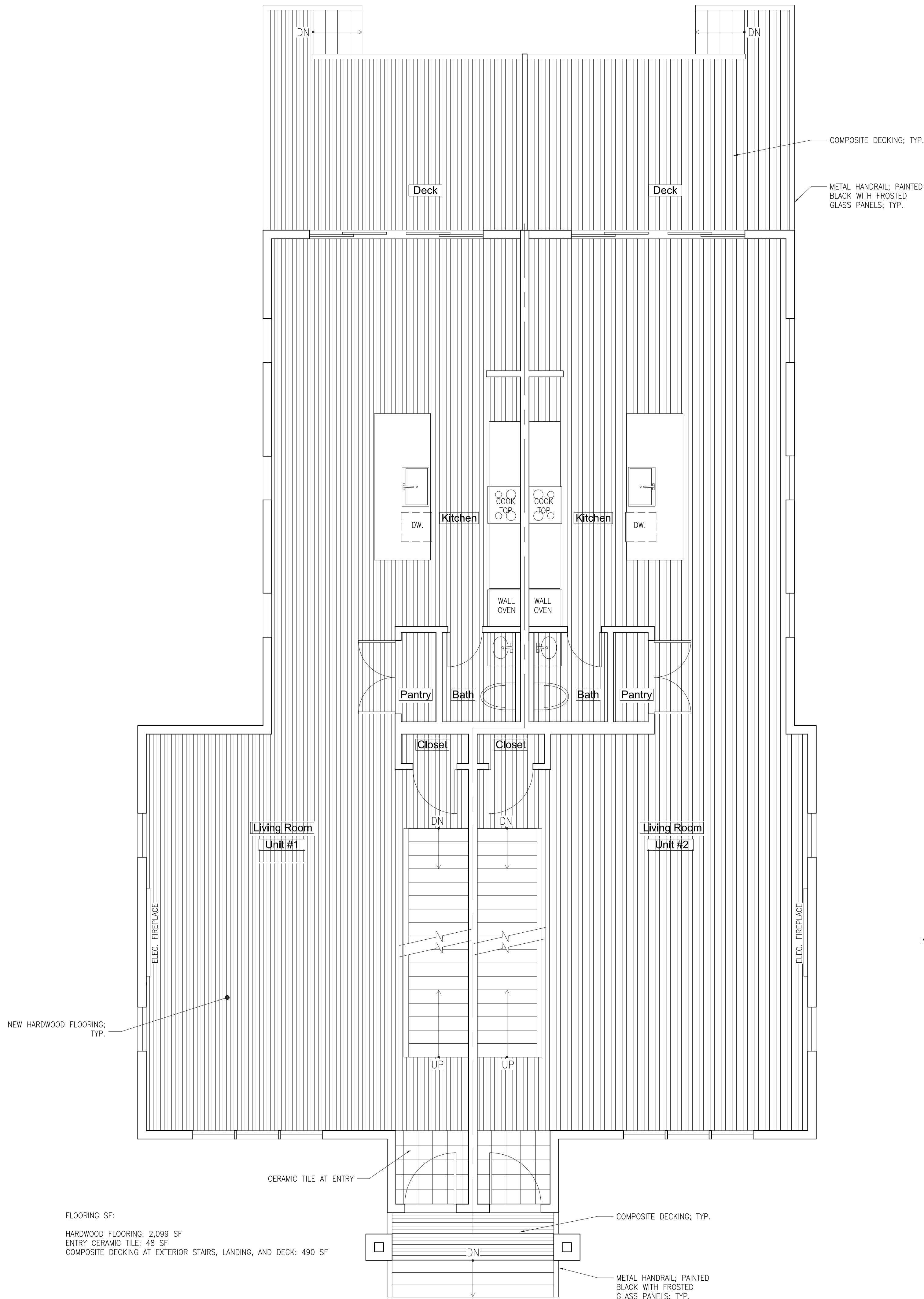


Project Team:

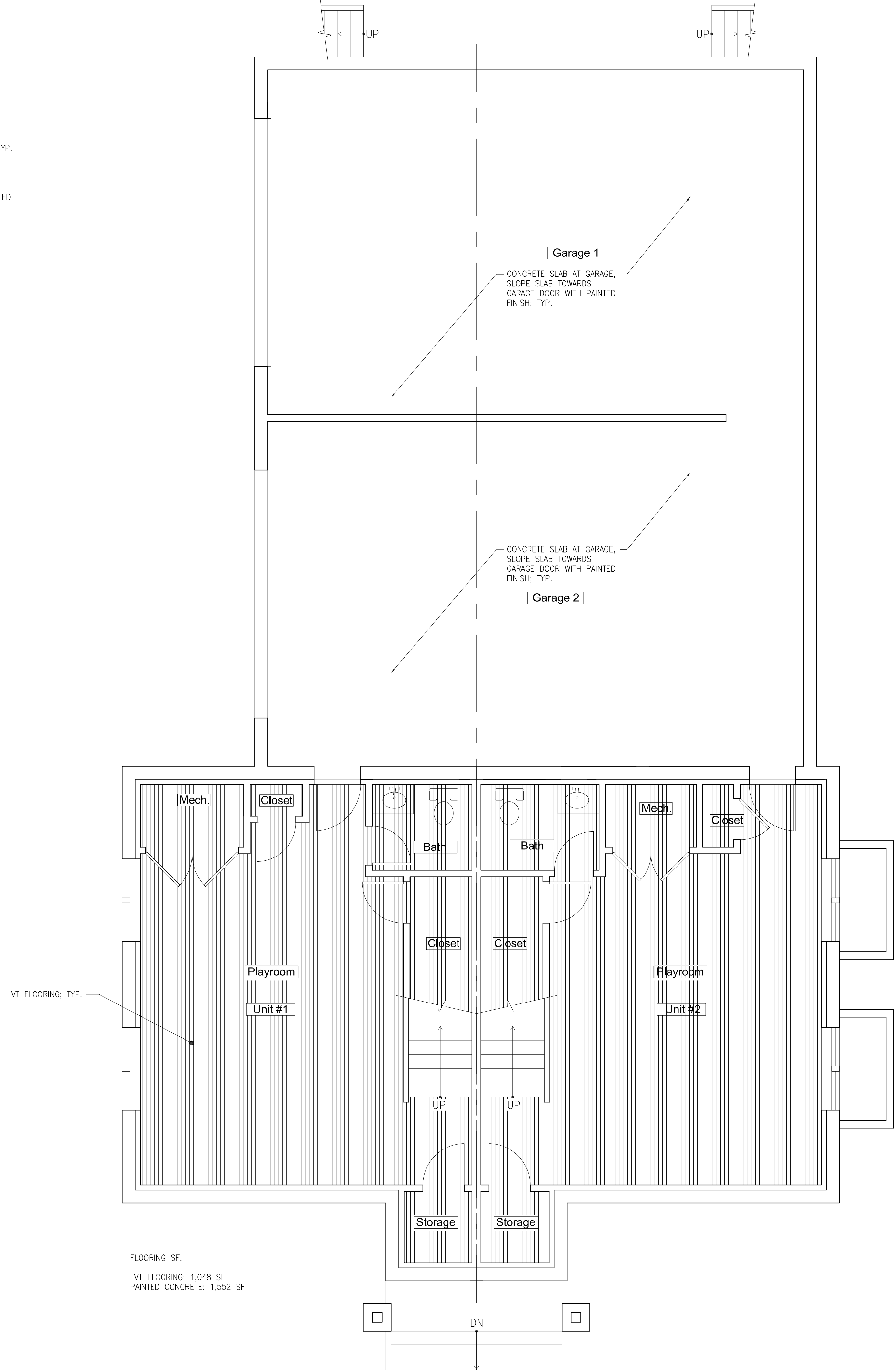
Date:	Revisions:

Drawing Title:
Proposed Reflected Ceiling Plans

Scale:	Noted	Drawing No. :
Job No.:	573	A1.5
Date:	11/3/23	



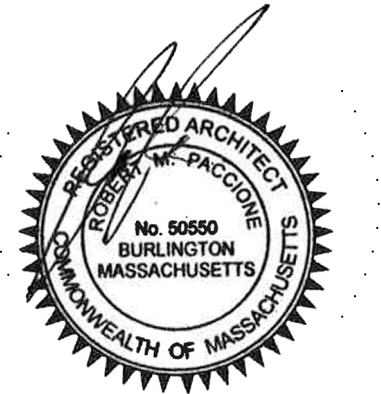
2 Proposed First Floor Flooring Plan
Scale: 1/4" = 1'-0"



1 Proposed Basement Flooring Plan
Scale: 1/4" = 1'-0"

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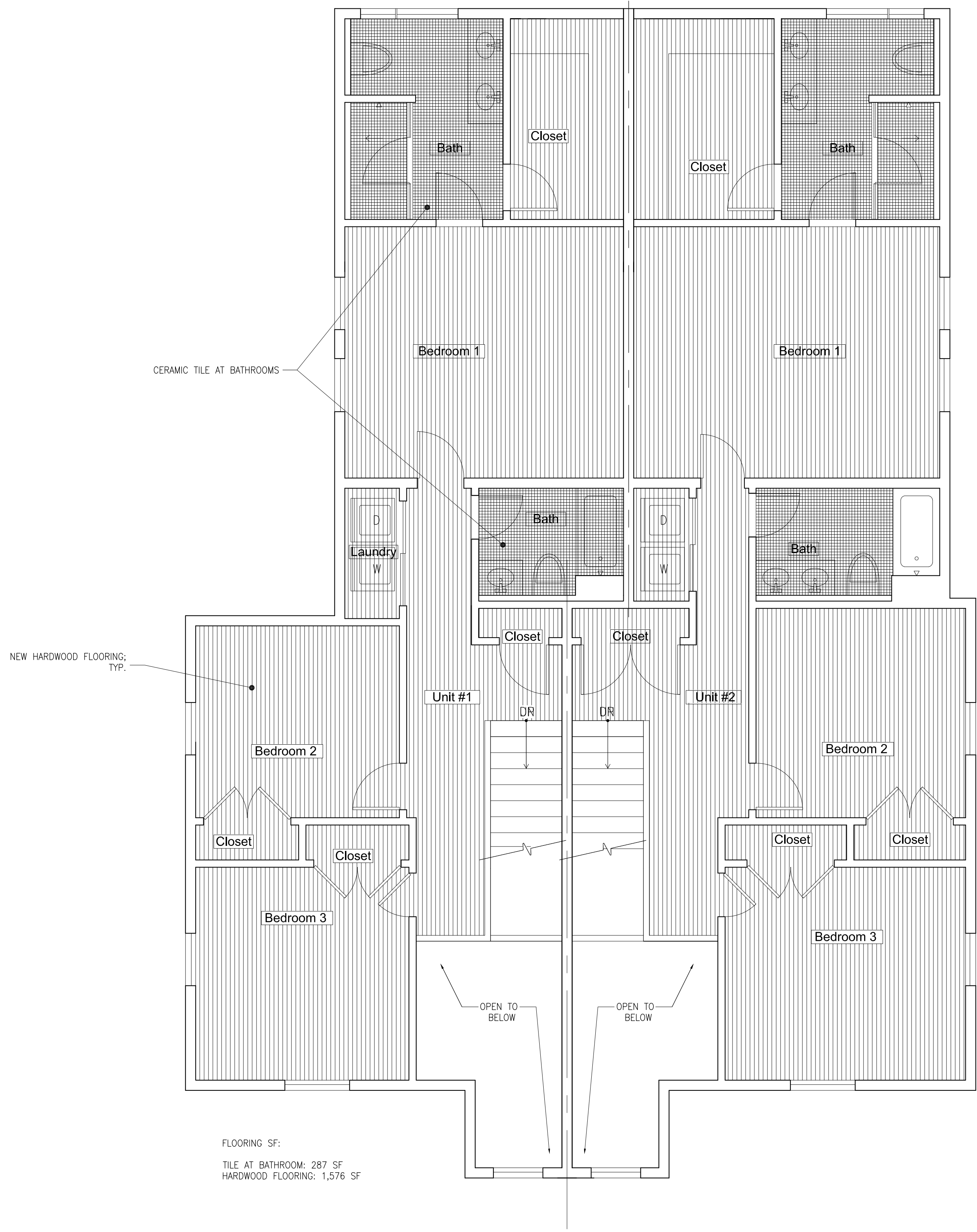


Project Team:

Date:	Revisions:

Drawing Title:
Proposed Flooring Plans

Scale:	Noted	Drawing No. :
Job No.:	573	A1.6
Date:	11/3/23	

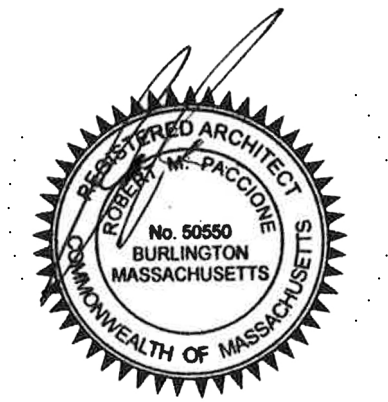


1 Proposed Second Floor Flooring Plan
Scale: 1/4" = 1'-0"

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21 Fayette Street - Single Family Home
New Construction
Watertown, MA

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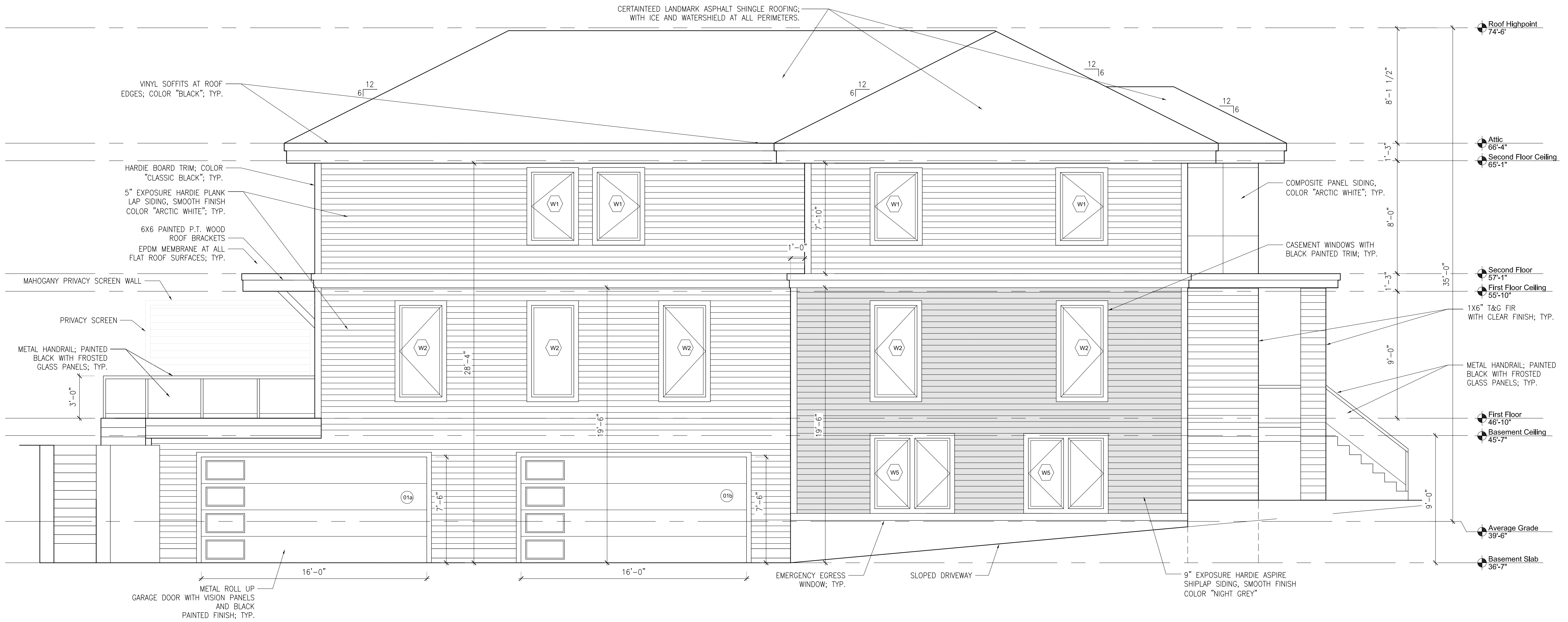


Project Team:

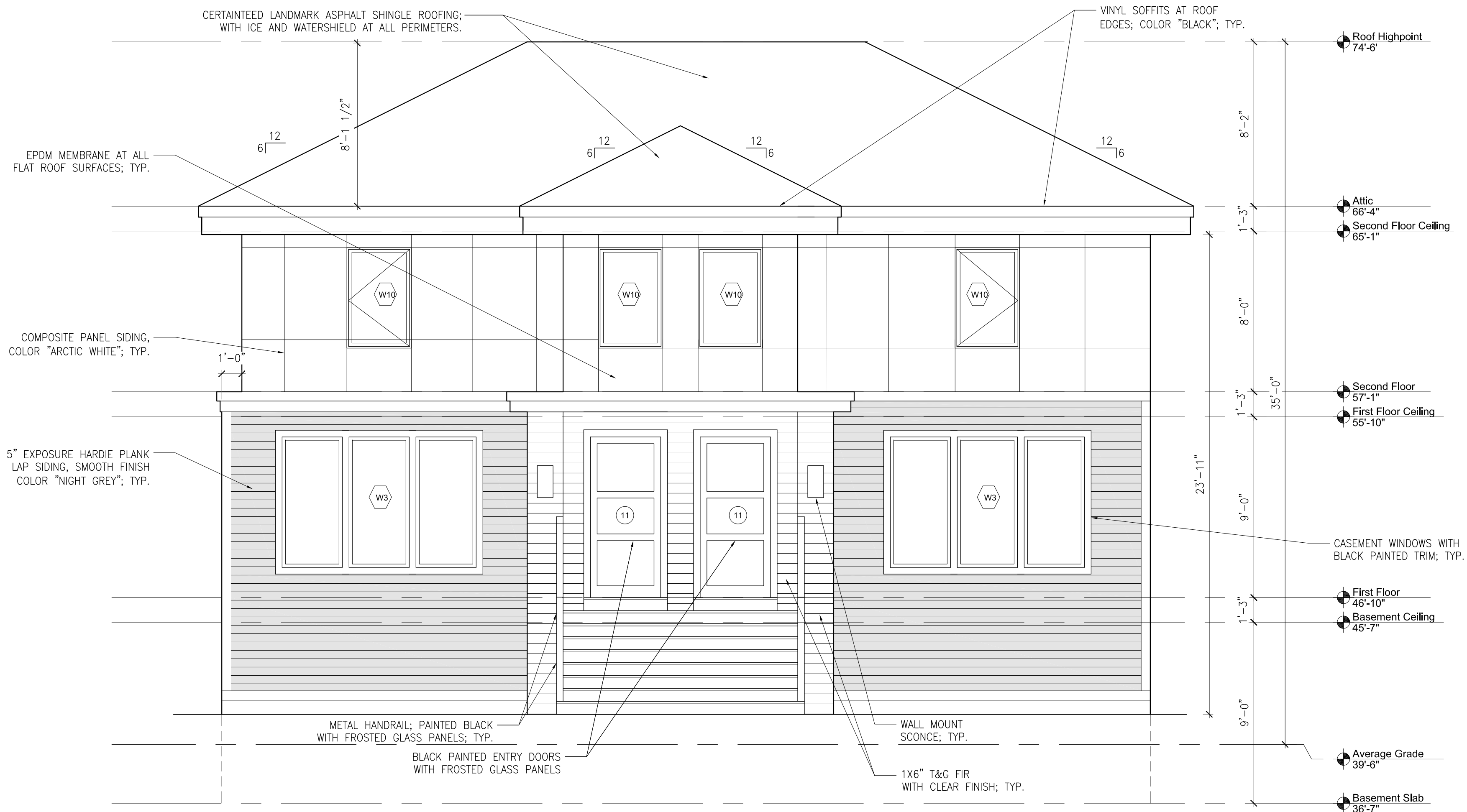
Date:	Revisions:

Drawing Title:
Proposed Flooring Plans

Scale:	Noted	Drawing No. :
Job No.:	573	A1.7
Date:	11/3/23	



2 Proposed Side Elevation
Scale: 1/4" = 1'-0"

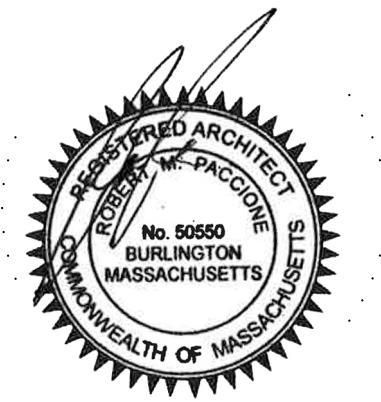


1 Proposed Front Elevation
Scale: 1/4" = 1'-0"

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Watertown, MA

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Wayland, MA 01778
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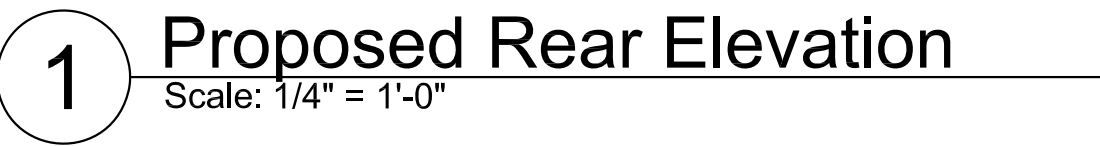
Project Team:

Date:	Revisions:

Drawing Title:
Proposed Elevations

Scale: Noted Drawing No. :
Job No.: 573
Date: 11/3/23

A2.1



REGISTERED ARCHITECT
ROBERT M. PACCONI
No. 50550
BURLINGTON
MASSACHUSETTS
COMMONWEALTH OF MASSACHUSETTS

Date:	Revisions:

Scale: Noted Drawing No.

Job No.: 573

Date: 11/3/23

A2.2

Door Schedule - UNIT 1

Location	No.	Size	Hardware	Type	Notes
BASEMENT	01a	16'-0" X 8'-0"	MANF.	GARAGE DOOR	INSULATED
BASEMENT	02a	3'-0" X 7'-0"	01	3 PANEL SHAKER	
BASEMENT	03a	(2) 3'-0" X 7'-0"	04	3 PANEL SHAKER	
BASEMENT	04a	2'-6" X 7'-0"	03	3 PANEL SHAKER	
BASEMENT	05a	2'-6" X 7'-0"	02	3 PANEL SHAKER	DOUBLE DOORS
BASEMENT	06a	2'-8" X 7'-0"	03	3 PANEL SHAKER	
BASEMENT	07a	2'-8" X 7'-0"	03	3 PANEL SHAKER	
FIRST FLOOR	08a	11'-10" X 8'-0"	MANF	FOLDING GLASS DOORS	
FIRST FLOOR	09a	2'-4" X 7'-0"	02	3 PANEL SHAKER	
FIRST FLOOR	10a	(2) 2'-6" X 7'-0"	04	3 PANEL SHAKER	DOUBLE SLIDING DOORS
FIRST FLOOR	11a	3'-0" X 7'-0"	03	3 PANEL SHAKER	
FIRST FLOOR	12a	3'-6" X 8'-0"	01	3 PANEL SHAKER	
SECOND FLOOR	13a	2'-8" X 7'-0"	03	3 PANEL SHAKER	
SECOND FLOOR	14a	2'-8" X 7'-0"	02	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	15a	2'-8" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	16a	2'-4" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	17a	(2) 3'-0" X 7'-0"	04	3 PANEL SHAKER	SLIDING DOORS
SECOND FLOOR	18a	2'-8" X 7'-0"	03	3 PANEL SHAKER	
SECOND FLOOR	19a	2'-8" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	20a	(2) 2'-6" X 6'-8"	04	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	21a	(2) 2'-6" X 6'-8"	04	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	22a	2'-6" X 7'-0"	02	3 PANEL SHAKER	
ATTIC FLOOR	23a	2'-6" X 7'-0"	03	3 PANEL SHAKER	
ATTIC FLOOR	24a	2'-6" X 7'-0"	02	3 PANEL SHAKER	
ATTIC FLOOR	25a	3'-0" X 7'-0"	02	3 PANEL SHAKER	

Door Schedule - UNIT 2

Location	No.	Size	Hardware	Type	Notes
BASEMENT	01b	16'-0" X 8'-0"	MANF.	GARAGE DOOR	INSULATED
BASEMENT	02b	3'-0" X 7'-0"	01	3 PANEL SHAKER	
BASEMENT	03b	(2) 2'-6" X 7'-0"	04	3 PANEL SHAKER	
BASEMENT	04b	2'-8" X 7'-0"	03	3 PANEL SHAKER	
BASEMENT	05b	2'-6" X 7'-0"	02	3 PANEL SHAKER	DOUBLE DOORS
BASEMENT	06b	2'-8" X 7'-0"	03	3 PANEL SHAKER	
BASEMENT	07b	2'-8" X 7'-0"	03	3 PANEL SHAKER	
FIRST FLOOR	08b	11'-10" X 8'-0"	MANF	FOLDING GLASS DOORS	
FIRST FLOOR	09b	2'-4" X 7'-0"	02	3 PANEL SHAKER	
FIRST FLOOR	10b	(2) 2'-6" X 7'-0"	04	3 PANEL SHAKER	DOUBLE SLIDING DOORS
FIRST FLOOR	11b	3'-0" X 7'-0"	03	3 PANEL SHAKER	
FIRST FLOOR	12b	3'-6" X 8'-0"	01	3 PANEL SHAKER	
SECOND FLOOR	13b	2'-8" X 7'-0"	03	3 PANEL SHAKER	
SECOND FLOOR	14b	2'-8" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	15b	2'-8" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	16b	2'-4" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	17b	(2) 2'-8" X 7'-0"	04	3 PANEL SHAKER	SLIDING DOORS
SECOND FLOOR	18b	(2) 2'-8" X 7'-0"	03	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	19b	2'-8" X 7'-0"	02	3 PANEL SHAKER	
SECOND FLOOR	20b	(2) 2'-6" X 6'-8"	04	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	21b	(2) 2'-6" X 6'-8"	04	3 PANEL SHAKER	DOUBLE DOORS
SECOND FLOOR	22b	2'-6" X 7'-0"	02	3 PANEL SHAKER	
ATTIC FLOOR	23b	2'-6" X 7'-0"	03	3 PANEL SHAKER	
ATTIC FLOOR	24b	2'-6" X 7'-0"	02	3 PANEL SHAKER	
ATTIC FLOOR	25b	3'-0" X 7'-0"	02	3 PANEL SHAKER	

NOTE: CONTRACTOR TO FIELD VERIFY ALL DOOR OPENINGS

FINISHES: NOTES:

HARDWARE SCHEDULE

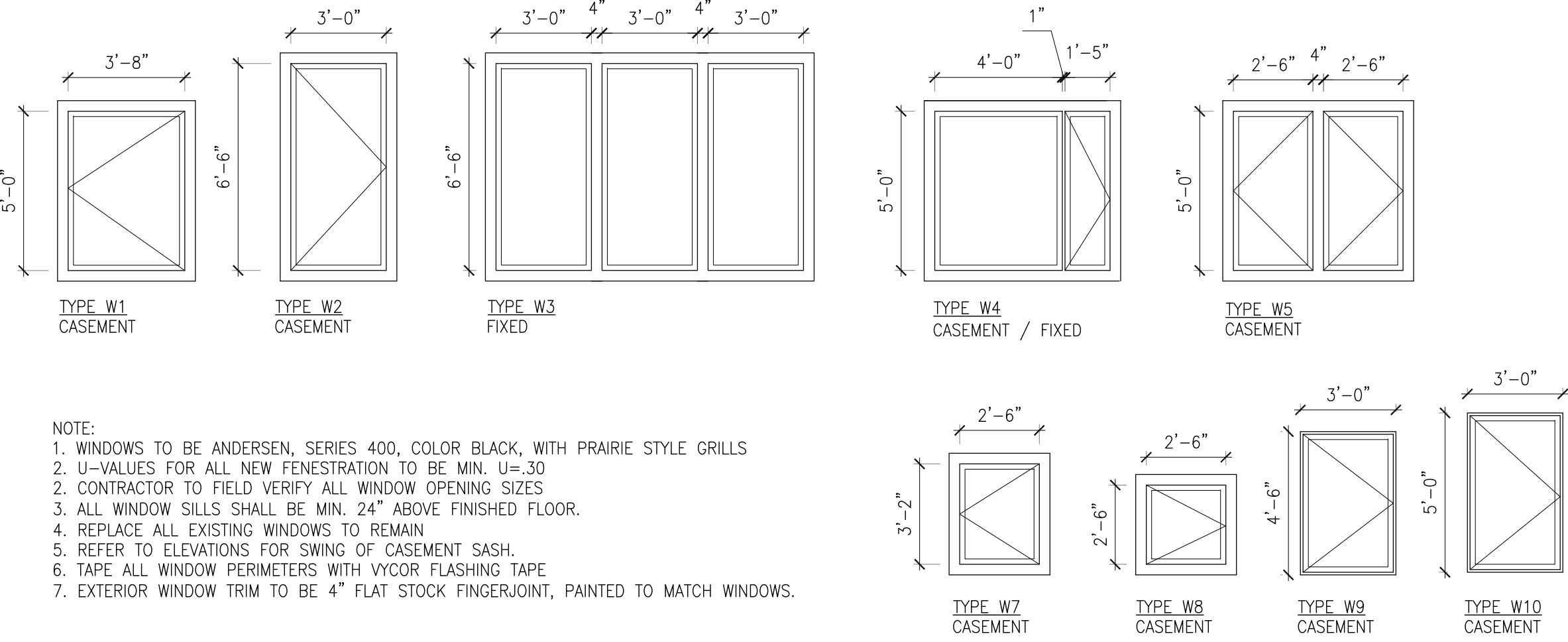
HARDWARE SET 01:
ENTRY LOCKSET WITH DEADBOLT
THRESHOLD
WEATHER STRIPPING
HINGES

HARDWARE SET 02:
PRIVACY LOCKSET
HINGES

HARDWARE SET 03:
PASSAGE LOCKSET
HINGES

HARDWARE SET 04:
PASSAGE LOCKSET
BALL CATCH
HINGES

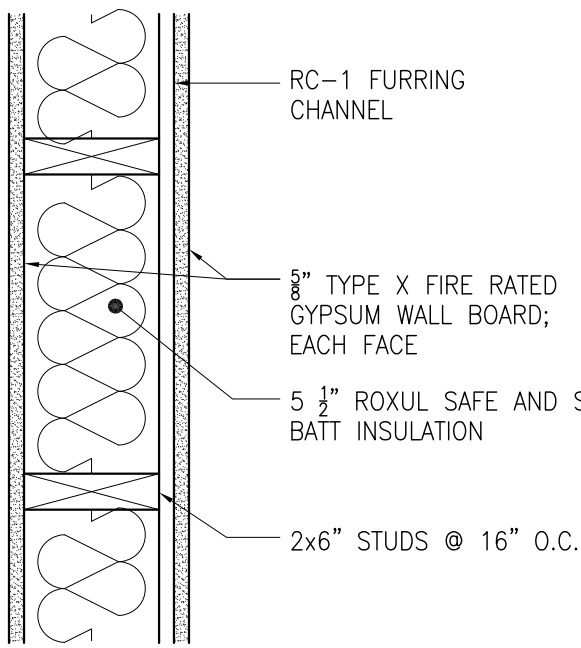
- ALL DOOR TRIM TO BE 1" X 3 1/2" POLYURETHANE BRADFORD CASING; PAINTED UNIFORM.
- SOLID CORE DOORS FOR ALL BATHROOM AND EXTERIOR DOORS. HOLLOW CORE DOORS FOR ALL CLOSETS AND INTERIOR ENTRYWAYS. REFER TO DOOR SCHEDULE AND OWNER SPECIFICATION FOR ADDITIONAL DOOR MATERIAL INFORMATION.
- ALL PASSAGE, PRIVACY, CLOSET DUMMY, AND OTHER INTERIOR DOOR LOCKSETS TO BE MATCHING BLACK OR DARK BRONZE FINISH.
- ALL INTERIOR WALL BASE TO BE 5 1/2" SPEED BASE BASEBOARD. GLUE ALL JOINTS.
- PROVIDE JOHN LEWIS MAHOGANY CLOSET SYSTEM AT MASTER CLOSET.
- PROVIDE (3) PAINTED WOOD SHELVES, INSTALLED PLUMB AT LINEN CLOSET.
- KITCHEN CABINETS TO BE METROPOLITAN WHITE SHAKER STYLE AT UPPER AND LOWER CABINETS. HARDWARE TO MATCH BLACK OR DARK BRONZE FINISHES AT DOOR LOCKSET HARDWARE.
- QUARTZ COUNTERTOP WITH WATERFALL DETAIL AT EACH END OF ISLAND.
- KITCHEN SINK TO BE BLACK QUARTZ UNDERMOUNT.
- HARDWOOD FLOORING TO BE 3 1/2" PRE-FINISHED RED OAK WITH FOX GRAY STAIN AND SATIN SHEEN FINISH.
- STAIR RISERS TO BE PAINTED FINGER JOINTED PINE. STAIR TREADS TO BE RED OAK FINISHED TO MATCH HARDWOOD FLOORING. GLUE AND NAIL ALL TREADS TO ENSURE PROPER FASTENING. CONTRACTOR TO FIELD VERIFY TREADS DO NOT SHIFT OR MAKE ANY NOISE WHEN 200LBS OF PRESSURE IS APPLIED TO SIMULATE TYPICAL USE.
- ALL NEW AND EXISTING PAINTABLE SURFACES SHALL RECEIVE (1) PRIMER AND (2) FINISH COATS OF PAINT. NON-LIVABLE AREAS TO RECEIVE TEXTURED PAINTED FINISH.
- REFER TO OWNER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE K STYLE GUTTERS SEAMLESS GUTTERS AND 4" DOWNSPOUTS. ALL GUTTER SYSTEM MATERIALS TO BE BLACK.
- ALL EXTERIOR HAND AND GUARD RAILINGS TO BE WROUGHT IRON BALUSTERS, PAINTED BLACK WITH 3/4" S4S IPE HANDRAILINGS.



- NOTE:
- WINDOWS TO BE ANDERSEN, SERIES 400, COLOR BLACK, WITH PRAIRIE STYLE GRILLS
 - U-VALUES FOR ALL NEW FENESTRATION TO BE MIN. U=30
 - CONTRACTOR TO FIELD VERIFY ALL WINDOW OPENING SIZES
 - ALL WINDOW SILLS SHALL BE MIN. 24" ABOVE FINISHED FLOOR.
 - REPLACE ALL EXISTING WINDOWS TO REMAIN
 - REFER TO ELEVATIONS FOR SWING OF CASEMENT SASH.
 - TAPE ALL WINDOW PERIMETERS WITH VYCOR FLASHING TAPE
 - EXTERIOR WINDOW TRIM TO BE 4" FLAT STOCK FINGERJOINT, PAINTED TO MATCH WINDOWS.

1 Window Elevation Types

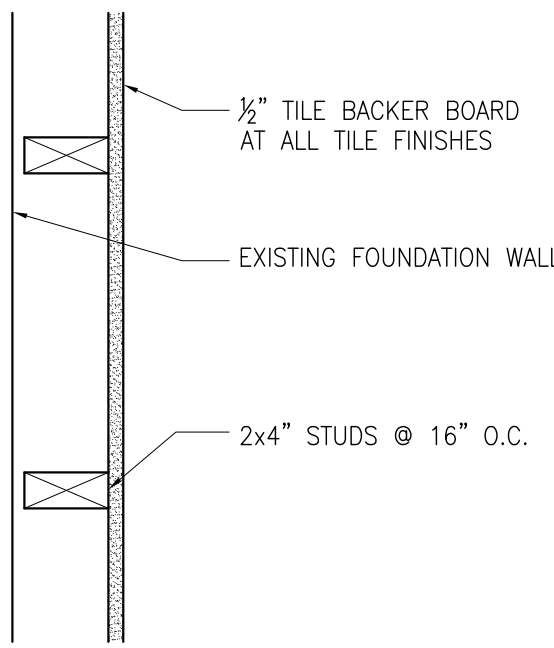
Scale: 1/4" = 1/0"



5 Fire Rated Wall

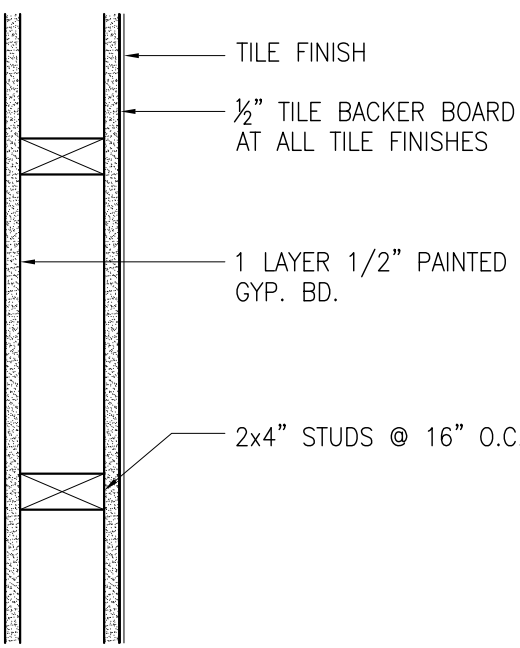
Scale: 1-1/2" = 1'-0"

1 HR FIRE RATED
50 STC



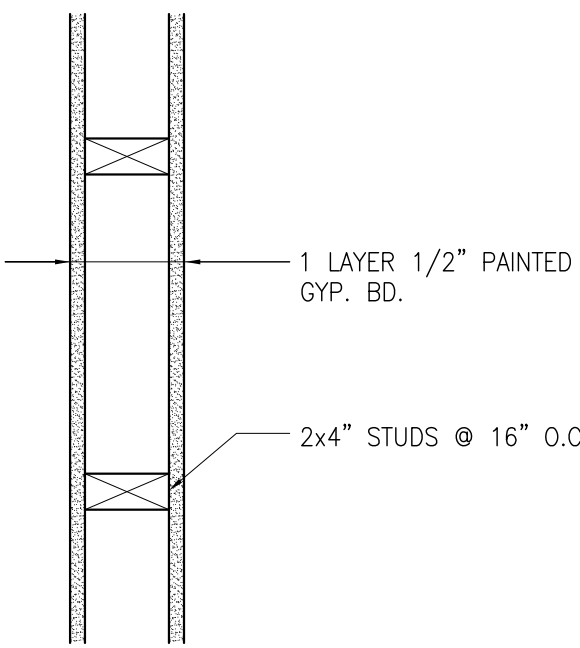
4 Interior Partition

Scale: 1-1/2" = 1'-0"



3 Interior Partition

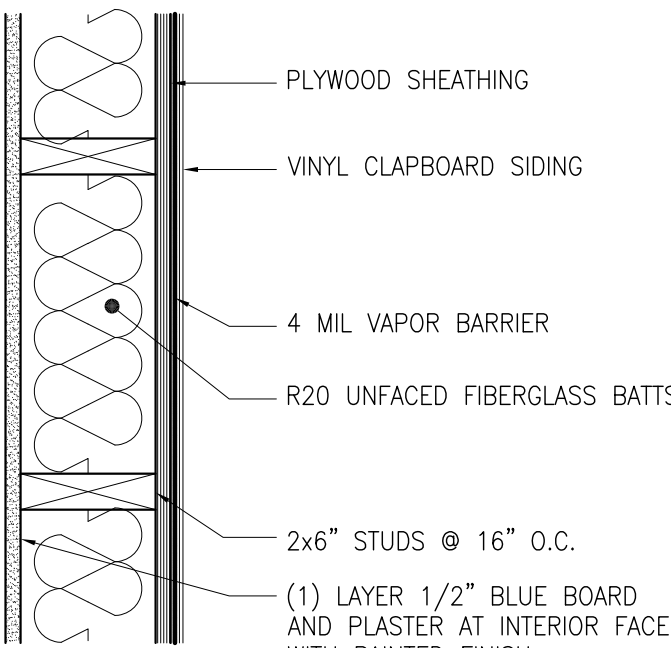
Scale: 1-1/2" = 1'-0"



2 Interior Partition

Scale: 1-1/2" = 1'-0"

Rating:
UL:
S.T.C.:



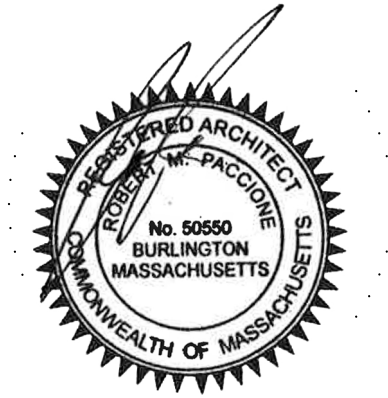
1 Exterior Wall

Scale: 1-1/2" = 1'-0"

PROJECT:
21 Fayette Street - Single Family Home
New Construction
Watertown, MA

RP Architectural Studio

78 Highland Circle
Wayland, MA 01778
Tel. 617-794-7759



Project Team:

Date:	Revisions:

Drawing Title:
Door Schedule, Window
Types, and Wall Types

Scale: Noted Drawing No.:
Job No.: 573
Date: 11/3/23

A3.1

I. GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE MASSACHUSETTS STATE BUILDING CODE (780 CMR, 8TH EDITION, WITH IBC 2012 OR IRC 2012, AS APPLICABLE) AND ITS APPLICABLE REFERENCED STANDARDS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATTE TO NEW CONSTRUCTION. REPORT TO THE ARCHITECT / ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- IT IS THE RESPONSIBLY OF THE GENERAL CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE STRUCTURE DURING ALL CONSTRUCTION PHASES. SUBMIT AN OUTLINE OF PROPOSED PROCEDURE TO THE ARCHITECT/ENGINEER BEFORE CONSTRUCTION COMMENCES.
- THIS STRUCTURAL DRAWINGS SET IS BASED ON ARCHITECTURAL AUTOCAD FILES. THIS STRUCTURAL DRAWINGS SET HAS BEEN PREPARED USING ONLY THESE ARCHITECTURAL DRAWINGS AND ANY INFORMATION REGARDING OTHER TRADES THAT HAS BEEN REFLECTED ON THESE ARCHITECTURAL DRAWINGS.

II. DESIGN LOADS:

- FLOOR LIVE LOADS:
 - A. DWELLING AREAS..... 40 PSF
 - B. SLEEPING AREAS..... 30 PSF
 - C. HABITABLE ATTIC (WALK-UP)..... 30 PSF
 - D. UNINHABITED ATTICS WITH LIMITED STORAGE..... 20 PSF
 - E. UNINHABITED ATTICS WITH NO STORAGE..... 10 PSF
- ROOF LIVE LOAD (PER 780 CMR, 9TH EDITION)
 - A. GROUND SNOW LOAD, Pg..... 45 PSF*
 - B. SNOW EXPOSURE FACTOR, Ce..... 1.0
 - C. SNOW LOAD IMPORTANCE FACTOR, Is..... 1.0
 - D. THERMAL FACTOR, Ct..... 1.1
 - *MODIFIED FOR SNOW DRIFT PER 780 CMR, 9TH EDITION
- WIND LOAD (PER 780 CMR, 9TH EDITION)
 - A. BASIC WINDSPEED (V)..... 105 MPH
 - B. WIND LOAD IMPORTANCE FACTOR, LW..... 1.00
 - C. WIND EXPOSURE CATEGORY..... B
 - D. MAIN WIND FORCE RESISTING SYSTEM DESIGN METHOD..... METHOD 2 (PER ASCE 7-05)
 - E. COMPONENTS AND CLADDING LOADS..... PER IBC 2015

III. CONCRETE:

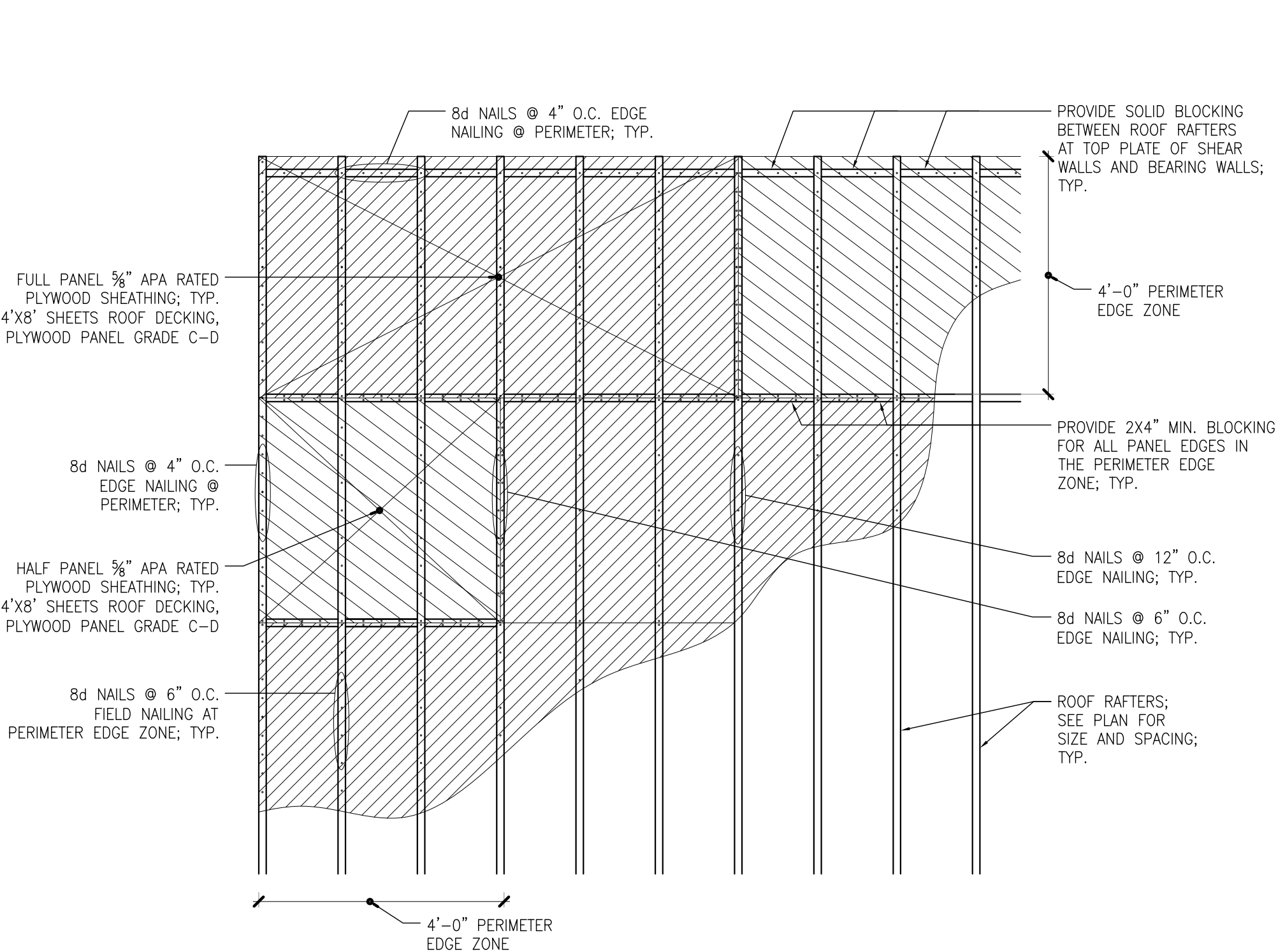
- ALL CONCRETE WORK SHALL CONFORM TO ACI 318 AND 301 REQUIREMENTS. THIS SHALL INCLUDE PROPORTIONING OF CONCRETE MIX, CONCRETE TESTING, PLACEMENT OF CONCRETE, AND CURING PROCEDURES.
- CONCRETE SHALL HAVE THE FOLLOWING 28 DAY COMPRESSIVE STRENGTH:
 - A. FOOTINGS..... 4000 PSI
 - B. ALL OTHER CONCRETE..... 4000 PSI
- MAXIMUM WATER / CEMENT RATIO FOR 4000 PSI CONCRETE – W/C = 0.45. PROVIDE A HIGH-RANGE WATER REDUCING ADMIXTURE IF REQUIRED TO INCREASE THE WORKABILITY OF THE CONCRETE.
- ALL REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 AND HAVE A MINIMUM YIELD STRENGTH OF 60 KSI.
- WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185.
- UNLESS OTHERWISE NOTED, PROVIDE THE FOLLOWING MINIMUM REINFORCING COVER:
 - A. FOOTINGS..... 3 INCHES
 - B. CONCRETE EXPOSED TO WEATHER OR EARTH..... 2 INCHES
 - C. SLABS ON GRADE (STEEL BARS)..... 2 INCHES
 - D. SLABS ON GRADE (WWF)..... SEE TYPICAL DETAILS
- PROVIDE CORNER BARS AT ALL WALL CORNERS AND INTERSECTIONS MATCHING HORIZONTAL REINFORCEMENT WITH 2'-6" MINIMUM LAPS.
- PROVIDE SAWCUT JOINTS IN ALL SLABS USING AN EARLY-ENTRY SAW WITHIN 4 HOURS OF PLACEMENT. PROVIDE SAWCUTS @ 10'-0" O.C. MAX, UNLESS NOTED OTHERWISE.
- SUBMIT SHOP DRAWINGS FOR REVIEW (SEE SECTION "I. GENERAL").
- CONCRETE JOINTS TO BE ½" x ½" JOINT SEALANT OVER ½" JOINT FILLER (FULL DEPTH)

IV. FOUNDATIONS

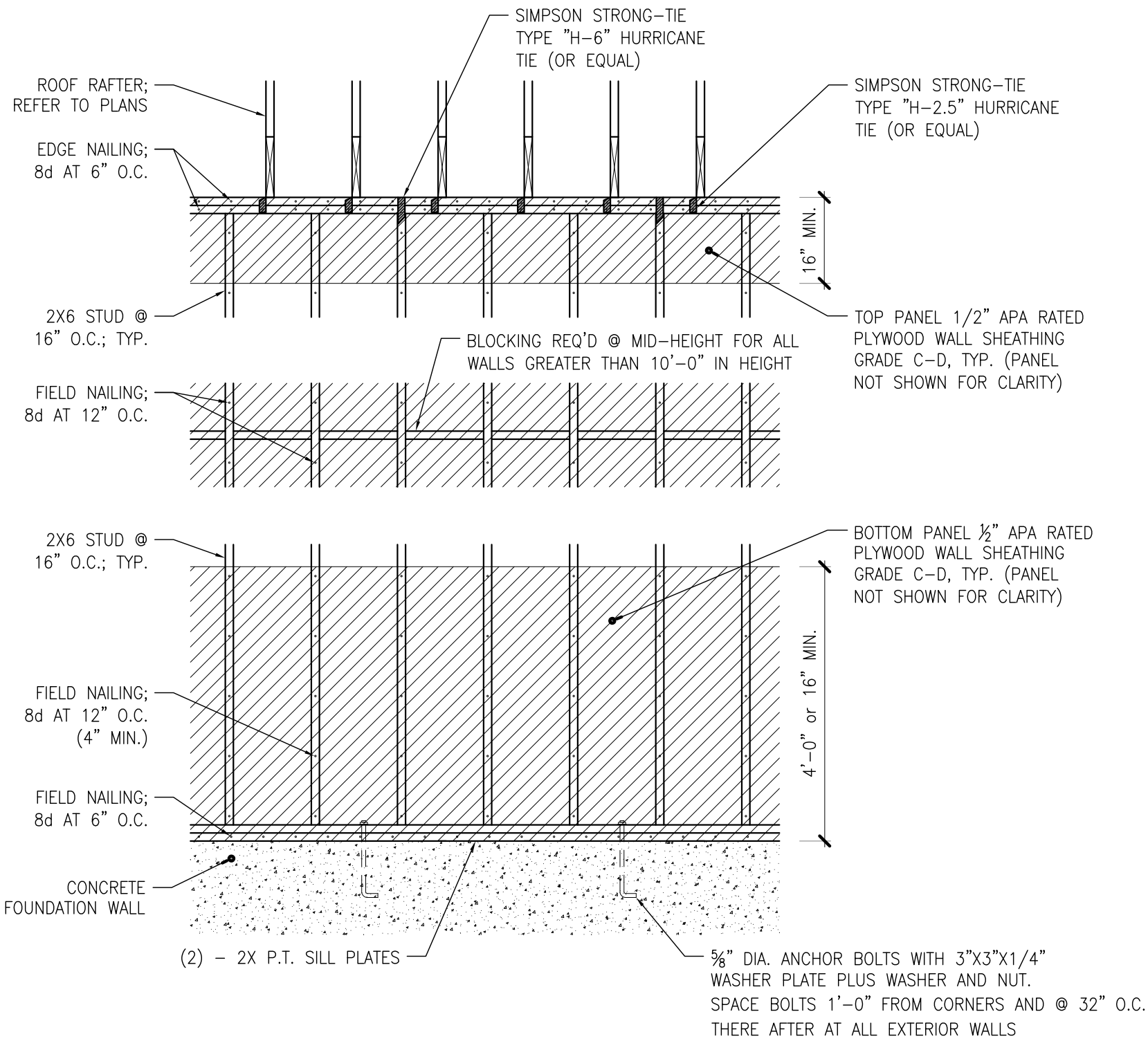
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AS WELL AS ALL APPROPRIATE AGENCIES AND MUNICIPALITIES TO AVOID DAMAGE TO UNDERGROUND UTILITIES PRIOR TO THE START OF ANY SITE WORK.
- BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 4'-0" BELOW FINISHED GRADE.
- REMOVE ALL TOPSOIL, EXISTING FILLS, ORGANIC MATERIALS, AND FROST DISTURBED SOILS PRIOR TO PLACING NEW FOOTINGS.
- ALL BOTTOMS OF FOOTINGS SHALL BEAR ON VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 4000 PSF (TO BE VERIFIED BY A P.E. DURING CONSTRUCTION), OR SHALL BEAR ON ENGINEERED FILL. THE ENGINEERED FILL SHALL BE COMPACTED IN 8" LOOSE LAYERS TO 95% OF THE SPECIFIED MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM D-1557-78, METHOD D. THE COMPACTION SHALL BE DETERMINED BY ASTM DESIGNATION D 1556-82, D2922-81, OR OTHER APPROVED NUCLEAR DENSITY TESTING DEVICE.
- ENGINEERED FILL UNDER SLABS AND FOOTINGS SHALL CONSIST OF GRANULAR SOIL FREE OF ORGANIC MATTER AND CONFORMING TO THE FOLLOWING LIMITATIONS ON GRADATION:
 - A. MAXIMUM SIZE OF PARTICLES..... 3 INCHES
 - B. RETAINED ON ¾" SIEVE..... 30% MAXIMUM
 - C. PASSING NO. 100 SIEVE..... 45% MAXIMUM
 - D. PASSING NO. 200 SIEVE..... 8% MAXIMUM
- DURING BACKFILL OPERATIONS OF ALL FOUNDATION WALLS, THE FILL ON EITHER SIDE OF THE WALL SHALL NOT EXCEED A 2'-0" DIFFERENTIAL, UNLESS THE WALL IS DESIGNED FOR RETAINING ACTION.
- SILL PLATES SHALL BE FASTENED TO THE FOUNDATION WITH ⅝" DIA. ASTM A307 BOLTS. THE BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 7". THERE SHOULD BE A MINIMUM OF TWO BOLTS PER EACH PLATE SECTION. THE BOLTS SHALL BE NO MORE THAN 3 1/2" AND NO GREATER THAN 12" FROM THE END OF EACH PLATE SECTION. EACH ANCHOR SHALL 3"x3"x½" WASHER PLATE PLUS WASHER AND NUT. SPACE BOLTS 1'-0" FROM CORNERS AND @ 32" O.C. THEREAFTER.

V. STRUCTURAL LUMBER

- ALL WORK SHALL BE IN CONFORMANCE WITH THE AMERICAN FOREST & PAPER ASSOCIATION STANDARDS AND SPECIFICATIONS.
- ALL LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE S-P-F NO.1 / NO. 2 K.D.
- ALL PRESSURE-PRESERVATIVE TREATED LUMBER USED IN A STRUCTURAL CAPACITY SHALL BE SP #2.
- ANY WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY, EPOSED TO UNHEATED BASEMENT AND CRAWLS SPACES, OR EXPOSED TO THE EXTERIOR SHALL BE PRESSURE TREATED.
- ALL FASTENERS SHALL BE IN CONFORMANCE WITH THE FASTENING SCHEDULE IN THE APPLICABLE STATE BUILDING CODE, UNLESS NOTED OTHERWISE. FASTENERS EXPOSED TO THE WEATHER SHALL BE GALVANIZED "SIMPSON'S Z-MAX" OR STAINLESS STEEL.
- ALL BEAM TO BEAM CONNECTIONS SHALL BE APPROVED GALVANIZED TO FLANGE HANGERS, SUBMIT SHOP DRAWINGS FOR REVIEW.
- ALL WOOD POST CAPS AND BASE CONNECTIONS SHALL BE APPROVE GALVANIZED "SIMPSON'S" POST CAP AND BASE PREFABRICATED ASSEMBLIES. SUBMIT SHOP DRAWINGS FOR REVIEW.
- "TJI" JOISTS, "LVL" (LAMINATED VENEER LUMBER), AND "PSL" (PARALLEL STRAND LUMBER) FRAMING INDICATED ON DRAWINGS ARE DESIGNED AND MANUFACTURED BY "TRUS-JOIST" OF BOISE, IDAHO.



Typical Roof Diaphragm Detail
Scale: N.T.S.



Typical Exterior Wall Elevation Details
Scale: N.T.S.

FLOOR SHEATHING

FLOOR SHEATHING SHALL BE ¾" T&G "STURD-I-FLOOR" STRUCTURAL-1 GRADE PLYWOOD. PROVIDE 10d NAILS @ 6" O.C. AT ALL PANEL EDGES & 10d NAILS @ 12" O.C. IN FIELD. (MINIMUM FASTENING, COORD. W / MANUFACTURER'S REQ.)

ROOF SHEATHING

ROOF SHEATHING SHALL BE ¾" APA RATED PLYWOOD SHEATHING (PANEL GRADE C-D). PROVIDE 10d NAILS @ 6" O.C. AT ALL PANEL EDGES AND 10d NAILS @ 12" O.C. IN FIELD. (SEE ROOF DIAGRAM DETAIL)

2X4 WALL HEADER SCHEDULE

ROUGH OPENING		(WOOD HEADER)
UP TO 3'-6" WIDE	(2) 2X8 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	
OVER 3'-7" UP TO 5'-0" WIDE	(2) 2X10 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	
OVER 5'-1" UP TO 6'-6" WIDE	(2) 2X12 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	

- NOTES:
- SEE DRAWINGS FOR SPECIAL DOOR/WINDOW HEADER SIZES, OTHERWISE USE SCHEDULE
 - USE ½" PLYWOOD SPACERS BETWEEN HEADER MEMBERS TO MATCH WALL WIDTH.
 - FOR OPENING WIDTHS GREAT THAN SHOWN, CONSULT ARCHITECT OR STRUCTURAL ENGINEER.

2X6 WALL HEADER SCHEDULE

ROUGH OPENING		(WOOD HEADER)
UP TO 3'-6" WIDE	(3) 2X8 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	
OVER 3'-7" UP TO 5'-0" WIDE	(3) 2X10 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	
OVER 5'-1" UP TO 6'-6" WIDE	(3) 2X12 WITH DOUBLE JACK STUD BRG. @ EACH JAMB	

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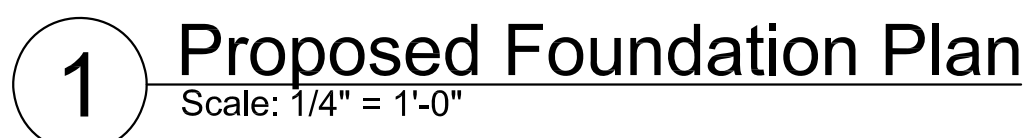
Project Team:

Date:	Revisions:

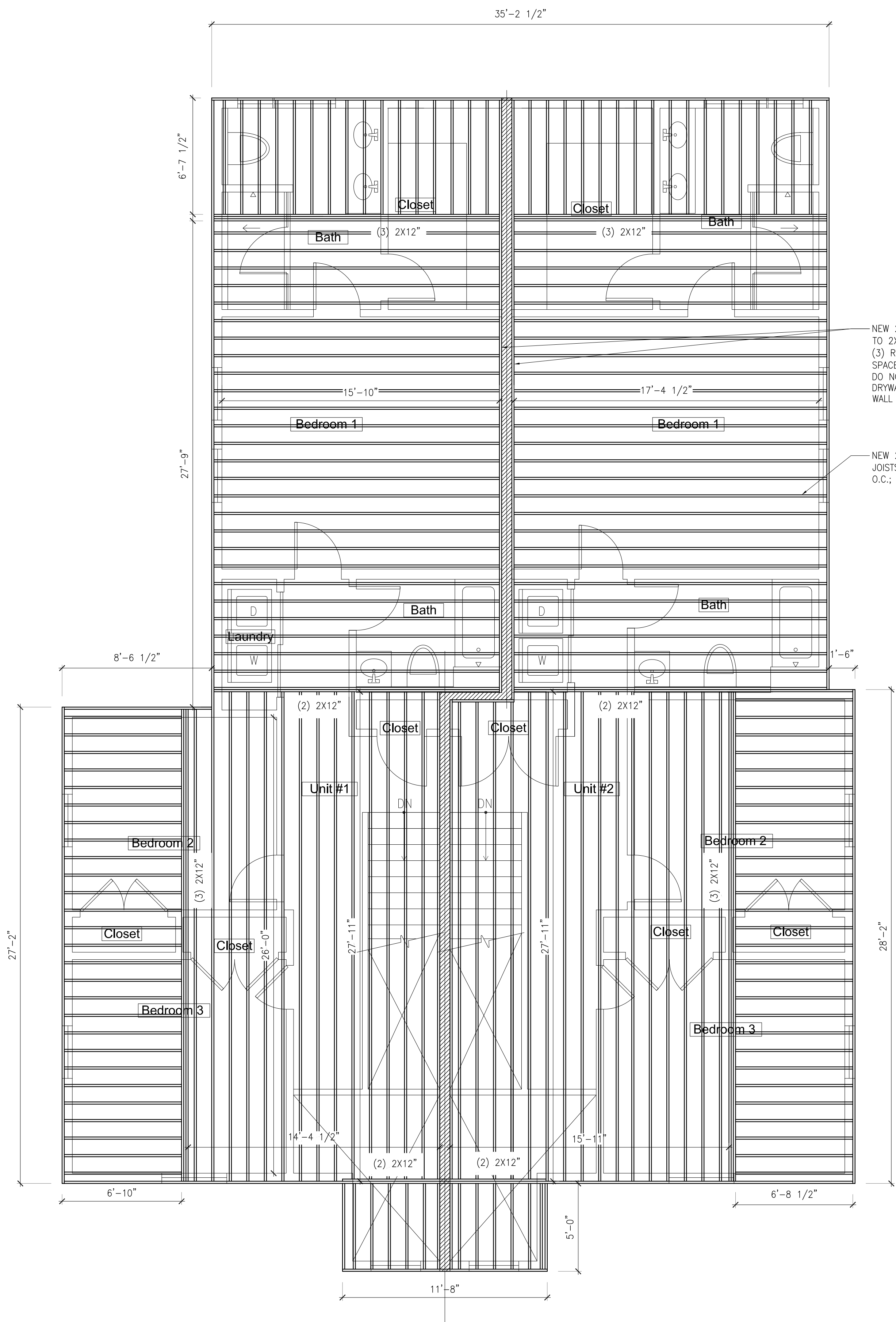
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Structural Details and Notes

Scale: Noted Drawing No. :
Job No.: 573
Date: 11/3/23

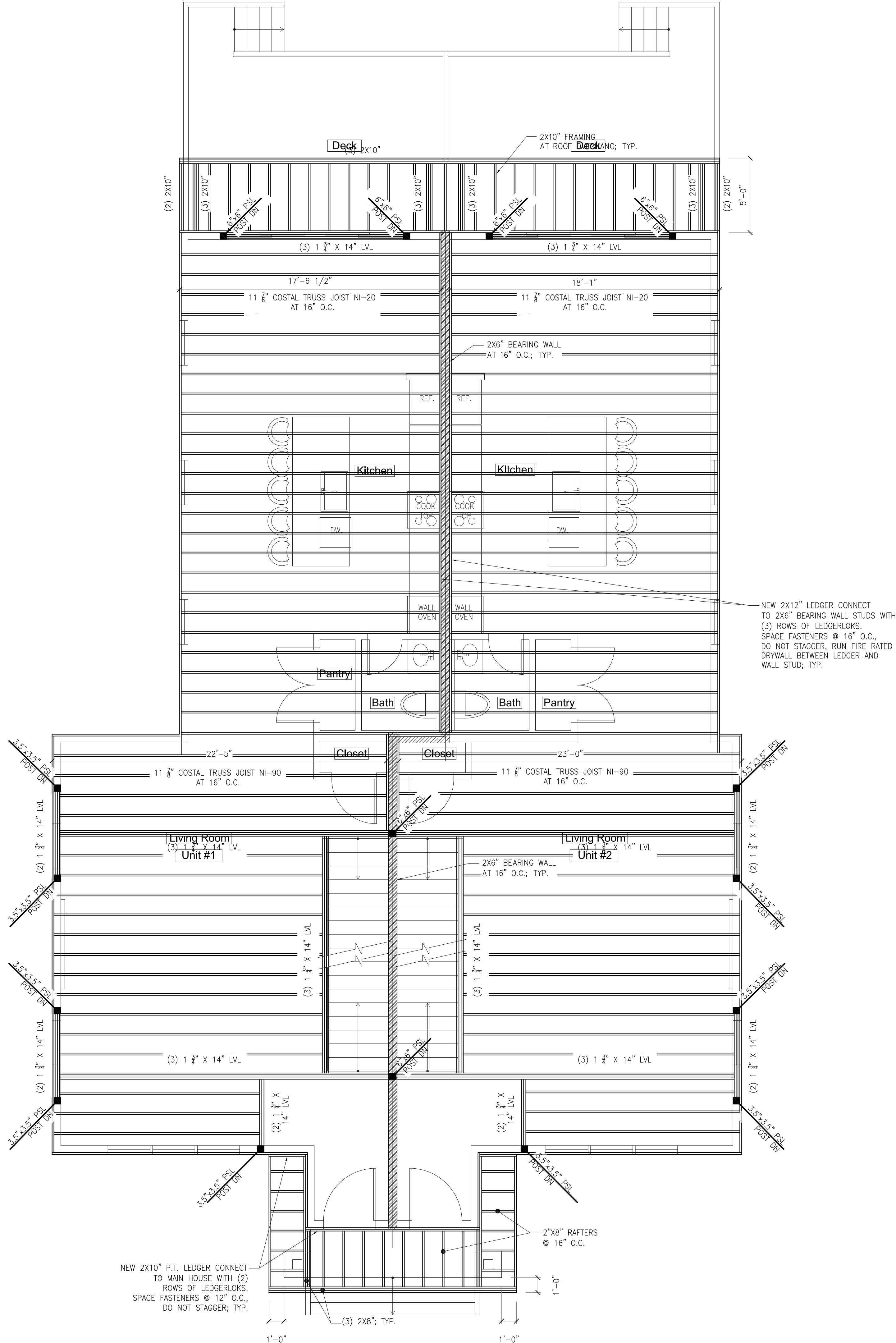
S0.1



Scale: Noted Drawing No. :
Job No.: 573 **S1.1**
Date: 11/3/23



2 Proposed Second Floor Ceiling Plan
Scale: 1/4" = 1'-0"



1 Proposed Second Floor Framing Plan
Scale: 1/4" = 1'-0"

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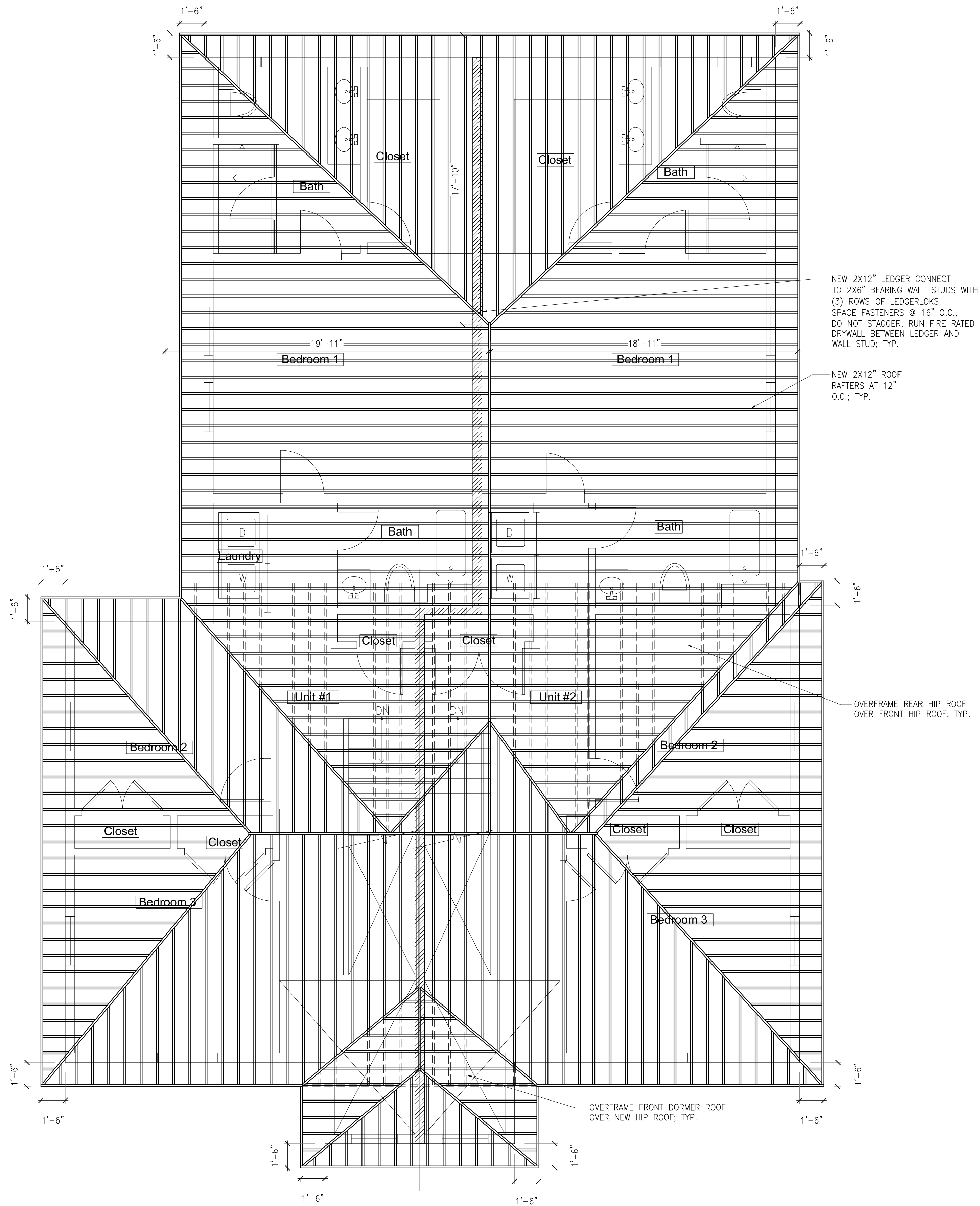


Project Team:

Date:	Revisions:

Drawing Title:
Framing Plans

Scale:	Noted	Drawing No. :
Job No.:	573	S1.2
Date:	11/3/23	

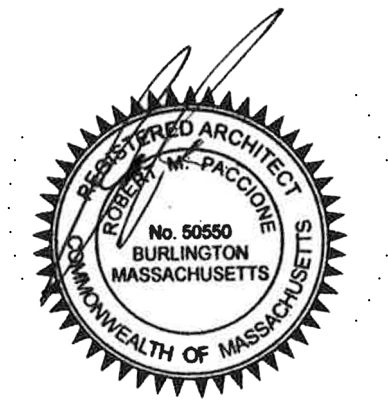


1 Proposed Roof Framing Plan
Scale: 1/4" = 1'-0"

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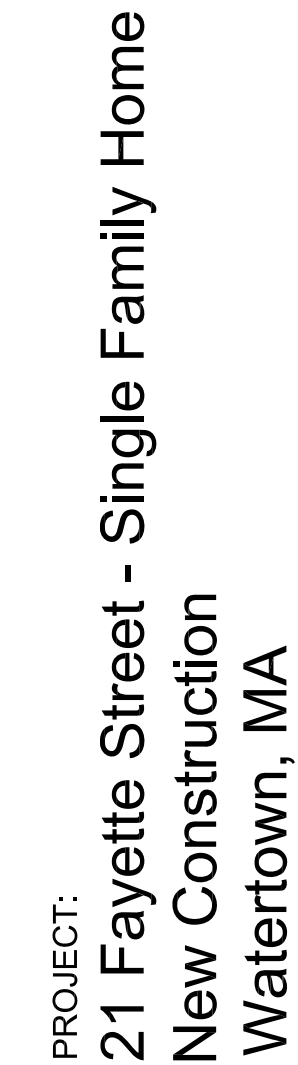
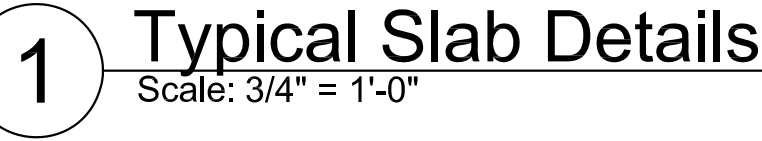
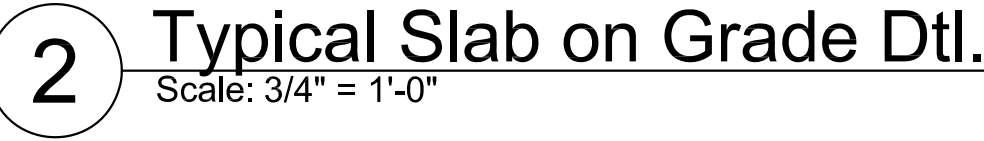
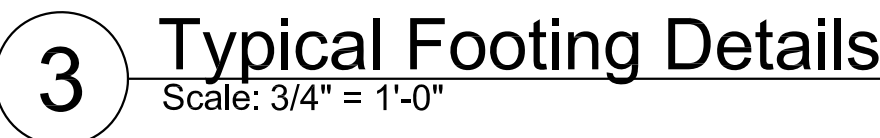
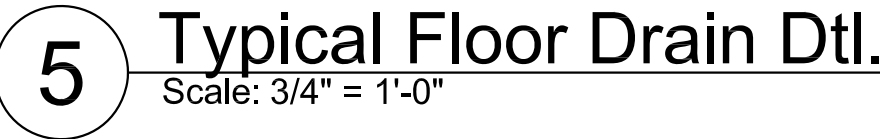
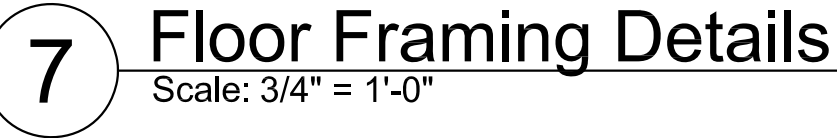


Project Team:

Date:	Revisions:

Drawing Title:
Framing Plans

Scale:	Noted	Drawing No. :
Job No.:	573	S1.3
Date:	11/3/23	



78 Highland Circle
Wayland, MA 01778
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Project Team:

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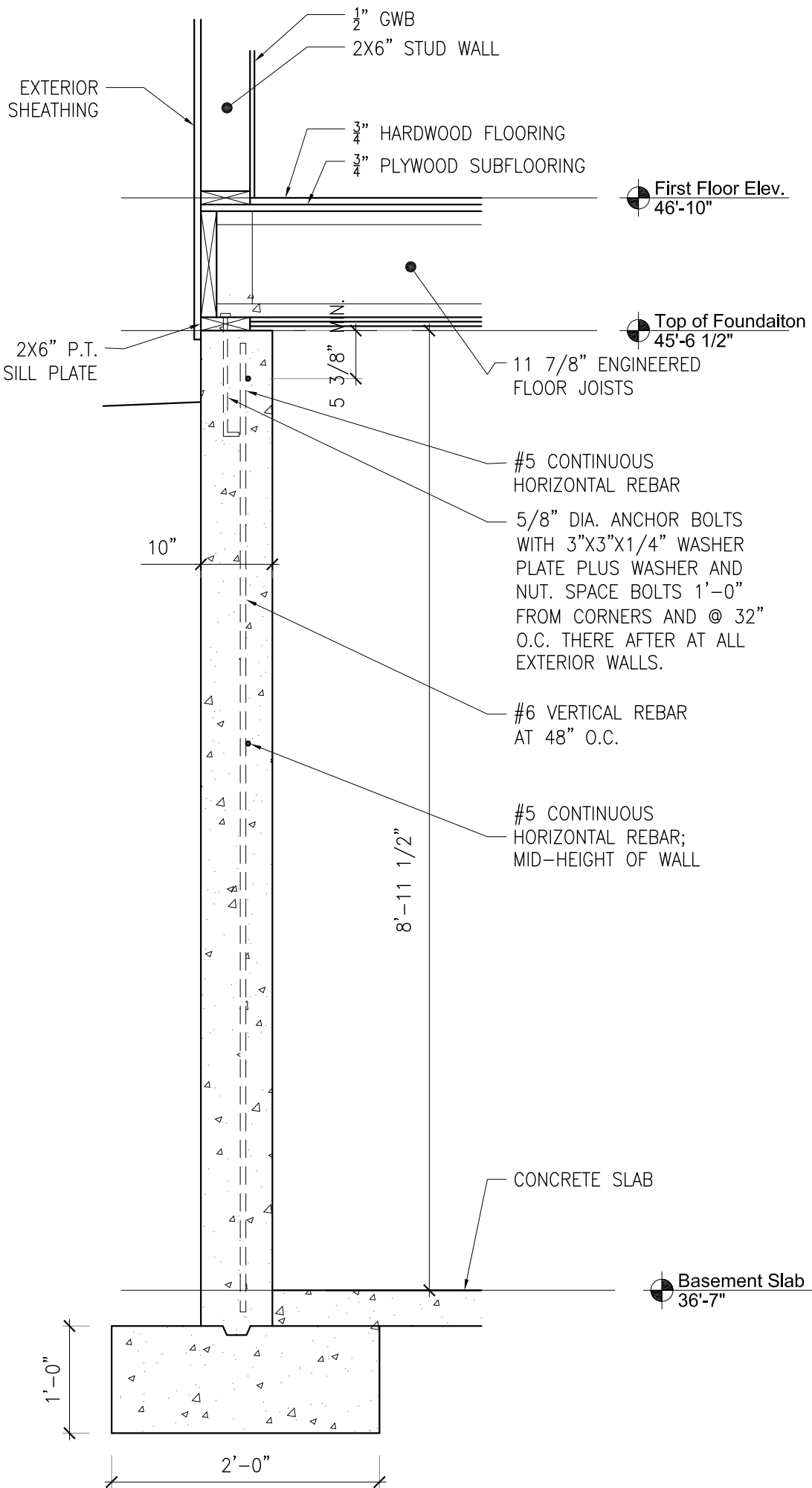
Drawing Title:
Typical Details

Scale: Drawing No.

Job No.: 573

Date: 11/3/23

S1.4



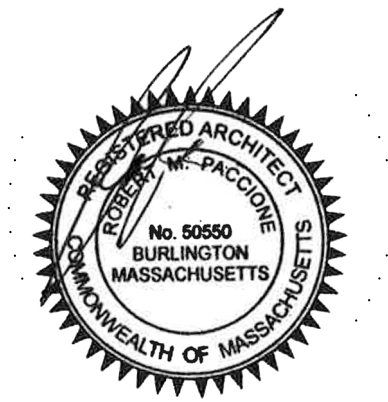
NOTE:

1 Typical Foundation Detail
Scale: 3/4" = 1'-0"

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Project Team:

Date:	Revisions:

Drawing Title:

Typical Details

Scale: Drawing No. :
Job No.: 573
Date: 11/3/23

S1.5