



Conservation Commission Meeting

Wednesday, April 8, 2026 at 7:00 PM

Remote Participation Only

Agenda

Pursuant to Chapter 2 of the Acts of 2025, the meeting and public hearing will be conducted with remote opportunities for participation. Remote participation and access methods include:

ACCESS INFORMATION:

- A. This meeting will be held on April 8, 2026, at 7 PM. Location: Remote Participation Only
- B. The in-person meeting will also be televised through WCATV (Watertown Cable Access Television) on Comcast Channel 22 or RCN Channel 13 and can be streamed online at: <http://vodwcatv.org/CablecastPublicSite/watch-now?site=3>
- C. The Public may join the virtual meeting online: <https://watertown-ma.zoom.us/j/99597080710>
- D. Public may join the virtual meeting audio only by phone: (877) 853-5257 or (888) 475-4499 (Toll Free) and enter Webinar ID: 995 9708 0710
- E. Public may comment through email: sjenness@watertown-ma.gov
- F. Please Visit the Conservation Commission Website here: <https://www.watertown-ma.gov/199/Conservation-Commission>

-
- 1. Call to Order
 - 2. Roll Call
 - 3. General Business
 - A. Minor changes request to approved plan for 93 California Street (MassDEP filing #: 321-0182)
 - B. Request for Certificate of Compliance for 580 Pleasant Street (MassDEP filing #: 321-0173)
 - 4. Updates
 - A. Chair updates
 - B. CPC update
 - C. Agent report
 - 5. Minutes to be approved
 - A. February 4, 2026 Conservation Commission
 - B. March 4, 2026 Conservation Commission
 - 6. Adjourn

Christopher D. Zevitas
93 California Street
Watertown, MA 02472

March 10, 2026

Chairman Patrick Towler
City of Watertown
Conservation Commission
Watertown Administration Building
149 Main Street
Watertown, MA 02143

RE: DEP File #: 321-0182 - PROPOSED CHANGES, 93 California Street, Watertown, MA

Chairman Towler:

Renovations to the home have been completed and a certificate of occupancy issued on March 4, 2026. The only remaining work - all of which was previously approved under the subject Notice of Intent and Special Permit Finding/Variance ZBA-2021-18 - is exterior, and includes the following as shown in **Attachment 1**:

- (a) Placement of permeable pavers and subbase materials for the **driveway** on California street;
- (b) Placement of permeable pavers and subbase materials for a **patio area and walkways** in the rear of the home; and
- (c) Relocation of the basement **sump discharge** also in the rear of the home.

To simplify the project and minimize disturbance, we are proposing to retain existing conditions in the rear of the home by **eliminating (b) and (c)** from the project. That is, areas where the proposed patio and walkways were to be constructed would remain as existing lawn (grassed) areas and there would be no change to the existing sump discharge, which would remain as it has been since I purchased the home in 2007. A revised drawing depicting the proposed changes is provided in **Attachment 2**.

In summary, the only remaining work would be construction of the driveway area (a), which comprises two parking spaces 8.5 ft. x 18 ft. each (total of 306 SF) off the street. No change to the design of the driveway area is proposed. That is, the driveway permeable pavers and subbase materials would be constructed per the aforementioned City approvals.

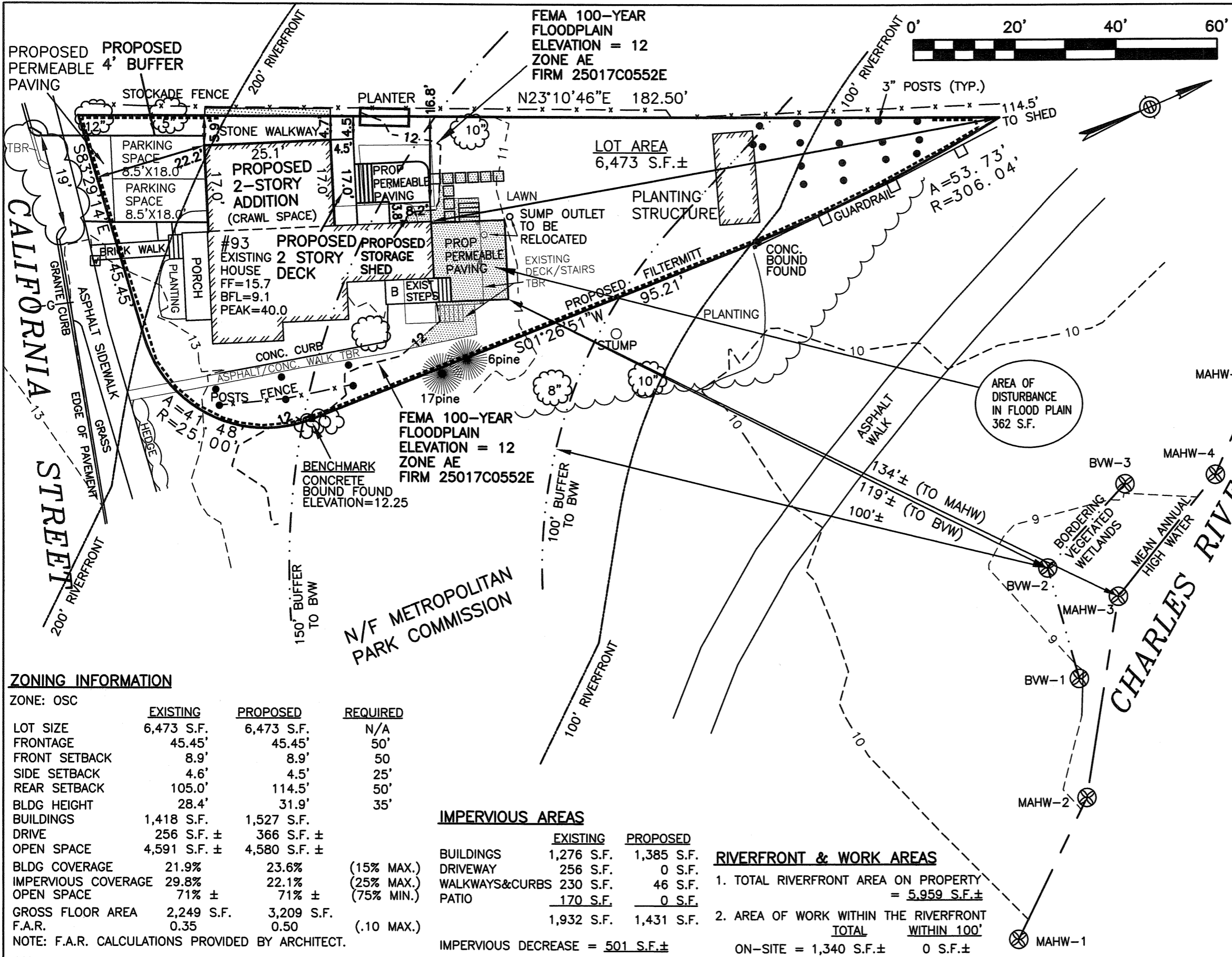
Thank you for your kind consideration. Please contact me at (617) 744-0028 if you should have any questions.

Sincerely,

Christopher Zevitas Digitally signed by Christopher Zevitas
Date: 2026.03.10 15:55:52 -04'00'

Christopher D. Zevitas

Attachment 1
Current Approved Plans



ESTABLISHED 1916
EMB
EVERETT M. BROOKS CO.
 SURVEYORS & ENGINEERS
 49 LEXINGTON STREET
 WEST NEWTON, MA 02465
 (617) 527-8750
 (617) 332-1578 FAX
 info@everettbrooks.com

CUT/ FILL IN FLOODPLAIN
CUT:
 EXSITING DECK POSTS & STEPS = 3 C.F. ±
 TOTAL = 3 C.F. ±
FILL:
 PROPOSED SHED = 1 C.F. ±
 TOTAL = 1 C.F. ±



PLAN OF LAND IN WATERTOWN, MA
 93 CALIFORNIA STREET
 PROPOSED ADDITIONS

SCALE: 1 IN. = 20 FT.
 DATE: SEPTEMBER 15, 2021
 DRAWN: JF/ES/LNS
 CHECK: BB

REVISIONS:

10/4/21	11x17 size	LNS
2/3/22	area of disturbance	LNS
3/16/22	curb cut dimension	LNS

PROJECT NO. 24044 SHEET 2 OF 3

ZONING INFORMATION

ZONE: OSC

	EXISTING	PROPOSED	REQUIRED
LOT SIZE	6,473 S.F.	6,473 S.F.	N/A
FRONTAGE	45.45'	45.45'	50'
FRONT SETBACK	8.9'	8.9'	50'
SIDE SETBACK	4.6'	4.5'	25'
REAR SETBACK	105.0'	114.5'	50'
BLDG HEIGHT	28.4'	31.9'	35'
BUILDINGS	1,418 S.F.	1,527 S.F.	
DRIVE	256 S.F. ±	366 S.F. ±	
OPEN SPACE	4,591 S.F. ±	4,580 S.F. ±	
BLDG COVERAGE	21.9%	23.6%	(15% MAX.)
IMPERVIOUS COVERAGE	29.8%	22.1%	(25% MAX.)
OPEN SPACE	71% ±	71% ±	(75% MIN.)
GROSS FLOOR AREA	2,249 S.F.	3,209 S.F.	
F.A.R.	0.35	0.50	(.10 MAX.)

NOTE: F.A.R. CALCULATIONS PROVIDED BY ARCHITECT.

IMPERVIOUS AREAS

	EXISTING	PROPOSED
BUILDINGS	1,276 S.F.	1,385 S.F.
DRIVEWAY	256 S.F.	0 S.F.
WALKWAYS&CURBS	230 S.F.	46 S.F.
PATIO	170 S.F.	0 S.F.
	1,932 S.F.	1,431 S.F.

IMPERVIOUS DECREASE = 501 S.F. ±

RIVERFRONT & WORK AREAS

1. TOTAL RIVERFRONT AREA ON PROPERTY	= 5,959 S.F. ±
2. AREA OF WORK WITHIN THE RIVERFRONT	
TOTAL	
ON-SITE	1,340 S.F. ±
WITHIN 100'	0 S.F. ±

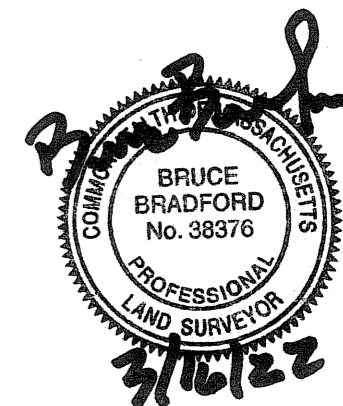
ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.
SURVEYORS & ENGINEERS

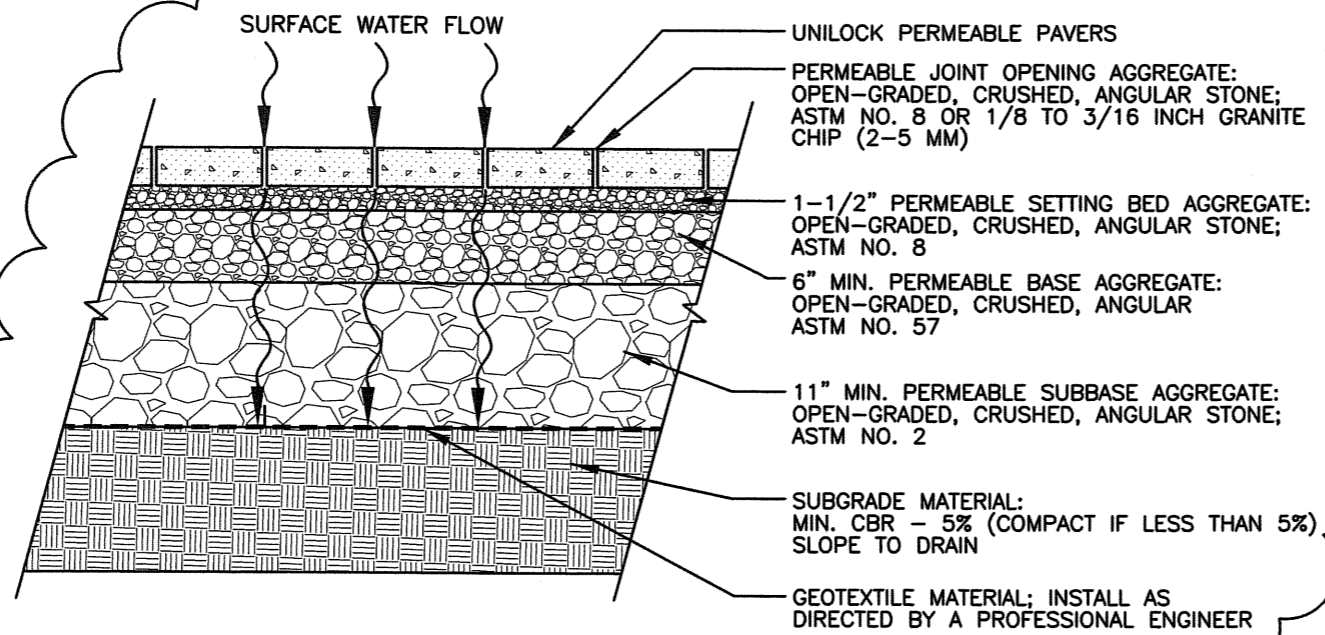
49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
(617) 332-1578 FAX
info@everettbrooks.com



LEGEND

- UTILITY POLE
- ▣ WATER GATE
- ☼ HYDRANT
- ⊠ GAS GATE
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ▣ CATCH BASIN
- ☼ TREE
- ☼ LIGHT POLE
- SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- 71.4 X SPOT ELEVATION
- 71 — PROPOSED CONTOUR
- - 71 - - EXISTING CONTOUR
- D — DRAIN LINE
- RD — ROOF DRAIN
- FD — FOUNDATION DRAIN
- W — WATER LINE
- S — SEWER LINE
- G — GAS LINE
- X — FENCE
- STONEMALL
- HEDGE
- TREE LINE
- FOUND IRON PIPE
- ⊗ WETLAND FLAG



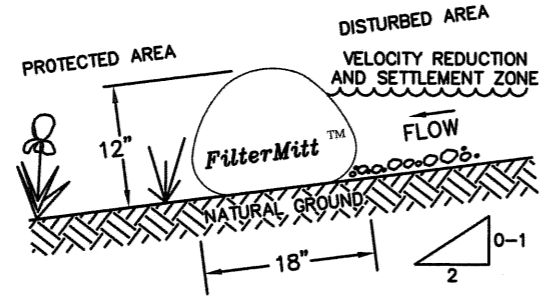
PERMEABLE PAVER NOTES

1. REFER TO UNILOCK PERMEABLE PAVER DETAIL T-3 (REVISIONS PER UNILOCK REPRESENTATIVE)
2. DRIVEWAY IS UNILOCK PELGARD
3. WALKWAY AND PATIO ARE UNILOCK TREQ

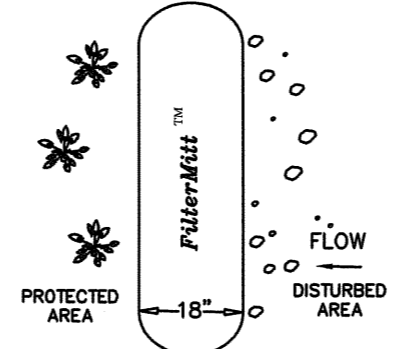
PERMEABLE PAVER SECTION DETAIL

N.T.S.

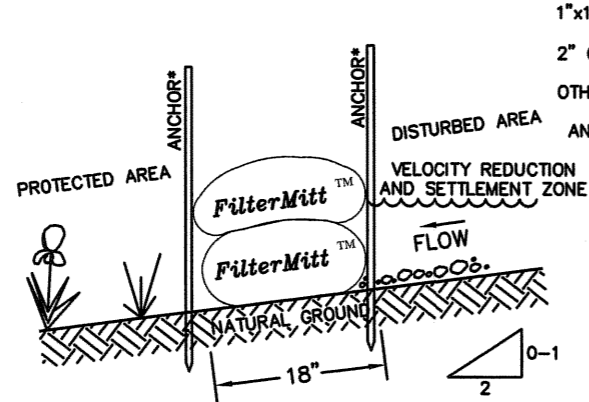
SECTION END VIEW



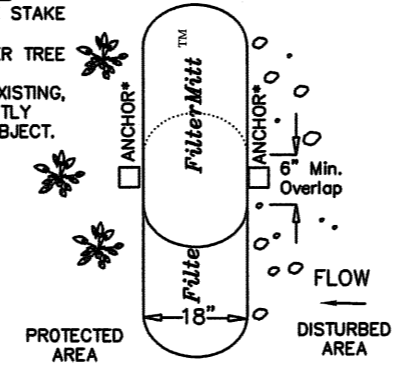
SECTION TOP VIEW



UNION END VIEW



UNION TOP VIEW



FilterMitt™ by Groundscapes Express, Inc.

2:1 SLOPES OR LESS

SILTATION CONTROL DETAIL

N.T.S.

FilterMitt™ COMPONENTS:

- OUTSIDE CASING: 100% organic hessian.
- FILLER INGREDIENT: *FiberRoot Mulch*
- A blend of coarse and fine compost and shredded wood.
- Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
- Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

For more information visit:

www.groundscapesexpress.com

or contact us at:

Groundscapes Express, Inc.

P.O. Box 737
Wrentham, MA 02093
(508) 384-7140

FilterMitt™ INSTALLATION:

With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of *FilterMitt™* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

PLAN OF LAND IN WATERTOWN, MA

93 CALIFORNIA STREET
LEGEND & DETAIL

SCALE: 1 IN. = 20 FT.
DATE: SEPTEMBER 15, 2021
DRAWN: JF/ES/LNS
CHECK: BB

REVISIONS:		
10/4/21	11x17 size	LNS
3/16/22	paver detail	LNS

PROJECT NO. 24044 SHEET 3 OF 3

Attachment 2
Proposed Changes

ESTABLISHED 1916

EMB

EVERETT M. BROOKS CO.

SURVEYORS & ENGINEERS

49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
(617) 332-1578 FAX
info@everettbrooks.com

CUT/ FILL IN FLOODPLAIN

CUT:
EXISTING DECK POSTS & STEPS = 3 C.F. ±
TOTAL = 3 C.F. ±

FILL:
PROPOSED SHED = 1 C.F. ±
TOTAL = 1 C.F. ±



PLAN OF LAND IN WATERTOWN, MA

93 CALIFORNIA STREET
PROPOSED ADDITIONS

SCALE: 1 IN. = 20 FT.

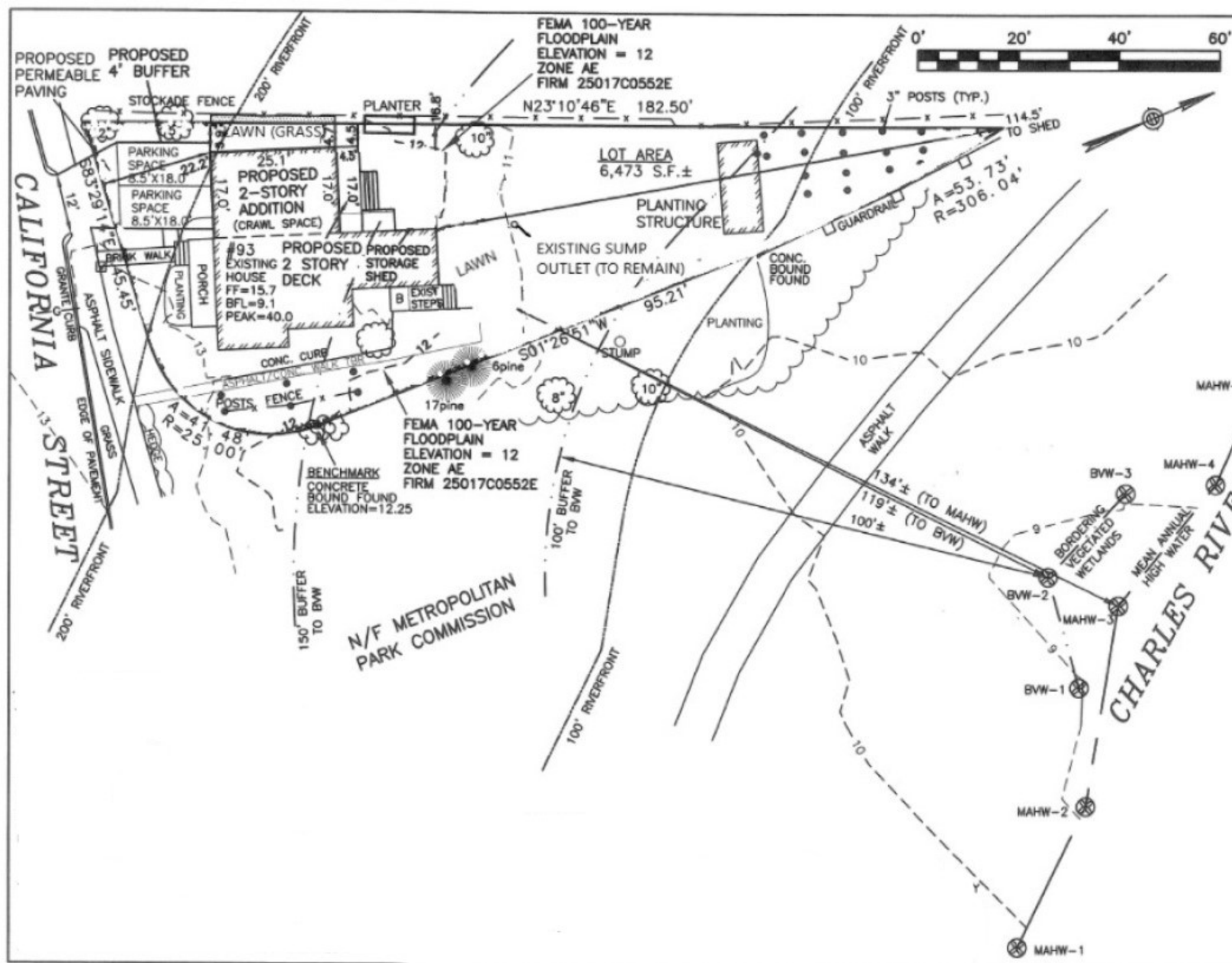
DATE: SEPTEMBER 15, 2021

DRAWN: JF/ES/LNS

CHECK: BB

REVISIONS: DECEMBER 2025 - CZ
10/4/21 | 11x17 size | LNS

PROJECT NO. 24044 SPAGE 8 OF 87 3



PROPOSED PERMEABLE PAVING

CALIFORNIA STREET

FEMA 100-YEAR FLOODPLAIN ELEVATION = 12 ZONE AE FIRM 25017C0552E



N23°10'46"E 182.50'

LOT AREA 6,473 S.F. ±

PROPOSED 2-STORY ADDITION (CRAWL SPACE)

#93 EXISTING 2 STORY HOUSE FF=15.7 BFL=9.1 PEAK=40.0

PROPOSED STORAGE SHED

EXISTING SUMP OUTLET (TO REMAIN)

FEMA 100-YEAR FLOODPLAIN ELEVATION = 12 ZONE AE FIRM 25017C0552E

BENCHMARK CONCRETE BOUND FOUND ELEVATION=12.25

N/F METROPOLITAN PARK COMMISSION

MAHW-1

MAHW-2

MAHW-3

MAHW-4

MAHW-5

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MAHW-256



February 16, 2026

Ref: 14580.01

Katie Swan, Conservation Agent
Watertown Conservation Commission
149 Main Street
Watertown, MA 02472

Re: Request for Certificate of Compliance
580 Pleasant Street

Dear Katie,

In regard to the above referenced site, VHB has reviewed as-built drawings for the Property.

The site construction has been completed, as shown in the plan entitled "As-Built Plan of Land" prepared by VHB, dated Jan 19, 2023, and is substantively in accordance with the Conservation Commission Order of Conditions, Dep File # 321-0173.

The stormwater management system is operating as designed and will henceforth be maintained in accordance with the recorded Operations & Maintenance plan, by the property owner, Griffith Properties, LLC.

Enclosed please find the following materials in support of a request for a certificate of Compliance for the project:

- Copy of recorded Order of Conditions, 4/7/2021;
- As-Built Plan of Land, prepared by VHB, dated Jan 19, 2023;
- Copy of the latest Stormwater maintenance inspection report;
- DEP form WPA 8A Request for Certificate of Compliance.

On behalf of the Applicant, Griffith Properties, LLC., I respectfully request a hearing by the Conservation Commission in regard to this Certificate of Compliance request.

If you have any questions regarding these matters or the enclosed materials please contact me at (617) 607-2594.

Sincerely,

Vanasse Hangen Brustlin, Inc.

Engineers | Scientists | Planners | Designers

101 Walnut Street
PO Box 9151
Watertown, Massachusetts 02471
P 617.924.1770
F 617.924.2286

Joe Fontaine
Ref: 10028.03
February 16, 2026
Page 2



Conor Nagle, PE
Project Manager
cnagle@vhb.com

Cc: Nora Kelly, Griffith Properties, LLC



WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

A. Project Information

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

Name _____

Mailing Address _____

City/Town _____ State _____ Zip Code _____

Phone Number _____

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Applicant _____

Dated _____ DEP File Number _____

3. The project site is located at:

Street Address _____ City/Town _____

Assessors Map/Plat Number _____ Parcel/Lot Number _____

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Property Owner (if different) _____

County _____ Book _____ Page _____

Certificate (if registered land) _____

5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



WPA Form 8A – Request for Certificate of Compliance

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

A. Project Information (cont.)

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

B. Submittal Requirements

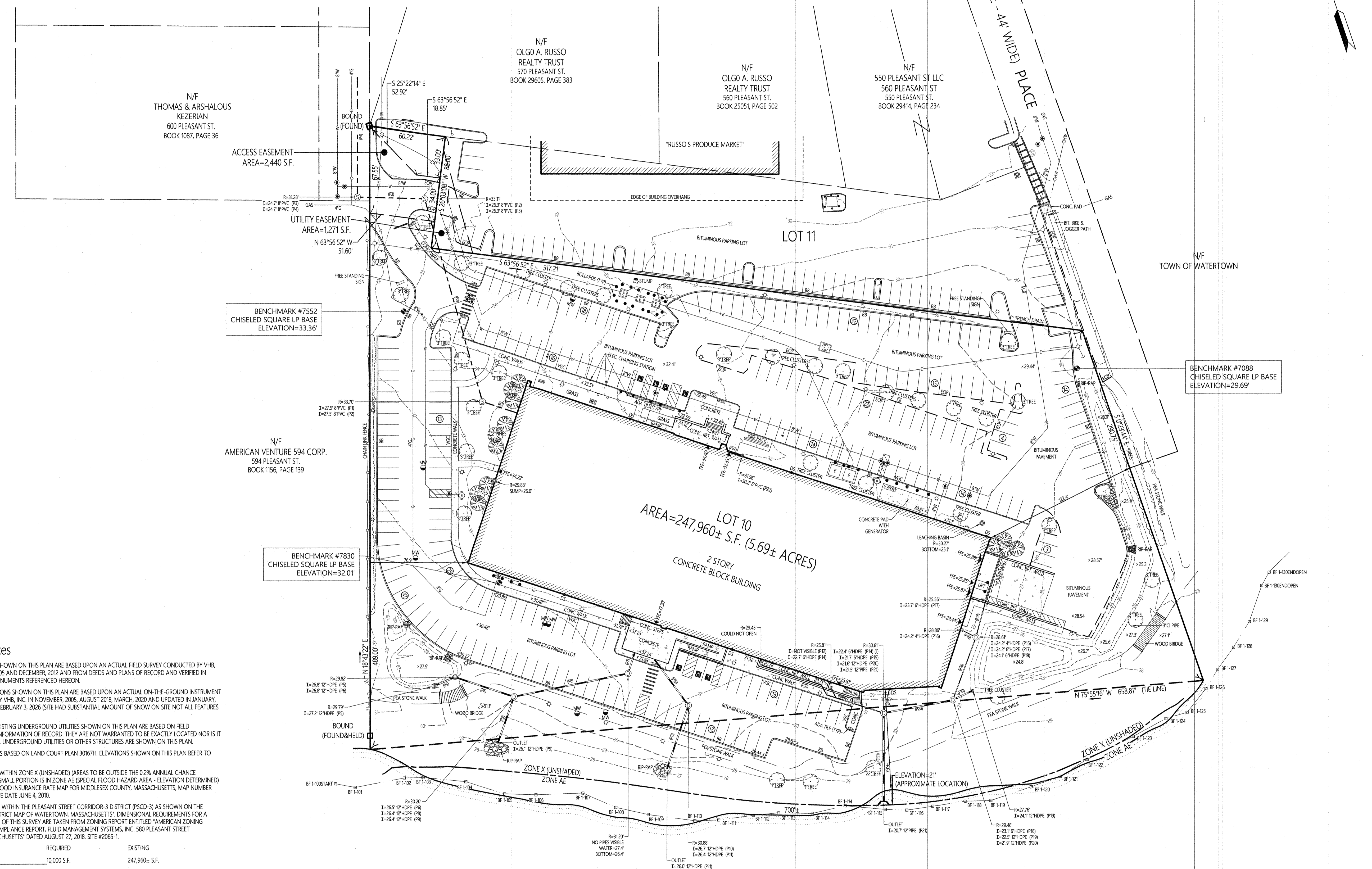
Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).



101 Walnut Street
PO Box 9151
Watertown, MA 02471
617.924.1770

Legend

- ⊙ DRAIN MANHOLE
- ⊙ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ MANHOLE
- HH □ HANDHOLE
- ⊙ WATER GATE
- ⊙ FIRE HYDRANT
- ⊙ GAS GATE
- ★ BOLLARD w/LIGHT
- ⊙ TRAFFIC SIGNAL BOX
- ⊙ PEDESTRIAN SIGNAL LIGHT
- ⊙ STREET SIGN
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY POLE
- ⊙ GUY WIRE
- MW ⊙ MONITORING WELL
- ⊙ FLOOD LIGHT
- ⊙ WELL
- ⊙ MARSH
- ⊙ DOOR/ENTRANCE
- FFE FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- N/PV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE WHITE LINE
- LSA LANDSCAPED AREA
- ⊙ EDGE OF PAVEMENT
- ⊙ CONCRETE CURB
- ⊙ VERTICAL GRANITE CURB
- ⊙ SLOPED GRANITE EDGE
- ⊙ BITUMINOUS BERM
- ⊙ BITUMINOUS CURB
- ⊙ METAL GUARDRAIL
- ⊙ WOOD GUARDRAIL
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ DRAINAGE LINE
- ⊙ SEWER LINE
- ⊙ OVERHEAD WIRE
- ⊙ UNDERGROUND ELECTRIC
- ⊙ TELEPHONE LINE
- ⊙ GAS LINE
- ⊙ WATER LINE
- ⊙ STONE WALL
- ⊙ TREE LINE
- ⊙ 100' BUFFER ZONE
- ⊙ 100' RIVER FRONT AREA
- ⊙ 200' RIVER FRONT AREA
- ⊙ LIMIT MEAN ANNUAL HIGH WATER
- ⊙ LIMIT OF BANK
- ⊙ VEGETATED WETLAND BOUNDARY

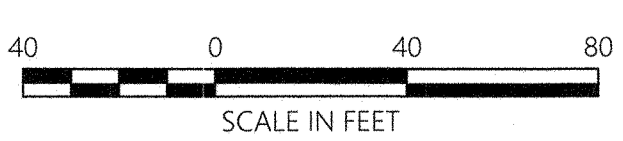


General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN NOVEMBER, 2005 AND DECEMBER, 2012 AND FROM DEEDS AND PLANS OF RECORD AND VERIFIED IN MARCH, 2020. SEE MONUMENTS REFERENCED HEREON.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN NOVEMBER, 2005, AUGUST 2018, MARCH, 2020 AND UPDATED IN JANUARY, 2023 AND AGAIN ON FEBRUARY 3, 2025 (SITE HAD SUBSTANTIAL AMOUNT OF SNOW ON SITE NOT ALL FEATURES WERE OBSERVED).
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON LAND COURT PLAN 30167H. ELEVATIONS SHOWN ON THIS PLAN REFER TO NGVD OF 1929.
- 5) THE LOT LIES MOSTLY WITHIN ZONE X (UNSHADED) (AREAS TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND A SMALL PORTION IS IN ZONE AE (SPECIAL FLOOD HAZARD AREA - ELEVATION DETERMINED) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0552E, EFFECTIVE DATE JUNE 4, 2010.
- 6) THE LOT LIES ENTIRELY WITHIN THE PLEASANT STREET CORRIDOR-3 DISTRICT (PSCD-3) AS SHOWN ON THE ON-LINE ZONING DISTRICT MAP OF WATERTOWN, MASSACHUSETTS' DIMENSIONAL REQUIREMENTS FOR A (PSCD-3) AT THE TIME OF THIS SURVEY ARE TAKEN FROM ZONING REPORT ENTITLED 'AMERICAN ZONING SERVICES, ZONING COMPLIANCE REPORT, FLUID MANAGEMENT SYSTEMS, INC. 580 PLEASANT STREET WATERTOWN, MASSACHUSETTS' DATED AUGUST 27, 2018, SITE #2065-1.

	REQUIRED	EXISTING
MINIMUM LOT AREA	10,000 S.F.	247,960± S.F.
MINIMUM FRONTAGE	N/A FEET	250 FEET*
MINIMUM FRONT YARD SETBACK	10 FEET	122.4 FEET*
MINIMUM SIDE YARD SETBACK	18 FEET	79± FEET
MINIMUM REAR YARD SETBACK	18 FEET	76.9 FEET
MAXIMUM BUILDING HEIGHT	24 (MIN.) - 55 (MAX.) FEET	30 FEET

- *ALONG PARAMOUNT PLACE
- 7) THE SITE CONTAINS 261 SPACES (4 OF WHICH ARE EV SPACES) AND 7 HANDICAP SPACES FOR A TOTAL OF 268 SPACES.
 - 8) SITE HAS ACCESS FROM PARAMOUNT PLACE A PRIVATE WHICH HAS ACCESS TO PLEASANT STREET AND FROM 40' WAY WHICH HAS ACCESS TO PLEASANT STREET.
 - 9) FIELD DELINEATION OF WETLANDS, BY VHB, WERE OBSERVED AND FIELD LOCATED AS SHOWN ON SURVEY.



580 Pleasant Street
580 Pleasant Street
Watertown, Massachusetts

No.	Revision	Date	App'd
1	SITE UPDATE	2/3/2026	RUB

Designed by: _____ Checked by: _____
Issued for: _____ Date: _____
Jan. 19, 2023

Drawing Title
**As-Built
Plan of Land**

Drawing Number

Professional Seal: RUSSELL J. BOUSQUET, No. 53589, Registered Professional Engineer, State of Massachusetts.

Project Number: 09383.02

Sheet: 1 of 1

Date: 2/3/2026



March 23, 2026

Ref: R201083.000

Katie Swan
Conservation Agent
City of Watertown
149 Main Street
Watertown, MA 02472

Re: Substantial Conformance of Landscape Construction
580 Pleasant St, Watertown

Dear Katie:

I or a landscape architect under my direction has conducted periodic site visits throughout the construction phase of the site work.

In my observation the work completed appears to be in substantial conformance with the approved site plans dated February 4, 2021, and in accordance with the Order of Conditions (DEP # 321-0173), dated April 7, 2021.

The work has been completed as shown on the plan entitled As-Built Plan of Land, dated January 19, 2023.

If you have any questions regarding this matter please contact me at 617-607-2614.

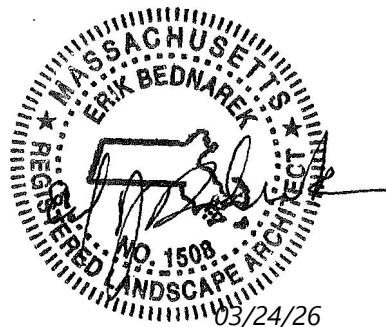
Sincerely,

VHB

Erik Bednarek

Erik Bednarek, PLA

cc: Nora Kelly, Griffith Properties, LLC
Conor Nagle, VHB



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Site Visit Comments:

Inspected stormwater management features for structural condition, proper function, and pollutant accumulation. The site was inspected for good stormwater housekeeping practices and condition of paved / landscaped surfaces. Incidental maintenance was performed during inspection where possible. Incidental maintenance includes removal of minor trash, debris, and unwanted vegetation as well as obstruction removal if possible. Any issues requiring action are summarized below. Recommendations not considered urgent should be addressed in a timely fashion as conditions allow. Inspection Log and associated inspection photos are attached.

Preventative Maintenance and Non-urgent repairs Recommended

Urgent Action Recommended	No immediate urgent action is recommended at this time.
Catch Basins, Hoods, Trench Drains, and Manholes	AD-305B cover was cut to allow run off pipe to drain into unit. Recommend putting a screen/netting over opening to prevent larger debris from falling into structure. Features appear to be in good condition and functioning as intended.
Separators (Stormcepter, Vortech, Downstream Defender, CDS, etc.)	Sand Filter recently had maintenance performed. Unit appears to be level and drain down rate seems to have returned to intended functioning levels. No corrective action is recommended at this time. Features appear to be in good condition and functioning as intended.
Sub Surface (Infiltration/Detention, Pipe System, Stormtech, Isolator Rows, etc.)	Feature not present on site.
Open Features (Ponds, Swales, Inlets, Outlets, Spillways, etc.)	No corrective action is recommended at this time. Features appear to be in good condition and functioning as intended.
Bio Retention (Filterra, StormTreat Underdrain Filters, Rain Gardens, Bio-Swales, etc.)	No corrective action recommended. Features appear to be in good condition and functioning as intended.
General Site Conditions (Pavement, Curbing, Landscaping, Good Housekeeping, etc.)	Site is in good condition.
Other (Porous Pavement, Green Roof, etc.)	Porous pavement appears to be in good condition and generally draining well. Visible sediment observed at west end of PP-2 near CBI-2 inlet. Rehabilitative efforts should be considered for the near future. Minor scoring in PP-1, assumed snow plow operations, feature appears to be in good condition and functioning as intended.
Notes/Comments	Sand Filter located within entrance terrace, under large paver tiles. Access requires paver tile lifting device.

580 Pleasant Street - Watertown, MA - Site Visit

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Property Specific Stormwater Information

Information provided on this page is specific to the stormwater I&M program implemented by StormWater Compliance, LLC for this property. For more information, questions, or to set up a meeting please email (cs@swcim.com) or call 1-877-271-9055

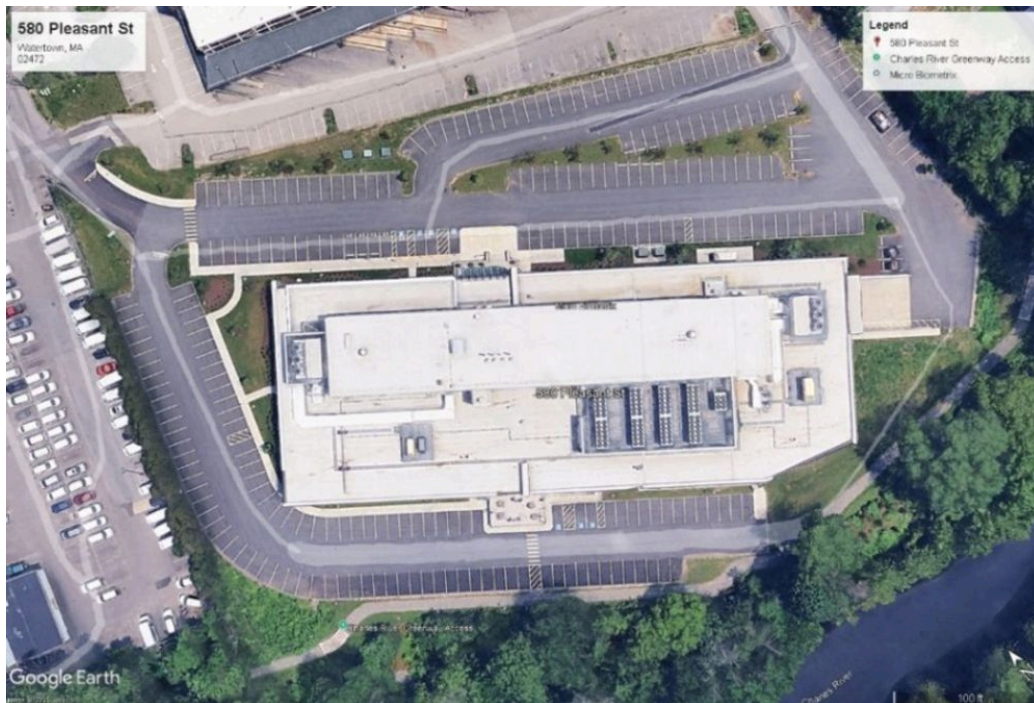
Inventory of Stormwater Systems Associated With Current I&M Program:

COUNT DESCRIPTION

- 2 Porous Pavement System(s)
- 4 Outfall/FES/Small Open Feature
- 20 Structures

COUNT DESCRIPTION

- 3 Open Features (Surface Detention/Infiltration Systems)
- 2 Water Quality Separator(s)
- 1 General Site Conditions / Good House-Keeping



Plan Links

Please click the link below to download the site specific plan set:

[580 Pleasant St Site Plans.pdf](#)

580 Pleasant Street - Watertown, MA - Site Visit

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Weather History

Precipitation Recorded

No Precipitation

Missed or data unavailable

May

13 th	0	14 th	0	15 th	0.53	16 th	0	17 th	0.03	18 th	0.02	19 th	0
20 th	0	21 st	0	22 nd	2.09	23 rd	0.61	24 th	0.09	25 th	0	26 th	0
27 th	0	28 th	0	29 th	0.10	30 th	0.02	31 st	0.20				

June

1 st	0	2 nd	0	3 rd	0	4 th	0	5 th	0	6 th	0	7 th	1.92
8 th	0	9 th	0	10 th	0.08	11 th	0	12 th	0	13 th	0	14 th	0.15
15 th	0	16 th	0	17 th	0.04	18 th	0.03	19 th	0	20 th	0	21 st	0
22 nd	0.08	23 rd	0	24 th	0	25 th	0	26 th	0.01	27 th	0	28 th	0
29 th	0	30 th	0										

July

1 st	0.26	2 nd	0.09	3 rd	0.10	4 th	0	5 th	0	6 th	0	7 th	0
8 th	0.26	9 th	0.63	10 th	0.79	11 th	0	12 th	0	13 th	0	14 th	0
15 th	0.08	16 th	0	17 th	0	18 th	0	19 th	0	20 th	0.89	21 st	0
22 nd	0	23 rd	0	24 th	0	25 th	0.36	26 th	0	27 th	0.06	28 th	0
29 th	0	30 th	0	31 st	1.51								

August

1 st	0.38	2 nd	0	3 rd	0	4 th	0	5 th	0	6 th	0	7 th	0
8 th	0	9 th	0	10 th	0	11 th	0	12 th	0	13 th	0	14 th	0
15 th	0	16 th	0	17 th	0	18 th	0	19 th	0	20 th	0.35	21 st	0.02
22 nd	0	23 rd	0	24 th	0	25 th	0.02	26 th	0	27 th	0.01	28 th	0.01
29 th	0.82	30 th	0	31 st	0								

580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --	

September

1 st	0	2 nd	0	3 rd	0	4 th	0	5 th	0.12	6 th	1.22	7 th	1.00
8 th	0	9 th	0	10 th	0	11 th	0	12 th	0	13 th	0	14 th	0
15 th	0	16 th	0	17 th	0	18 th	0.07	19 th	0	20 th	0	21 st	0
22 nd	0	23 rd	0	24 th	0.11	25 th	0.96	26 th	0	27 th	0	28 th	0.01
29 th	0	30 th	0										

October

1 st	0	2 nd	0	3 rd	0	4 th	0	5 th	0	6 th	0	7 th	0
8 th	1.08	9 th	0	10 th	0	11 th	0	12 th	0.41	13 th	1.30	14 th	0.28
15 th	0	16 th	0	17 th	0	18 th	0	19 th	0	20 th	0.74	21 st	0
22 nd	0.76	23 rd	0	24 th	0	25 th	0	26 th	0	27 th	0	28 th	0
29 th	0	30 th	0.81	31 st	0.18								

November

1 st	0	2 nd	0	3 rd	0.06	4 th	0	5 th	0.03	6 th	0.01	7 th	0.06
8 th	0.11	9 th	0.08	10 th	0.48	11 th	0	12 th	0	13 th	0	14 th	0
15 th	0.29	16 th	0.35	17 th	0	18 th	0	19 th	0	20 th	0	21 st	0
22 nd	0.19	23 rd	0.01	24 th	0	25 th	0.13	26 th	0.14	27 th	0	28 th	0
29 th	0	30 th	0.21										

December

1 st	0	2 nd	0.88	3 rd	0.12	4 th	0	5 th	0	6 th	0.01	7 th	0
8 th	0	9 th	0	10 th	0.13	11 th	0						

All precipitation totals are obtained from the National Oceanic and Atmospheric Administration (NOAA). Precipitation readings are based on the latitude and longitude for each site as entered into ComplianceGO. Occasionally NOAA fails to return/record data. Days where this occurs are so indicated.

580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
DMH-101	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	



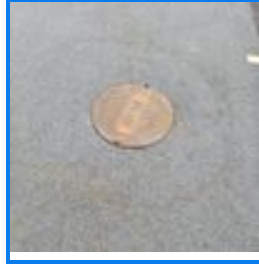
DMH-102	Good	Good	No Hood	No	2	No Maintenance Performed / Required.	No Maintenance Performed / Required	
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580 Pleasant Street - Watertown, MA - Site Visit

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Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
DMH-201	Good	Good	No Hood	No	2	No Maintenance Performed / Required.	No Maintenance Performed / Required	



DMH-300	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	
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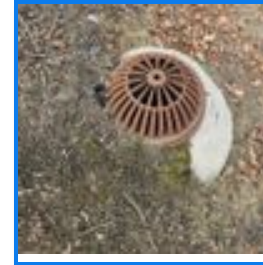
580 Pleasant Street - Watertown, MA - Site Visit

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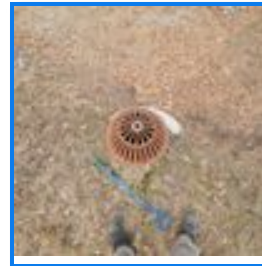
Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
EX-DMH	Good	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	



AD-103	Good	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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AD-104	Good	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
AD-304	Good	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	Dry



AD-305	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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AD-305A	Good	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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580 Pleasant Street - Watertown, MA - Site Visit

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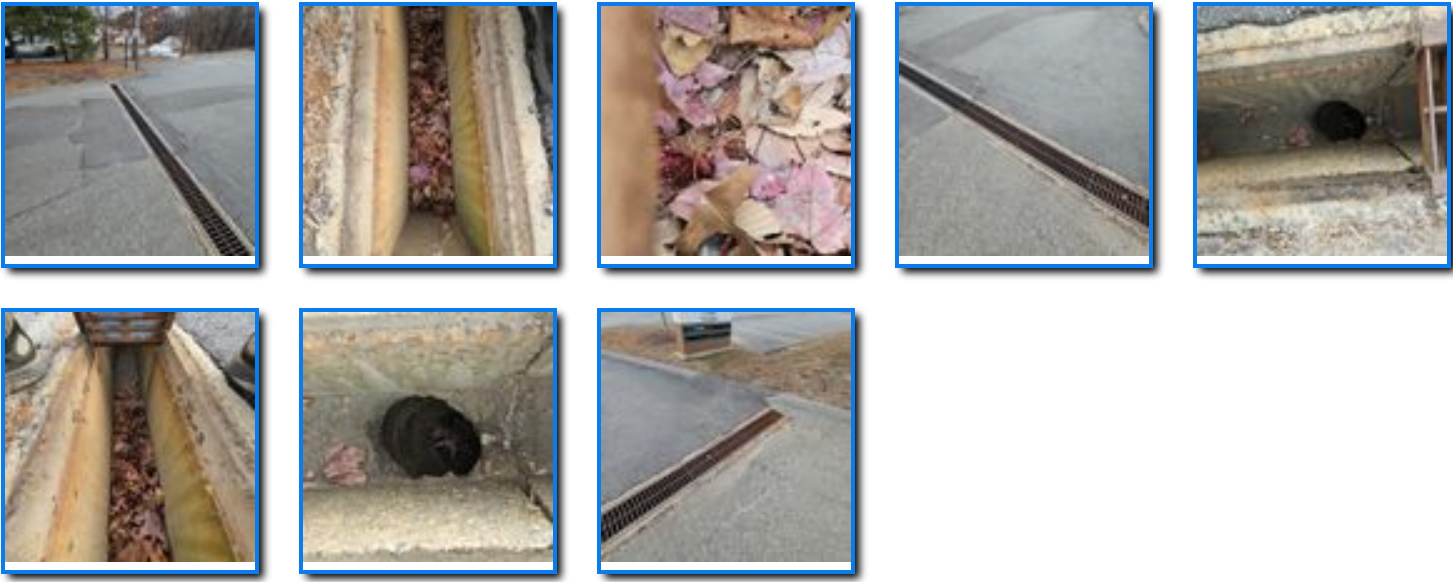
Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
AD-305B	Repair	Good	No Hood	No	0	No Maintenance Performed / Required.	No Maintenance Performed / Required.	Cover Has Large Opening Should Install Netting To Prevent Larger Debris From Entering Structure.



Leaching-CB	Good	Good	No Hood	No	3	No Maintenance Performed / Required.	No Maintenance Performed / Required.	Significant Leaf Debris Observed.
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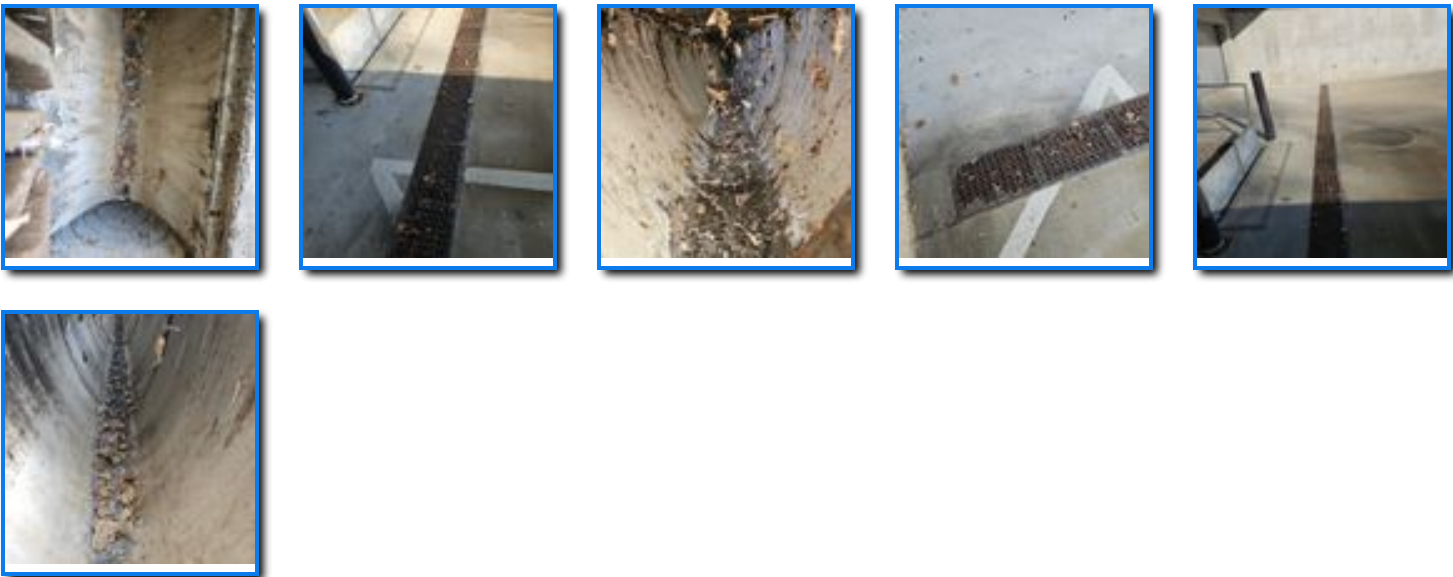
Trench Drain-EX	Good	Good	No Hood	No	2	No Maintenance Performed / Required.	No Maintenance Performed / Required.	Leaf Debris Observed.
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580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
Trench Drain-302	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	



CBI-1	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	Curb Break Inlet Crushed Stone To Rip Rap
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CBI-2	Good	Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	Curb Break Inlet Crushed Stone To Rip Rap
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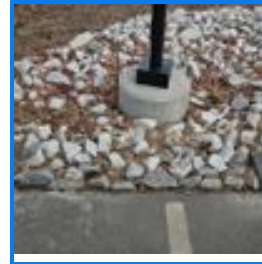
580 Pleasant Street - Watertown, MA - Site Visit

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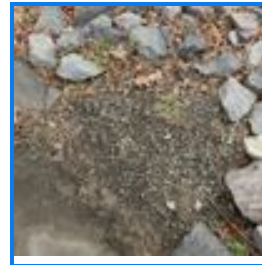
Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
CBI-3A		Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required.	



CBI-3B		Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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CBI-4		Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required.	
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580 Pleasant Street - Watertown, MA - Site Visit

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Structure Number	Casting Condition	Surface Condition	Hood Condition	Floatables	Sediment (Inches)	Maintenance Performed	Maintenance Required	I&M Comments
CBI-5		Good	No Hood	No	1	No Maintenance Performed / Required.	No Maintenance Performed / Required	



580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Separator Stormwater Feature Log

WQU-302

Inspection Items	Observations	Inspection Comments
Internal Components	Good Condition	
Sediment Accumulation	Good Condition	Minor Amount Of Sediment Accumulation Was Observed.
Trash/Debris/Pollutants	Good Condition	
Hydrocarbons	Good Condition	

Sediment Total
4

Notes:



580 Pleasant Street - Watertown, MA - Site Visit

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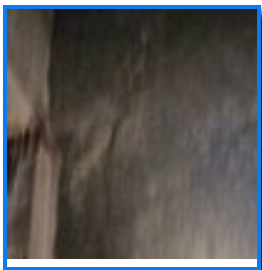
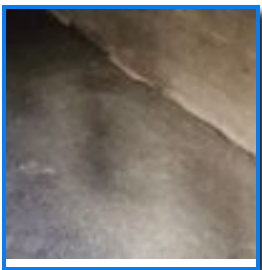
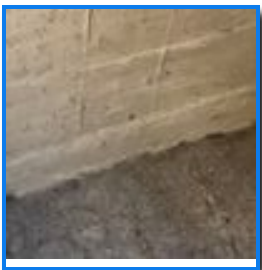
Separator Stormwater Feature Log

Sandfilter S-1

Inspection Items	Observations	Inspection Comments		
Internal Components	Good Condition			
Sediment Accumulation	Good Condition	<table border="1"> <tr> <td>Sediment Total</td> </tr> <tr> <td>0</td> </tr> </table>	Sediment Total	0
Sediment Total				
0				
Trash/Debris/Pollutants	Good Condition			
Hydrocarbons	Good Condition			

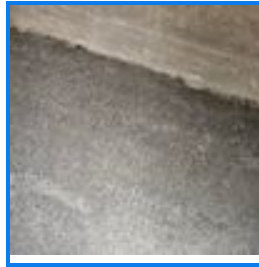
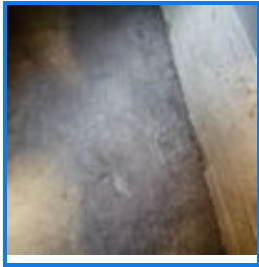
Notes:

Sand Filter recently had maintenance performed. Unit appears to be level and drain down rate seems to have returned to intended functioning levels.



580 Pleasant Street - Watertown, MA - Site Visit

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Open StormWater Feature Inspection Log

Infiltration Basin-01

Inspection Items	Observations	Inspection Comments
Outlet/Outlet Control Structure	Good Condition	
Emergency Spillway/Overflow	Good Condition	
Inlets / Forebays	Good Condition	
Embankments	Good Condition	
Vegetation	Good Condition	
Rodents / Insects	Good Condition	
Water Level	Good Condition	
Sedimentation	Good Condition	
Trash/Debris/Pollutants	Good Condition	

Notes:

580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
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Open StormWater Feature Inspection Log

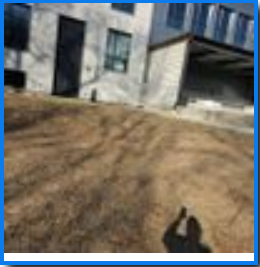
Infiltration Basin-02

Inspection Items	Observations	Inspection Comments
Outlet/Outlet Control Structure	Good Condition	
Emergency Spillway/Overflow	Good Condition	
Inlets / Forebays	Good Condition	
Embankments	Good Condition	
Vegetation	Good Condition	
Rodents / Insects	Good Condition	
Water Level	Good Condition	
Sedimentation	Good Condition	
Trash/Debris/Pollutants	Good Condition	

Notes:

580 Pleasant Street - Watertown, MA - Site Visit

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Open StormWater Feature Inspection Log

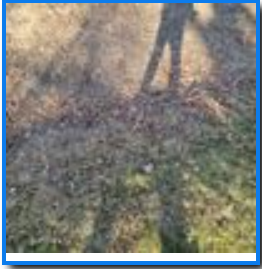
Sediment Forebay

Inspection Items	Observations	Inspection Comments
Outlet/Outlet Control Structure	Good Condition	
Emergency Spillway/Overflow	Good Condition	
Inlets / Forebays	Good Condition	
Embankments	Good Condition	
Vegetation	Good Condition	
Rodents / Insects	Good Condition	
Water Level	Good Condition	
Sedimentation	Good Condition	
Trash/Debris/Pollutants	Good Condition	

Notes:

580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Outfall/FES/Small Open Feature Log

FES-100

Inspection Items	Observations	Inspection Comments
Embankments	Good Condition	
Vegetation	Good Condition	
Sedimentation	Good Condition	
Velocity Dissipation	Good Condition	
Trash/Debris/Pollutants		

Notes: FES 100 recently repaired. Feature operating as intended



580 Pleasant Street - Watertown, MA - Site Visit

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Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Outfall/FES/Small Open Feature Log

FES-200

Inspection Items	Observations	Inspection Comments
Embankments	Good Condition	
Vegetation	Good Condition	
Sedimentation	Fair Condition	See Notes Below.
Velocity Dissipation	Fair Condition	Velocity Dissipation Appears To Be Reduced Due To Sediment Accumulation.
Trash/Debris/Pollutants		See Notes Below.

Notes: FES was observed to be sedimented at edge of rip rap pad. FES was dry upon arrival. Sand observed in FES.



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

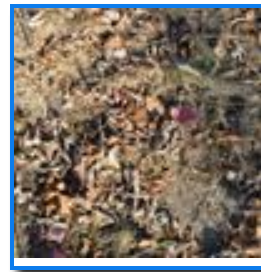
Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Outfall/FES/Small Open Feature Log

Swale

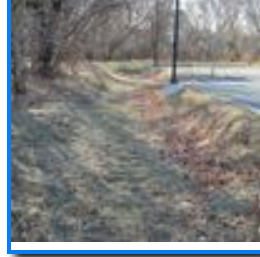
Inspection Items	Observations	Inspection Comments
Embankments	Good Condition	
Vegetation	Good Condition	
Sedimentation	Good Condition	
Velocity Dissipation	Good Condition	
Trash/Debris/Pollutants		

Notes:



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

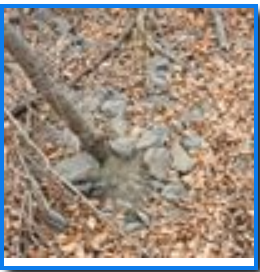
Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Outfall/FES/Small Open Feature Log

HW-EX

Inspection Items	Observations	Inspection Comments
Embankments	Good Condition	
Vegetation	Good Condition	
Sedimentation	Good Condition	
Velocity Dissipation	Good Condition	
Trash/Debris/Pollutants		

Notes:



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Porous Pavement Inspection Log

Porous Pavement-01

Inspection Items	Observations	Inspection Comments
Visible Sediment	Good Condition	Minor Amount Of Sediment Buildup Observed.
Underdrain / Flow Control (if applicable)	Good Condition	
Surface Condition	Good Condition	See Notes Below.
Ponding / Run-on	Good Condition	See Notes Below.

Notes: Minor scoring in PP-1, assumed snow plow operations, SWC is scheduled to sweep porous pavement with an air sweeper.

580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Porous Pavement Inspection Log

Porous Pavement-02

Inspection Items	Observations	Inspection Comments
Visible Sediment	Fair Condition	Minor Amount Of Sediment Buildup Observed.
Underdrain / Flow Control (if applicable)	Good Condition	
Surface Condition	Good Condition	
Ponding / Run-on	Fair Condition	Evidence Of Minor Ponding Observed.

Notes: Majority of porous section appear to be infiltrating. Minor ponding observed at western end of porous section 2 around inlet of CBI-2. Rehabilitative efforts should be considered for the near future.

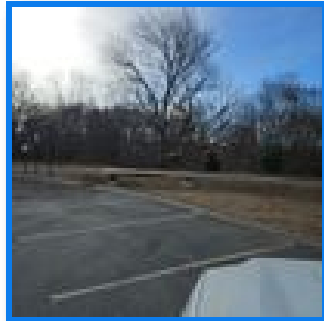
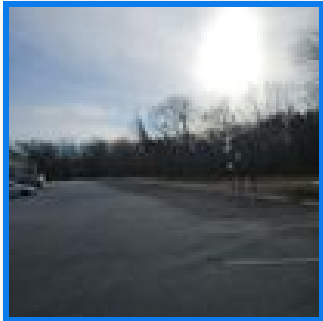
580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13"	48h Forecast --



580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual	
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580 Pleasant Street - Watertown, MA - Site Visit

Site Name:	580 Pleasant Street - Watertown, MA 580 Pleasant St, Watertown MA 02472 42.3651279, -71.2111442	Inspector: Spencer Andrews	Inspection Type: Semi-Annual
Date of Visit:	Dec 11, 2025	Current Weather Conditions Dry	Last Precipitation Wednesday, December 10, 2025, 0.13" 48h Forecast --

Stormwater Inspection Data Key

Inspection Log Section Descriptions

Stormwater Structures	Structures include collection and conveyance elements typical of stormwater management systems. Examples include Catch Basins (CB), Manholes (MH), Trench Drains (TD), Yard Drains (YD), Outlet Control Structures (OCS), etc.
Open Features	Open features include open air treatment and conveyance elements typical of stormwater management systems. Examples include Ponds, Basins, Swales, Forebays, Outfalls, Bio-retention, Rain gardens, etc.
Separators	Separators are water quality devices meant to separate sediment and floatable pollutants from collected stormwater. These devices are known by several generic names such as Water Quality Unit (WQU), Oil/Grit Separators (OGS), etc. Common proprietary names include Stormceptor, Vortech, Bay Saver, Downstream Defender, CDS unit, StormFilter, etc.
Filterra	Filterra is a Proprietary Bio-retention / Filtration device. These units utilize engineered filter media and bio-uptake to improve water quality. Also known as a Tree box filter.
StormTreat	StormTreat is a Proprietary Bio-retention / Filtration device. These units utilize engineered filter media and bio-uptake to improve water quality. Also known as a manufactured wetland.
Subsurface Systems	Subsurface systems are underground systems constructed with pipes, chambers, tanks, or other means. These systems are designed to detain or infiltrate collected stormwater and function similarly to surface stormwater ponds. StormTech, Brentwood, StormTrap, StormChamber, etc. are common proprietary names.
Porous Pavement	Porous pavement is a hard /durable surface designed to allow stormwater to pass directly through the surface. There are four general types of porous pavements; poured in place concrete, poured in place asphalt, interlocking pavers and pre-cast modular porous concrete (StormCrete)

Observation Call-out Key

G	Good Condition	Condition and function of element is satisfactory. No maintenance recommended at this time.
F	Fair Condition	Condition and function of element is satisfactory but evidence of wear or minor deterioration is observed. Condition should be monitored. Preventative maintenance or repairs may be recommended.
R	Repairs Recommended	Repairs or Maintenance required as conditions allow.
U	Urgent	Action is required to prevent likely harm to persons, property, or environment.
NH	No Hood	No Hood observed in structure.
SC	See Comments	See comments in comment column.
Y	Yes	Yes
N	No	No
NA	Not Applicable	Element not present

Maintenance Call-out Key

Maintenance Performed / Required	N	No maintenance performed / required.
	C	Cleanout of sediment accumulation
	J	Jetting by water pressure
	V	Vegetation Maintenance
	R	Repair
	T	Trash / Debris Removal
	S	Skim floatable debris
	OB	Install or replace oil absorbents
	SC	See comments in comment column. Maintenance performed / required.

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:321-0173

eDEP Transaction #:1275563

City/Town:WATERTOWN

A. General Information

- 1. Conservation Commission WATERTOWN
2. Issuance a. OOC b. Amended OOC
3. Applicant Details
- a. First Name VALLA b. Last Name BROWN
- c. Organization G&I X/GP4 580 PLEASANT STREET LLC
- d. Mailing Address 22 BOSTON WHARF ROAD, 7TH FLOOR
- e. City/Town BOSTON f. State MA g. Zip Code 02210
4. Property Owner
- a. First Name b. Last Name
- c. Organization G&I X/GP4 580 PLEASANT STREET LLC
- d. Mailing Address 22 BOSTON WHARF ROAD, 7TH FLOOR
- e. City/Town BOSTON f. State MA g. Zip Code 02210
5. Project Location
- a. Street Address 580 PLEASANT STREET Lot 7
- b. City/Town WATERTOWN c. Zip Code 02472
- d. Assessors 810 e. Parcel/Lot# 17
- Map/Plat# f. Latitude 42.36500N g. Longitude 71.21093W
6. Property recorded at the Registry of Deed for:
- | a. County | b. Certificate | c. Book | d. Page |
|--------------------|----------------|---------|---------|
| SOUTHERN MIDDLESEX | 275339 | 1588 | 140 |
7. Dates
- a. Date NOI Filed : 2/10/2021 b. Date Public Hearing Closed: 4/7/2021 c. Date Of Issuance: 4/7/2021
8. Final Approved Plans and Other Documents

a. Plan Title:	b. Plan Prepared by:	c. Plan Signed/Stamped by:	d. Revised Final Date:	e. Scale:
SV-1- EXISTING CONDITIONS PLAN OF LAND- ALTA	RUSSELL J. BOUSQUET		03/26/2021	
C1.00- LAYOUT AND MATERIALS PLAN	MMM	HUGH HAHN	02/04/2021	
C2.00- PLANTING PLAN	ERICK BEDNAREK		02/04/2021	
A 101- BASEMENT FLOOR PLAN	RANDY E. KREE		02/14/2021	
A 102- 1ST FLOOR PLAN	RANDY E. KREE		02/14/2021	

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Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

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City/Town:WATERTOWN

A 103- 2ND FLOOR PLAN	RANDY E. KREE		02/14/2021
A 104- PENTHOUSE FLOOR PLAN	RANDY E. KREE		02/14/2021
A 201 EXTERIOR ELEVATION	RANDY E. KREE		02/14/2021
A 202 EXTERIOR VIEWS	RANDY E. KREE		02/14/2021
C 300 GRADING AND DRAINAGE	MMM	HUGH HAHN	03/04/2021
C 400 UTILITY PLAN	MMM	HUGH HAHN	03/04/2021
C 500 EROSION AND SEDIMENT CONTROL PLAN	MMM	HUGH HAHN	02/04/2021
C 600 PLANTING DETAILS	ERICK BEDAREK		02/04/2021
C 701 SITE DETAILS 1	MMM	HUGH HAHN	02/24/2021
C 702 SITE DETAILS 2	MMM	HUGH HAHN	02/24/2021
C 703 SITE DETAILS 3	MMM	HUGH HAHN	02/04/2021
C 801 FIRE TRUCK AND TURNING MOVEMENTS	MMM	HUGH HAHN	02/04/2021
C 802 WB-40 TURNING MOVEMENTS	MMM	HUGH HAHN	02/04/2021
C 803 WB-62 TURNING MOVEMENTS	MMM	HUGH HAHN	02/04/2021
C 900 LEGEND AND GENERAL NOTES	MMM	HUGH HAHN	02/24/2021
PLAN OF LAND	RUSSEL J. BOUSQUET		01/14/2021
1982 BUILDING EXPANSION SITE PLAN 1984			02/23/1984

B. Findings

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File #:321-0173

eDEP Transaction #:1275563

City/Town:WATERTOWN

1. Findings pursuant to the Massachusetts Wetlands Protection Act

Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.

Check all that apply:

<input type="checkbox"/> a. Public Water Supply	<input type="checkbox"/> b. Land Containing Shellfish	<input type="checkbox"/> c. Prevention of Pollution
<input type="checkbox"/> d. Private Water Supply	<input type="checkbox"/> e. Fisheries	<input type="checkbox"/> f. Protection of Wildlife Habitat
<input type="checkbox"/> g. Ground Water Supply	<input type="checkbox"/> h. Storm Damage Prevention	<input type="checkbox"/> i. Flood Control

2. Commission hereby finds the project, as proposed, is:

Approved subject to:

The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

Denied because:

The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**

The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a). 200
a. linear feet

Inland Resource Area Impacts:(For Approvals Only):

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet

Massachusetts Department of Environmental Protection
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7. <input type="checkbox"/> Bordering Land Subject to Flooding	e. <u> </u> c/y dredged	f. <u> </u> c/y dredged		
Cubic Feet Flood Storage	a. <u> </u> square feet	b. <u> </u> square feet	c. <u> </u> square feet	d. <u> </u> square feet
	e. <u> </u> cubic feet	f. <u> </u> cubic feet	g. <u> </u> cubic feet	h. <u> </u> cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	a. <u> </u> square feet	b. <u> </u> square feet		
Cubic Feet Flood Storage	c. <u> </u> cubic feet	d. <u> </u> cubic feet	e. <u> </u> cubic feet	f. <u> </u> cubic feet
9. <input type="checkbox"/> Riverfront Area	a. <u> </u> total sq. feet	b. <u> </u> total sq. feet		
Sq ft within 100 ft	c. <u> </u> square feet	d. <u> </u> square feet	e. <u> </u> square feet	f. <u> </u> square feet
Sq ft between 100-200 ft	g. <u> </u> square feet	h. <u> </u> square feet	i. <u> </u> square feet	j. <u> </u> square feet

Coastal Resource Area Impacts:

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	<u> </u> square feet	<u> </u> square feet		
	<u> </u> c/y dredged	<u> </u> c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u> </u> square feet	<u> </u> square feet	<u> </u> c/y nourishment	<u> </u> d. c/y nourishment
14. <input type="checkbox"/> Coastal Dunes	<u> </u> square feet	<u> </u> square feet	<u> </u> c. c/y nourishment	<u> </u> d. c/y nourishment
15. <input type="checkbox"/> Coastal Banks	<u> </u> linear feet	<u> </u> linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u> </u> square feet	<u> </u> square feet		
17. <input type="checkbox"/> Salt Marshes	<u> </u> square feet	<u> </u> square feet	<u> </u> c. square feet	<u> </u> d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u> </u> square feet	<u> </u> square feet		
	<u> </u> c/y dredged	<u> </u> d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u> </u> square feet	<u> </u> square feet	<u> </u> c. square feet	<u> </u> d. square feet

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:321-0173
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City/Town:WATERTOWN

9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..

10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

" Massachusetts Department of Environmental Protection"
[or 'MassDEP']
File Number : "321-0173"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.

12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.

13. The work shall conform to the plans and special conditions referenced in this order.

14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.

15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.

16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.

17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.

18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order(the "Project") is (1) is not (2) subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;

- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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City/Town:WATERTOWN

erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.

- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.
- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.* the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.* the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission")

- upon request; and
3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
 - i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
 - j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
 - k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
 - l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions:

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No

2. The Conservation Commission hereby (check one that applies):

a. DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw _____ 2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order or Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b. APPROVES the proposed work, subject to the following additional conditions.

1. Municipal Ordinance or Bylaw 2008 2. Citation 67

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:
ORDER OF SPECIAL CONDITIONS ATTACHED



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
321-0173
 MassDEP File #

eDEP Transaction #
Watertown
 City/Town

E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.
 This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

4/7/21
 1. Date of Issuance
5
 2. Number of Signers

By Vote on September 9, 2020, the Conservation Commission authorized the Conservation Agent, Laurel Schwab, to sign on their behalf pursuant to the signature authorization recorded with the Middlesex South Registry of Deeds in Book 75782 Page 227. They also intend for their typed names below to serve their electronic signatures for any entity (MassDEP) that accepts electronic signatures.

/Leo Martin/
 Signature

Leo Martin
 Printed Name

/Maria Rose/
 Signature

Maria Rose
 Printed Name

/Charles Bering/
 Signature

Charles Bering
 Printed Name

/Jamie O'Connell/
 Signature

Jamie O'Connell
 Printed Name

/Patrick Fairbairn/
 Signature

Patrick Fairbairn
 Printed Name

 Signature

 Printed Name

Signature *Laurel Schwab*
 Signature (Conservation Agent)

Printed Name
Laurel Schwab
 Printed Name

by hand delivery on

by certified mail, return receipt requested, on

 Date

 Date

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:321-0173
eDEP Transaction #:1275563
City/Town:WATERTOWN

E. Signatures

This Order is valid for three years from the date of issuance, unless otherwise specified pursuant to General Condition #4. If this is an Amended Order of Conditions, the Amended Order expires on the same date as the original Order of Conditions.

4/7/2021

1. Date of Original Order

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

5

2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

Jamie O'Connell

Leo Martin

Patrick Fairbairn

Maria Rose

Charles Bering

by hand delivery on

by certified mail, return receipt requested, on

4-27-2021

Date

Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act

Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:321-0173
eDEP Transaction #:1275563
City/Town:WATERTOWN

(M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.

G. Recording Information

This Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on this page shall be submitted to the Conservation Commission listed below.

WATERTOWN
Conservation Commission

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

WATERTOWN
Conservation Commission

Please be advised that the Order of Conditions for the Project at:

580 PLEASANT STREET
Project Location

321-0173
MassDEP File Number

Has been recorded at the Registry of Deeds of:

County	Book	Page
--------	------	------

for:

Property Owner

and has been noted in the chain of title of the affected property in:

Book	Page
------	------

In accordance with the Order of Conditions issued on:

Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

□ **Massachusetts Department of Environmental
Protection**
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:321-0173
eDEP Transaction #:1275563
City/Town:WATERTOWN

Signature of Applicant

Rev. 4/1/2010



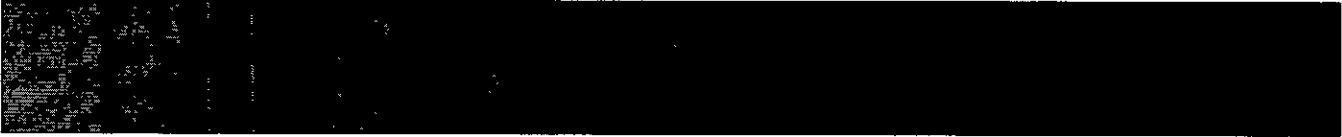
Special Conditions List

Additional Special Conditions:

- A three year invasive plant treatment plan for the riverbank planting area will be submitted to the Conservation Agent for review and approval prior to tenant certificate of occupancy.
- Specific plant locations in the Riverfront Area will be approved by the Conservation Agent before installation.
- The Applicant/owner will provide an easement to the Town for the public path with provision for assurance of maintenance.

18. Prior to the commencement of work on site:

- a. Or within 30 days of issuance of this Order of Conditions/Watertown Wetlands permit;the applicant shall record this Order/Permit at the Middlesex South District Registry of Deeds and shall provide to the Commission an attested copy of this Order/Permit showing either the instrument number or the Book and Page number evidencing recordation.
- b. The applicant or its agent shall provide to the Commission written notification giving the name, title address and telephone numbers of the person or persons designated by the petitioner to be in compliance with the conditions of this Order/Permit on site.
- c. The applicant shall provide to the Conservation Commission copies of all permits, variances, licenses or determinations which may be issued by other regulatory agencies, such as Site Plan Review permit, U.S. Army Corps of Engineers permit, Massachusetts Waterway license, Water Quality Certification, etc.
- d. Erosion controls, consistent with USDA Soil Conservation Service Guidelines, and as detailed on an approved plan submitted by the applicant, shall be installed by hand and maintained so as to prevent sedimentation of wetland resource areas for the duration of the project. These barriers shall be properly entrenched and secured as per manufacturers' instructions and reviewed by the Conservation Agent.
- e. The applicant shall notify the Commission 48 hours prior to the commencement of activity on site for inspection of erosion and sedimentation controls.



19. A detailed contingency plan in the case of a sewer line break, or any other activity requiring de-watering, shall be submitted to the Conservation Commission prior to the start of construction.

21. A pre-construction meeting shall be held by the applicant with the applicant or the applicant's representative and the Conservation Agent.

22. Names and telephone numbers of a designated on-site supervisor to be responsible for compliance with this Order of Conditions/Permit shall be submitted to the Watertown Conservation Commission prior to any activity on site.

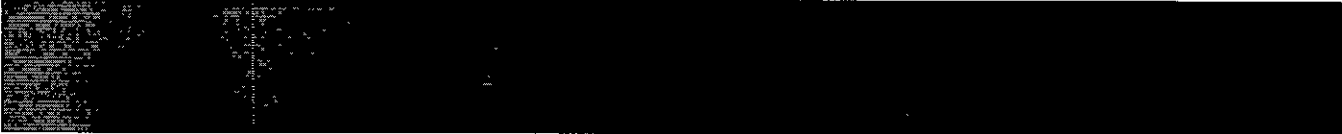
23. Work shall conform in all respects to plans and supporting data cited herein, unless otherwise conditioned in this Order/Permit. No other changes shall be made without formal approval from the Conservation Commission. This Order of Conditions does not relieve the applicant from complying with all other federal, state and local laws and regulations.

24. The applicant shall notify the Commission of any change required by other boards. Any change contemplated or required in the approved plans, cited herein, shall be submitted to the Conservation Commission for its review and approval prior to implementation. If the Conservation Commission deems that a proposed change is major or substantial, a new public hearing may be required, or the Commission may direct the Applicant to file a new Notice of Intent/Application for Permit.

25. No work within a resource area or within 150 feet of a resource area, or in a Riverfront Area, other than as conditioned herein, shall be permitted without prior written approval of the Conservation Commission.

26. The members of the Watertown Conservation Commission shall have the right to enter the site to verify compliance with this Order/Permit and to require the submittal of additional data deemed necessary by the commission for that verification. If it is determined that the project is not in compliance with this Order/ Permit, the Commission may require corrective action or may order the petitioner to cease and desist.

27. Once work on site is commenced, written quarterly construction reports shall be submitted to the Conservation Commission during all phases of construction, or any work in a resource area, the 150 foot buffer zone any approved detention basins, or any approved replication area. The first such report shall be submitted prior to or at the commencement of activity on site. Each subsequent report shall be submitted so that the Commission is in receipt thereof by the fifteenth day of each month. These reports shall describe the work completed on site during the prior one month period certifying that all work is either being performed in compliance with this Order of Conditions or will note where a deviation from the Order occurred, with suggested remedies to any problems and corrective action taken, and shall not consist merely of daily logs kept by the contractor on site. If these reports are stopped, no



work shall occur, except for the maintenance of the sediment barriers, until the Conservation Commission is given written notice.

28. Prior to any paving being done on site, the drainage system, detention/treatment and/or basins/swales, shall be constructed. The applicant shall submit to the Conservation Commission for its approval, an as-built plan of the detention basin with a Professional Engineer's or Land Surveyor's stamped calculations demonstrating that it is in conformity with the plans referenced herein.

29. Plantings shall be installed during the growing season, April 15th through November 1st. The plantings shall be monitored for not less than two growing seasons. If after the monitoring period, 75% of the approved shrub species or 80% cover for herb species have not established themselves, the area shall be replanted and monitored for an additional period of not less than two years.


30. All cuttings, debris and other disposables from the project shall be taken off site for appropriate disposal. No material shall be dumped within the wetlands or within 150 feet of the wetlands. The property owner shall be liable should any materials be dumped in these areas.

31. Grading will be accomplished such that no additional run off is directed onto the property of others. The applicant is responsible to ensure that this project shall not increase the rate of run off and not cause flood damage to the property of others.

32. Immediately following the proposed contouring and grading, all exposed areas shall be loamed and seeded in accordance with the USDA Soil Conservation Service Guidelines for permanent stabilization. In the event of unfavorable weather conditions, these exposed areas shall be temporarily stabilized utilizing acceptable mulching materials and methods. Bark mulch and other mulching materials shall not be considered appropriate measures for permanent stabilization of soils upslope of wetland resource areas.

33. During and after work on this project, there shall be no discharge or spillage of fuel, oil or other pollutants onto any part of the site. The owners and contractors shall take all reasonable precautions to prevent the release of pollutants by ignorance, accidents or vandalism. If a discharge occurs, cleanup will commence immediately, problem equipment repaired or removed immediately and the Conservation Commission shall be notified immediately.

34. There shall be no stockpiling of soil or other materials including snow, within 150 feet of any wetland without prior written permission of the Watertown Conservation Commission. Stockpiled materials not within 150 feet of any wetland resource area shall be covered at the end of each day and if deemed necessary, protected by hay bales and siltation fencing in perpetuity.



35. This document shall be included in all construction contracts and subcontracts dealing with the work proposed and shall not conflict with other contract requirements relating to this project.

36. Any debris or other materials that fall into or enter the wetlands shall be immediately removed by hand.

37. The Conservation Commission reserves the right to require additional erosion controls if deemed necessary by the Commission or the Conservation Agent.

Certificate of Compliance

38. Prior to requesting a Certificate of Compliance, the petitioner shall provide to the Commission the following:

a. The applicant shall arrange for a meeting at the site with the Conservation Agent and the applicant's representative to assess the stabilization of the disturbed area. If appropriate, the Conservation Agent shall approve removal of all siltation controls. If removal of siltation controls is done without this meeting and approval, this shall constitute a violation of the Order/permit and this will result in enforcement action.

b. A written request that a Certificate of Compliance be issued, stating that the work has been satisfactorily completed.

c. An as-built plan based on an in-field survey of the site showing the as-built grades shall be submitted with the request for the Certificate of Compliance. The plan shall be prepared, signed and stamped by a registered Professional Engineer or Land Surveyor and certified by said engineer or surveyor. The plan shall illustrate that the project is within substantial compliance with the plans approved in this Order/Permit, and shall set forth what deviations, if any, exist from the plans approved in this Order/Permit. This as-built plan shall include all areas and structures within 150 feet of any wetland resource area, as well as all other information shown on the plan approved in this Order/Permit.

d. Any additional information the Commission deems necessary for determining if a Certificate of Compliance should be issued.

e. The applicant shall arrange for a meeting at the site with the Conservation Agent and the applicant's representative to assess the stabilization of the disturbed area. If appropriate, the Conservation Agent shall approve removal of all siltation controls. If removal of siltation controls is done without this meeting and approval, this shall constitute a violation of the Order/permit and this will result in enforcement action.



Massachusetts Department of Environmental Protection

eDEP Transaction Copy

Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: WATERCC

Transaction ID: 1275563

Document: WPA Form 5 - OOC

Size of File: 136.79K

Status of Transaction: In Process

Date and Time Created: 4/27/2021:11:05:14 AM

Note: This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.

Doc 01880355 1

Southern Middlesex Land Court
Registry District

RECEIVED FOR REGISTRATION

On: May 19, 2021 at 11:28A

Document Fee 105.00

Receipt Total: \$315.00

NOTED ON: CERT 275339 BK 01568 PG 140

ALSO NOTED ON:

22 Boston Wharf Road, 7th Floor
Boston, Massachusetts 02210
Tel: 617.451.2604



Date: March 26th, 2026

To: Attn: Katie Swan
Conservation Commission
City of Watertown
149 Main Street
Watertown, MA 02472

From: Marci Loeber

Re: 580 Pleasant Street Certificate of Compliance Request – Letter of Responsibility
for Stormwater Operation and Maintenance (Order of Conditions - Mass DEP
File #: 321-0173)

To Whom It May Concern,

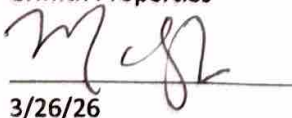
Griffith Properties, as the owner of the property located on 580 Pleasant St in Watertown MA, is the responsible party for maintenance of the stormwater management system on the site, in accordance with the *Operation & Maintenance Plan approved by the Watertown Conservation Commission*.

This responsibility will continue in perpetuity. Should the property be sold at any time in the future, the responsibility for maintenance of the stormwater management system will become the responsibility of the new property owner.

If you need further information or clarification, please reach out to Nora Kelly
nkelly@griffithproperties.com or at 781-492-2451.

Marci Loeber
Owner
Griffith Properties LLC
As agent for G&I X/GP4 580 Pleasant LLC

Griffith Properties


3/26/26