



# Conservation Commission Meeting

Wednesday, October 8, 2025 at 7:00 PM

Remote Participation Only

## Agenda

Pursuant to Chapter 2 of the Acts of 2023, the meeting and public hearing will be conducted with remote opportunities for participation. Remote participation and access methods include:

### **ACCESS INFORMATION:**

- A. This meeting will be held on October 8, 2025, at 7 pm. Location: Remote Participation Only
- B. The meeting will be televised through WCATV (Watertown Cable Access Television): <http://vodwcatv.org/CablecastPublicSite/watch-now?site=3>
- C. The Public may join the virtual meeting online: <https://watertown-ma.zoom.us/j/99597080710>
- D. Public may join the virtual meeting audio only by phone: (877) 853-5257 or (888) 475-4499 (Toll Free) and enter Webinar ID: 995 9708 0710
- E. Public may comment through email: [sjenness@watertown-ma.gov](mailto:sjenness@watertown-ma.gov)
- F. Please Visit the Conservation Commission Website here: <https://www.watertown-ma.gov/199/Conservation-Commission>

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1. Roll Call
  2. Call to Order
  3. Wetland Decisions
    - A. 550 Arsenal Street: (MassDEP #: 321-0096) - Request for Certificate of Compliance. Alexandra Real Estate Equities (Property Owner) and VHB (Representative).
    - B. 2026 Meeting and Filing Dates
  4. Updates
    - A. Arsenal Park Phase B (MassDEP filing #: 321-0181): landscaping updates
  5. Public Hearings
    - A. (Continued from the September 3, 2025, meeting) 138 Pleasant Street - Dealtry Memorial Pool: (MassDEP #: 321-0190) - Notice of Intent submitted for the 114 Pleasant Street (Dealtry Memorial Pool), Watertown, MA 02472 for renovating the existing pool, concrete pool area, and the adjacent deck, within the Bordering Land Subject to Flooding and Riverfront Area. Department of Conservation and Recreation (Property Owner) and Coneco Engineers and Scientists (Representative).
    - B. 25 Clarendon Street. Notice of Intent submitted for construction of site improvements around 25 Clarendon building, including removal of existing pavement and replacement with landscape area and a generator yard and transformer. Addition of landscape islands, curbing, and striping to create a driveway opening and designated

parking spaces within the state and locally regulated 200 ft Riverfront Area. Comcast (Owner) and Civilworks New England (Representative).

6. Updates
  - A. Chair updates
  - B. CPC updates
  - C. Agent Report
    - i. 10-30 Manley Way
    - ii. Walker Pond Meeting # 2 - November 6, 2025
    - iii. MACC Fall Conference - October 25, 2025
7. Acceptance of Minutes
  - A. September 3, 2025, Conservation Commission Meeting
8. Adjourn



October 1, 2025

Ref: 15374.00

Watertown Conservation Commission  
149 Main Street  
Watertown, MA 02472

Re: Request for Certificate of Compliance - DEP File #321-0096  
Watertown Mall Site Improvements  
550 Arsenal Street, Watertown, MA

Dear Commissioners,

On behalf of ARE-MA REGION NO. 90, LLC, Vanasse Hangen Brustlin, Inc. (VHB) respectfully requests the Watertown Conservation Commission issue a Certificate of Compliance (COC) for the Order of Conditions (OOC) issued by the Commission on March 3, 2003 under DEP File No. 321-0096, recorded at the Middlesex County Registry of Deeds in Book 15102, Page 161. This OOC permitted the redevelopment of the existing commercial property at the Watertown Mall associated with the Target Store redevelopment and associated parking lot and drainage improvements. The project consisted of the rehabilitation of a former Bradlees store to accommodate a Target Store, which included upgrading the front facade and entrances to the building, installing a chain-link fence, improving the site's stormwater management system, and pavement seal-coating and restriping. This work was completed in accordance with the plans in 2004.

The Order of Conditions included an extraneous condition, presumed to have been a carry-over from another document, regarding a conservation restriction. Such a restriction was not discussed with the Conservation Commission for this project. The adjacent wetlands are off the Project Site.

VHB performed a field review on September 30, 2025 of the permitted improvements on the project site. The purpose of this visit was to confirm the constructed improvements were built in conformance with the plans entitled "Stormwater Management Improvements", as dated and stamped on May 20, 2002. Based on our field review, we find that the work has been constructed in general conformance with the approved design plans and as described in the Notice of Intent and OOC.

No deviations from the design plan were noted on site or in review of the as-built conditions plan prepared by Feldman Geospatial, dated April 13, 2023.

Since purchasing the Project Site, the Applicant has engaged a contractor to maintain the stormwater management system, as conditioned in the OOC. Maintenance record enclosed.



This letter shall constitute the written statement by me, a licensed Professional Civil Engineer, stating that to the best of my knowledge, information, and belief, the Project was built in substantial conformance with the project's Order of Conditions.

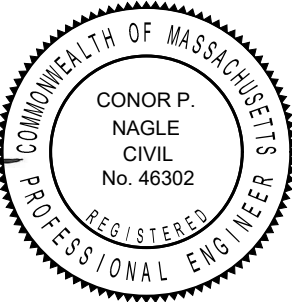
The following materials are provided to assist the Commission in reviewing the request and issuing a COC:

- MassDEP Form 8A – Request for Certificate of Compliance
- Order of Conditions
- Site Photos
- Available maintenance record – 7/31/2025
- Original NOI Design Plans
- As-Built Existing Conditions Plan

The Applicant respectfully requests the Watertown Conservation Commission issue a Certificate of Compliance for the project. Should you have any questions regarding this matter, please don't hesitate to contact me at [cnagle@vhb.com](mailto:cnagle@vhb.com).

Sincerely,

  
Conor Nagle, PE  
Senior Project Manager  
Vanasse Hangen Brustlin, Inc.



cc: ARE-MA REGION NO. 90, LLC,  
DEP – NERO



**WPA Form 8A – Request for Certificate of Compliance**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**A. Project Information**

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

ARE-MA REGION NO. 90, LLC

Name

26 North Euclid Avenue

Mailing Address

Pasadena

City/Town

CA

State

91101

Zip Code

617-721-7150

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Watertown Mall Associates, LP

Applicant

March 4, 2003

Dated

321-0096

DEP File Number

3. The project site is located at:

550 Arsenal Street

Street Address

1234

Assessors Map/Plat Number

Watertown

City/Town

2/0

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Property Owner (if different)

Middlesex

County

15102

Book

161

Page

Certificate (if registered land)

5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



**WPA Form 8A – Request for Certificate of Compliance**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**A. Project Information (cont.)**

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes      If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

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**B. Submittal Requirements**

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

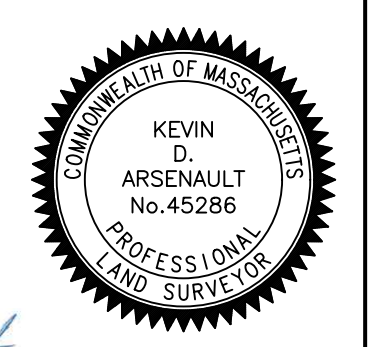


MASSACHUSETTS STATE  
PLANE COORDINATE SYSTEM  
MAY 1983



- LEGEND**
- SEWER MANHOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - TELEPHONE MANHOLE
  - CABLE TV MANHOLE
  - MANHOLE
  - HYDRANT
  - WATER SHUT OFF/WATER GATE
  - GAS SHUT OFF/GAS GATE
  - CATCH BASIN
  - ROUND CATCH BASIN
  - GUY WIRE
  - TRAFFIC CONTROL BOX
  - TRAFFIC SIGNAL
  - GUY POLE
  - UTILITY POLE
  - LIGHT POLE
  - WALK LIGHT
  - ELECTRIC MANHOLE
  - BOLLARD
  - SIGN
  - AREA DRAIN
  - EMERGENCY CALL BOX
  - CLEAN OUT
  - FIRE ALARM
  - BIKE RACK
  - BOUND FOUND
  - DOUBLE LIGHT STANDARD
  - SECURITY CAMERA
  - STAND PIPE/SIAMESE CONNECTION
  - SPOON
  - UTILITY POLE W/ LIGHT
  - TRANSFORMER
  - GAS METER
  - ELECTRIC METER
  - DISABLED PARKING SPACE
  - TOP OF TRAP
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BUSH
  - GATE POST
  - HANDICAP RAMP
  - BC BOTTOM OF CURB
  - BCB BFT CONC. BERM
  - BIT BITUMINOUS
  - BOT- BOTTOM ELEVATION
  - BS- BOTTOM OF STEPS
  - BW- BOTTOM OF WALL
  - CC- CONCRETE CURB
  - CHB CHORD BEARING
  - CHD CHORD DISTANCE
  - CLF CHAIN LINK FENCE
  - CONC CONCRETE
  - Δ DELTA ANGLE
  - ENT- ENTRANCE
  - FD FOUND
  - FFE FINISH FLOOR ELEVATION
  - FGC FLUSH GRANITE CURB
  - FOW FULL OF WATER
  - GD GARAGE DOOR
  - GEN GENERATOR
  - In- INVERT ELEVATION
  - INACC INACCESSIBLE
  - L- ARC LENGTH
  - LD LOADING DOCK
  - LSA LANDSCAPE AREA
  - LST LANDSCAPE TIMBER
  - M&S MULCH & SHRUBS
  - NTS NOT TO SCALE
  - NVP NO VISIBLE PIPES
  - R- RADIUS OR RIM ELEVATION
  - (R) RECORD
  - (REC) RECORD
  - SB- STONE BOUND
  - STK STOCKPILE FENCE
  - TBM TEMPORARY BENCH MARK
  - TC TOP OF CURB
  - TOD TOP OF DEBRIS
  - TOW TOP OF WATER
  - TR- CENTERLINE OF TROUGH
  - TT- TOP OF TRAP
  - TW TOP OF WALL
  - VGC VERTICAL GRANITE CURB
  - C CABLE TELEVISION
  - D DRAIN
  - E ELECTRIC
  - G GAS
  - L STREET LIGHTING
  - OHV OVERHEAD WIRES
  - S SEWER
  - T TELEPHONE
  - W WATER
  - X METAL FENCE
  - WOOD FENCE
  - EDG OF WOODS
  - GUARD RAIL
- SUBSURFACE UTILITIES LEGEND**  
QUALITY LEVEL 'B' (QLB)
- QLB-E MAIN ELECTRIC LINES
  - QLB-SL SITE LIGHTING
  - QLB-TC TRAFFIC CONTROL LINES
  - QLB-COM MAIN COMMUNICATION, TELEPHONE, AND CABLE TELEVISION
  - QLB-FD FIBER OPTIC COMMUNICATION LINES
  - QLB-G GAS
  - QLB-PP PROPANE
  - QLB-STM STEAM
  - QLB-W MAIN WATER
  - QLB-WS WATER SERVICE
  - QLB-RGW RECLAIMED WATER
  - QLB-SDR STORM DRAIN
  - QLB-SA SANITARY
  - QLB-SAFM SANITARY FORCE MAIN
  - QLB-GPR UNKNOWN ANOMALY FOUND WITH GPR
  - QLB-GPRT UNKNOWN ANOMALY FOUND WITH GPR, POSSIBLE STORAGE TANK
  - QLB-UNK UNKNOWN ANOMALY FOUND WITH PASSIVE SCANNING USING EM
  - LOST SIGNAL / APPROXIMATE LOCATION OF SIGNAL LOSS
  - CAPPED STORM AND/OR SANITARY LINE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND RECORDS OF RECORD.



Kevin Arsenault  
KEVIN ARSENAULT, PLS (MA# 45286) DATE 4/13/2023  
KARSENULT@FELDMANGEO.COM

DRAWING NAME:  
**EXISTING CONDITIONS  
PLAN OF LAND**  
550 ARSENAL STREET  
WATERTOWN, MASS.

DATE:	MARCH 10, 2022
REVISIONS:	
8/25/2022	ADDITIONAL SURVEY AT 480 ARSENAL WAY
9/20/2022	SUBSURFACE UTILITY ENGINEERING
1/3/2023	SUBSURFACE UTILITY ENGINEERING
FILENAME:	2200012-EC-WB_PLOT.dwg
RESEARCH: TJK/KA	FIELD CHIEF: CA/KV/SB
TRNG MGR: RDA	APPROVER: JJK
CALC: TJ	DATE: 1/3/2023
FIELD CHK: TJ	CRD FILE: 2200012
40 0 20 40 80	SCALE: 1"=40'
SHEET NO. 4	OF 8

SEE SHEET 2 FOR NOTES, REFERENCES, KEY SHEET AND LOCUS MAP

**550 Arsenal St - Watertown, MA - Maintenance**

<b>Site Name:</b>	550 Arsenal St - Watertown, MA 550 Arsenal St, Watertown MA 02472 42.3636051, -71.1589466	<b>Inspector:</b>	Justin Niedelman		
<b>Maintenance Date:</b>	Jul 31, 2025	Current Weather Conditions	Last Precipitation	48h Forecast	
			Thursday, July 31, 2025, 1.28"	0% Chance of Rain	

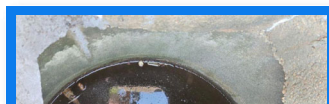
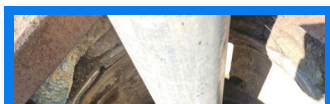
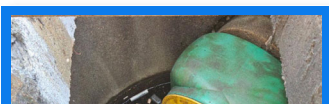
This log is intended to briefly summarize maintenance activities performed pertaining to the Stormwater Management System (SMS) on this property. Photos, plans, and additional details may be attached or outlined in related Inspection Logs.

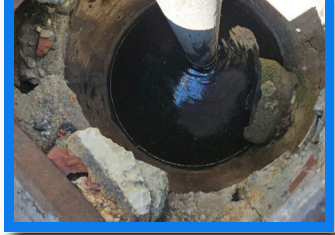
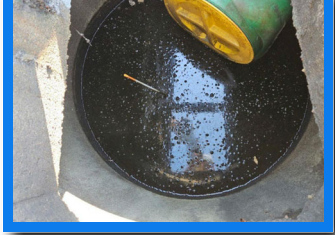
Maintenance Type:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> <b>Vac/Jet</b>                | <input type="checkbox"/> <b>Vacuum Sweeping</b>      |
| <input type="checkbox"/> <b>Vegetation Control</b>                | <input type="checkbox"/> <b>Confined Space Entry</b> |
| <input type="checkbox"/> <b>Repair</b>                            | <input type="checkbox"/> <b>Other (see below)</b>    |
| <input type="checkbox"/> <b>Oil Boom Installation/Replacement</b> |  |

<b>Catch Basins, Hoods, Trench Drains, and Manholes</b>	CB's 1,4,6,7a, 22 & 24 pressure washed and vacuumed free of sediment and debris. Units operating as intended. See inspection report for details on structure conditions and repair recommendations.
<b>Separators (Stormceptor, Vortech, Downstream Defender, CDS, etc.)</b>	No maintenance performed during this visit.
<b>Sub Surface (Infiltration/Detention, Pipe System, Stormtech, Isolator Rows, etc.)</b>	No maintenance performed during this visit.
<b>Open Features (Ponds, Swales, Inlets, Outlets, Spillways, etc.)</b>	No maintenance performed during this visit.
<b>Bio Retention (Filterra, StormTreat Underdrain Filters, Rain Gardens, Bio-Swales, etc.)</b>	No maintenance performed during this visit.
<b>General Site Conditions (Pavement, Curbing, Landscaping, Good Housekeeping, etc.)</b>	Site observed in overall good condition.
<b>Other (Porous Pavement, Green Roof, etc.)</b>	No maintenance performed during this visit.
<b>Notes/Comments</b>	No evidence of pipe connection obstructions or surcharge was observed.

Before Photos





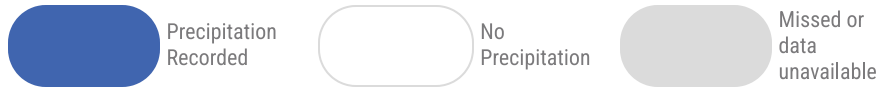
After Photos





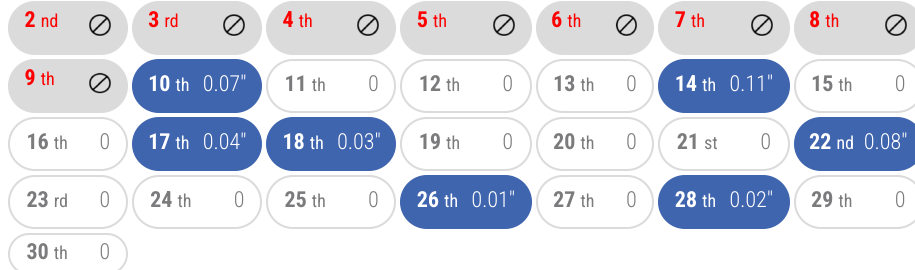


# Weather History

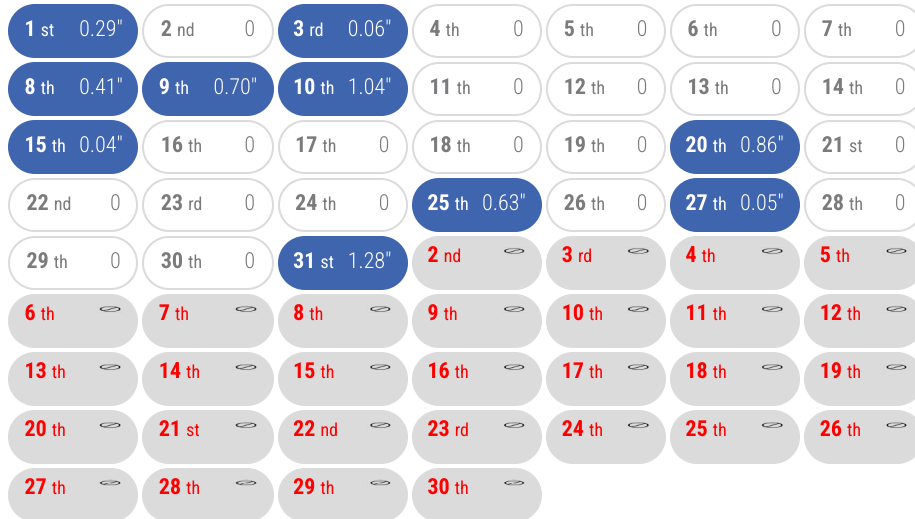


May

June



July



All precipitation totals are obtained from the National Oceanic and Atmospheric Administration (NOAA). Precipitation readings are based on the latitude and longitude for each site as entered into complianceGO. Occasionally NOAA fails to return/record data. Days where this occurs are so indicated.



## Watertown Mall – Photo log



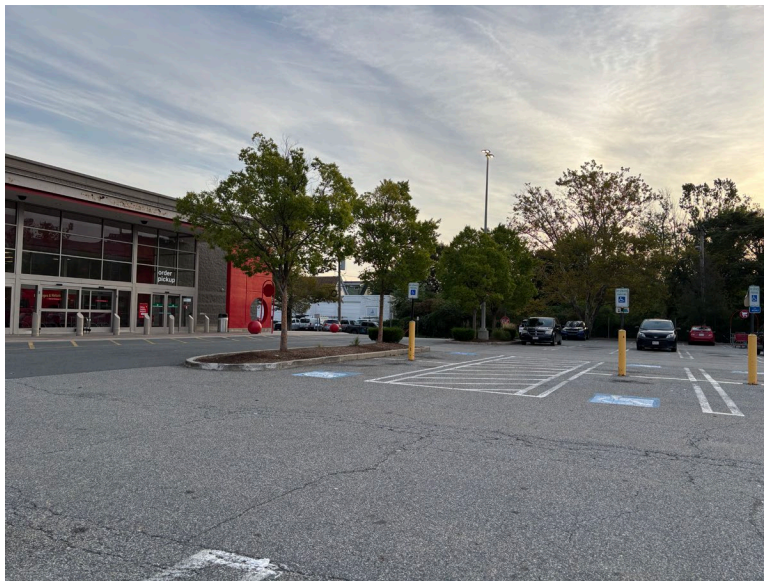
**PHOTO #1: Main Access Driveway**



**PHOTO #2: Stormwater Improvements In Main Access Driveway**



**PHOTO #3: Mall Façade – Facing Northeast**



**PHOTO #4: Facing East, Toward Offsite Wetland Area**

# Site Plans

Issued for: **Construction**

Date Issued: May 20, 2001

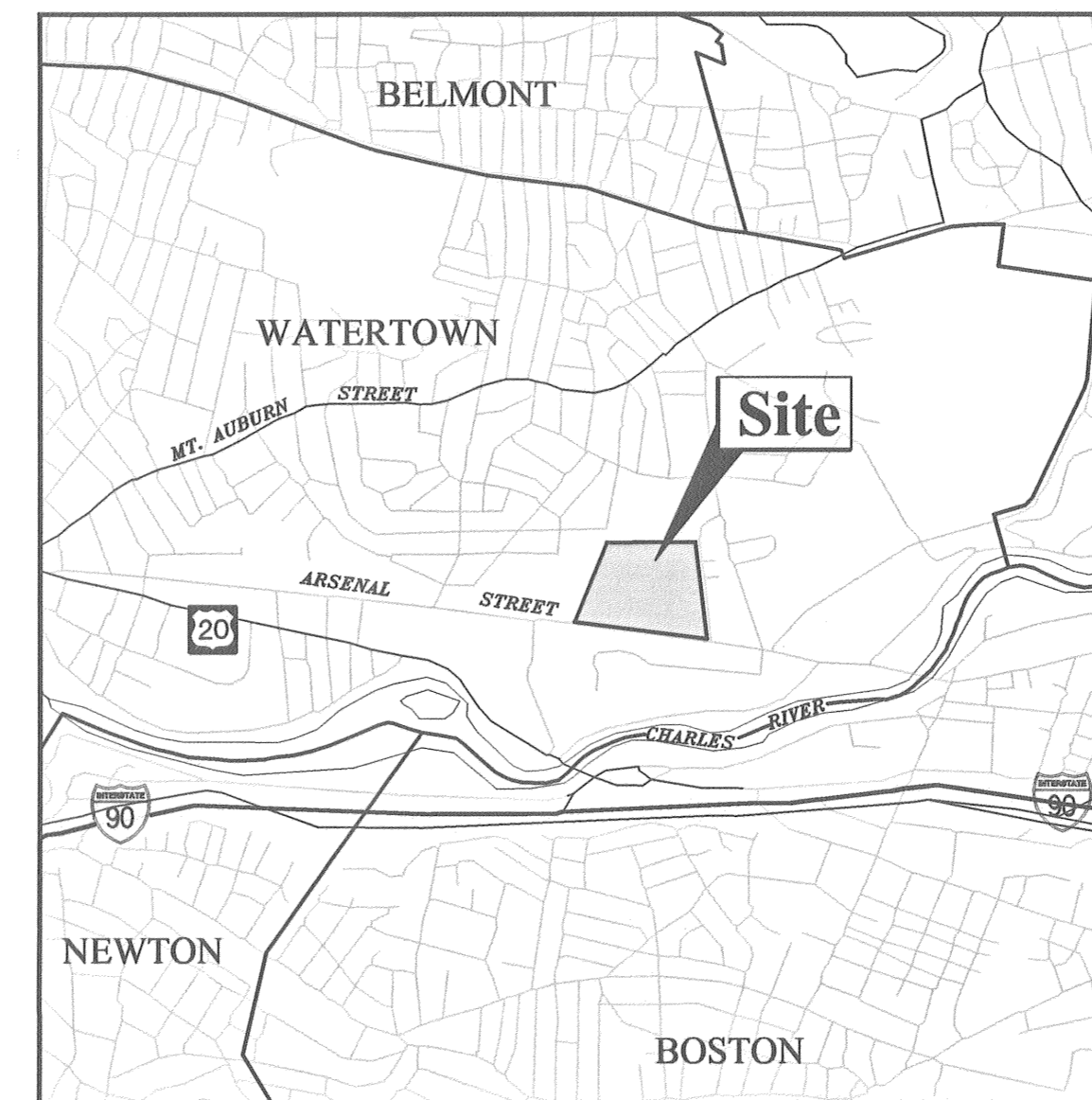
Latest Issue: May 20, 2001

## Index

No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	5/20/02
C-2	Site Plan	5/20/02
C-3	Details	5/20/02

# Watertown Mall

## Stormwater Management Improvements Watertown, MA



Locus Map



0 1000 2000 Feet

## Property Information

Owner:

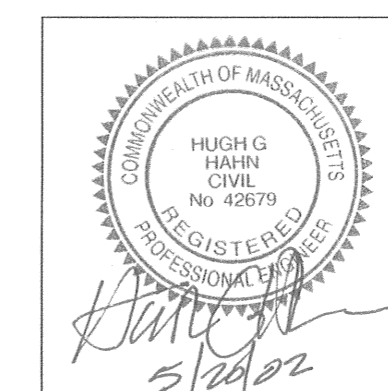
**Rosen Associates Management Corporation**  
33 South Service Road  
Jericho, NY 11753-1006

Applicant:

**Watertown Mall Association, LP**  
550 Arsenal Street  
Watertown, MA 02172  
(617) 926 4968



**Vanasse Hangen Brustlin, Inc.**  
Transportation  
Land Development  
Environmental Services





### TRAFFIC SIGN SUMMARY

MUTCD NUMBER	TEXT	WIDTH	HEIGHT
SP-1*	ALL TRAFFIC	24"	18"

\*DIRECTION OF ARROW SHALL VARY BY LOCATION

### Notes:

1. THE CONTRACTOR SHALL SAWCUT EXISTING PAVEMENT AS NEEDED TO INSTALL PARTICLE SEPARATOR. THE CONTRACTOR SHALL PROVIDE FULL DEPTH PAVEMENT RECONSTRUCTION TO PATCH SAWCUT AREAS.
2. THE CONTRACTOR SHALL COORDINATE PARTICLE SEPARATOR INSTALLATION WITH TARGET CONTRACTOR AND MALL MANAGEMENT OFFICE.

No.	Revision	Date	Appr.

Designed by	Drawn by	Checked by
CAD checked by		Approved by
Scale 1"=40'	Date	May 20, 2002
Project Title		

### Stormwater Management Improvements

Watertown Mall  
Watertown, Massachusetts  
Issued for  
**Construction**

Drawing Title

### Site Plan

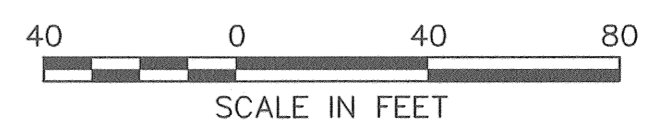
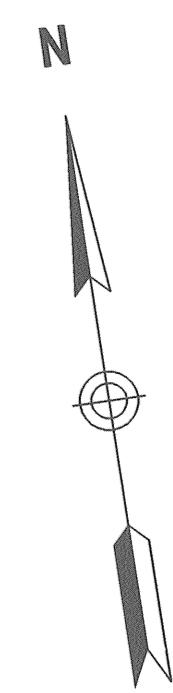
Drawing Number

**C-2**

Sheet 2 of 3

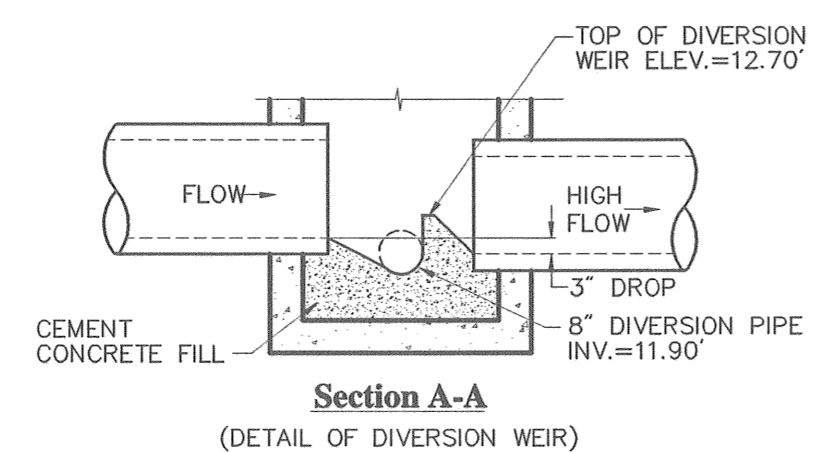
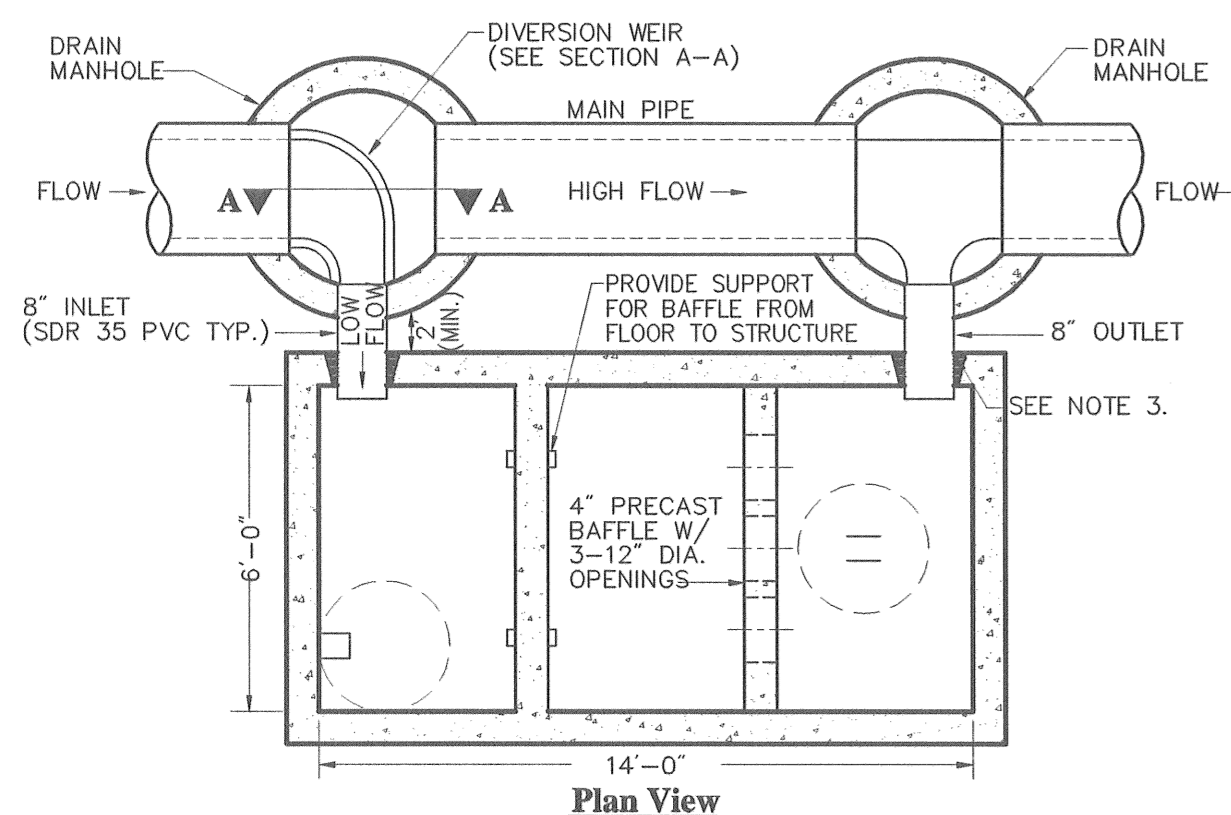
Project Number 08101.00

08101PLAN



ARSENAL STREET (PUBLIC - VARIABLE WIDTH)

STREET



- Notes:**
- PARTICLE SEPARATOR SHALL BE A PRECAST TANK WITH PRECAST BAFFLES AS SHOWN.
  - STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  - JOINT SEALANT BETWEEN ALL SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
  - DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)
  - BARREL BLOCK AND MORTAR SHALL BE USED TO BRING MANHOLE FRAME AND COVER TO FINISHED GRADE WHEN DEPTH TO TOP OF STRUCTURE EXCEEDS 24 INCHES.
  - SEE ALSO SITE PLAN FOR RIM AND INVERT ELEVATIONS.

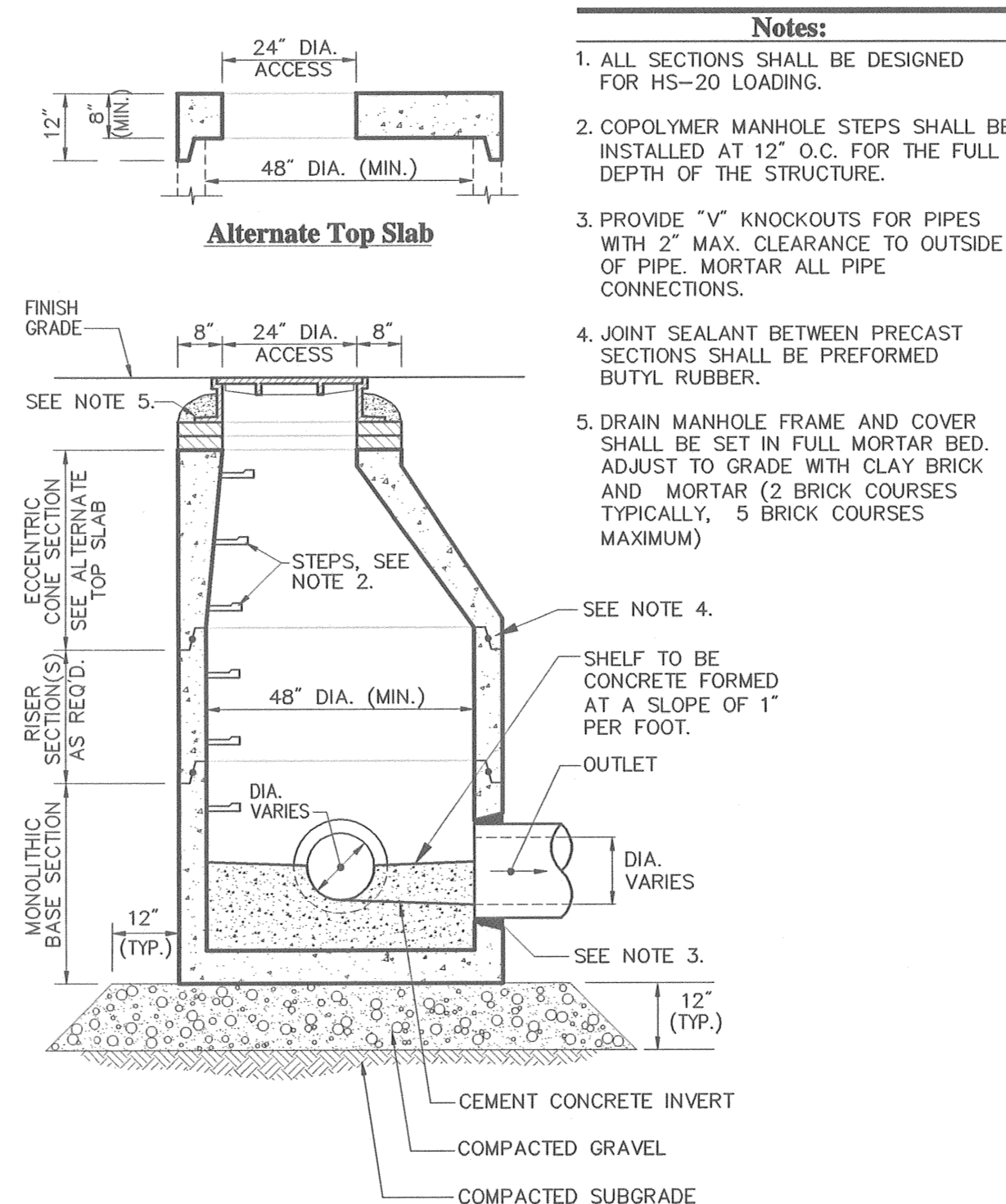
**Off-Line Particle Separator (3,000 Gal.)**

N.T.S.

Source: VHB

32/02

REV LD\_143



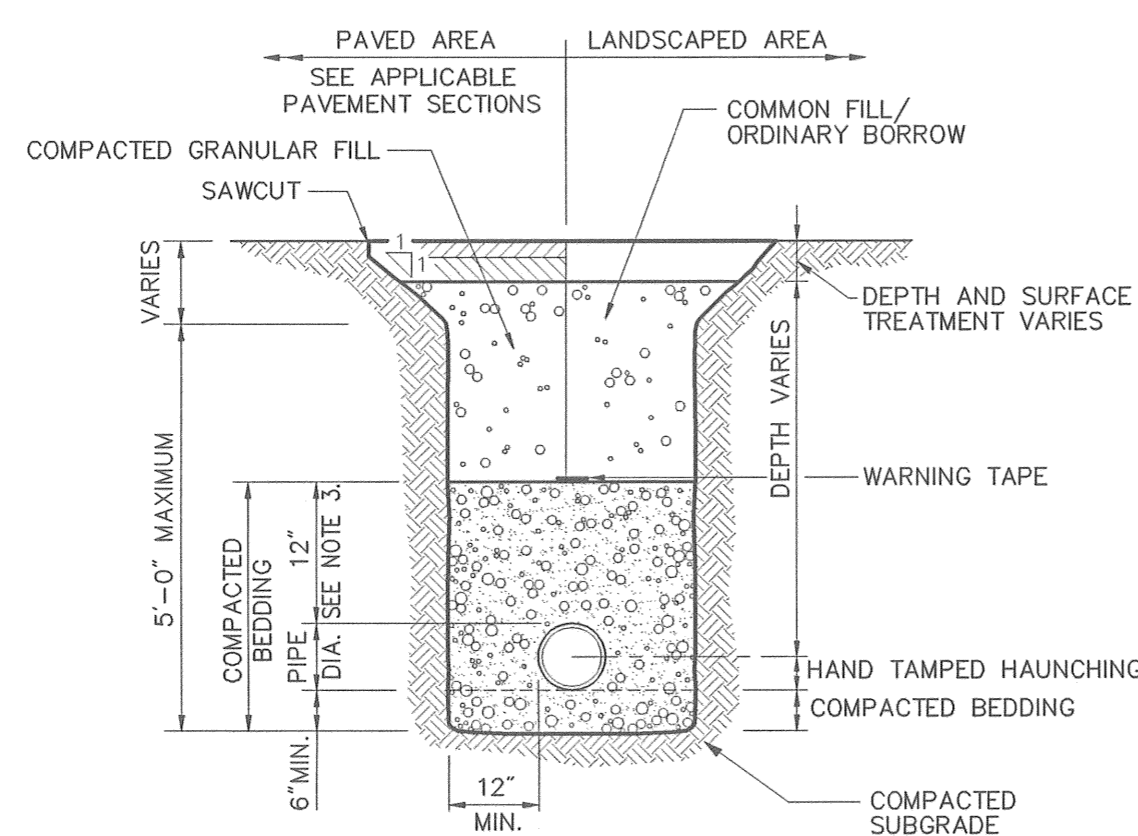
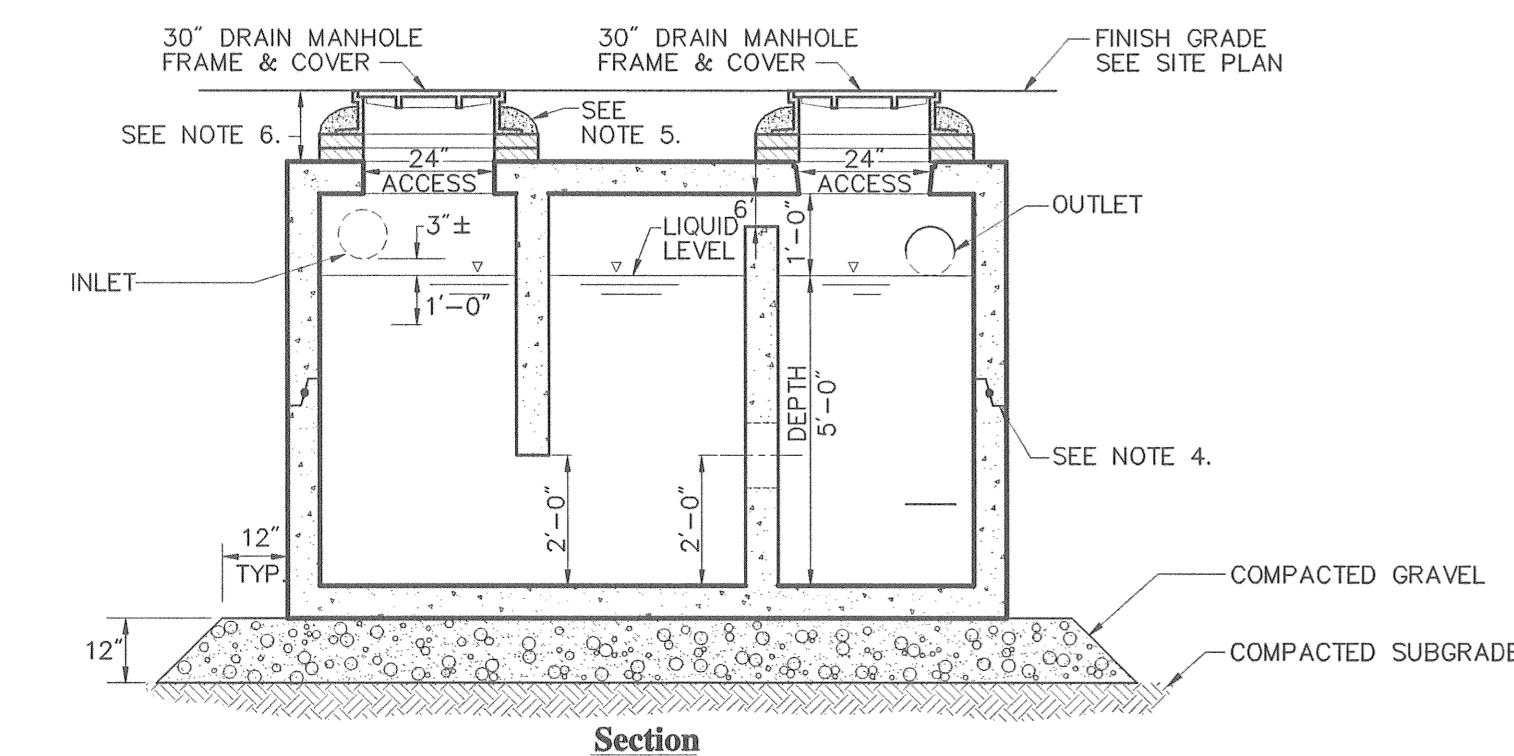
**Drain Manhole (DMH)**

N.T.S.

Source: VHB

3/02

LD\_115



- Notes:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
  - FOR HDPE PIPE, DIMENSION IS 24 INCHES.

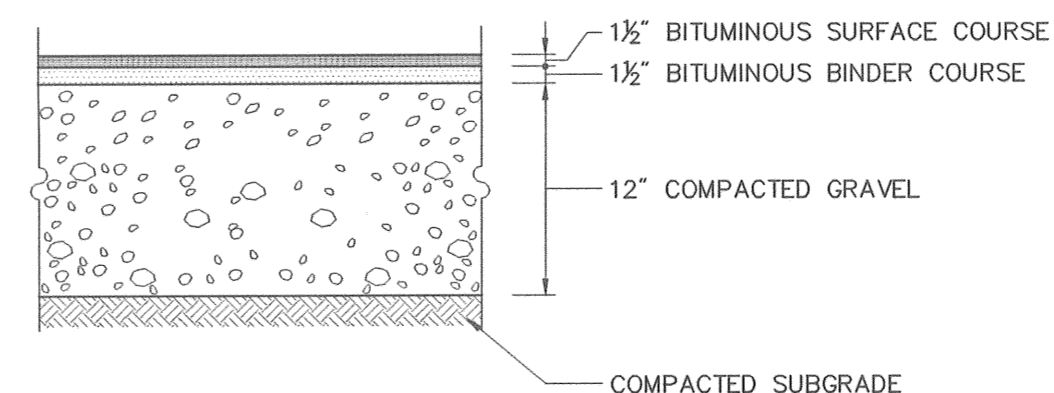
**Utility Trench**

N.T.S.

Source: VHB

5/02

LD\_300



**Bituminous Concrete Pavement Sections**

N.T.S.

Source: VHB

3/02

REV LD\_430


No.	Revision	Date	App'd
Designed by		Drawn by	Checked by
CAD checked by		Approved by	
Scale N.T.S.		Date	May 20, 2002
Project Title			

**Stormwater Management Improvements**

Watertown Mall  
Watertown, Massachusetts  
Issued for  
Construction

Drawing Title

**Details**

Drawing Number  
**C-3**  
Sheet 3 of 3  
Project Number  
08101.00



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:  
 321-0096  
 WW002-6  
 Provided by DEP



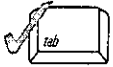
Bk: 39259 Pg: 353

Recorded: 05/20/2003

Document: 00001391 Page: 1 of 9

**A. General Information**

**Important:**  
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



From:

Town of Watertown  
 Conservation Commission

This issuance is for (check one):

- Order of Conditions  
 Amended Order of Conditions

BOOK 15102 PAGE 161

To: Applicant:

Watertown Mall Associates, LP  
 Name  
550 Arsenal Street  
 Mailing Address  
Watertown MA 02172  
 City/Town State Zip Code

Property Owner (if different from applicant):

Name  
 Mailing Address  
 City/Town State Zip Code

1. Project Location:

550 Arsenal Street Watertown  
 Street Address City/Town  
1234 2/0  
 Assessors Map/Plat Number Parcel/Lot Number

2. Property recorded at the Registry of Deeds for:

Middlesex 15102 161  
 County Book Page

Certificate (if registered land)

3. Dates:

10.17.2002 2.11.2003 3.4.2003  
 Date Notice of Intent Filed Date Public Hearing Closed Date of Issuance

4. Final Approved Plans and Other Documents (attach additional plan references as needed):

Memo & Attachments 3.3.2003  
 Title Date  
Memo & Attachments 12.27.2002  
 Title Date  
NOI 10.17.2002  
 Title Date

5. Final Plans and Documents Signed and Stamped by:

Hugh Hahn, Civil Engineer, 5.26.02  
 Name

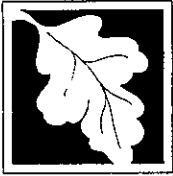
6. Total Fee:

\$525  
 (from Appendix B: Wetland Fee Transmittal Form)

75.00

1391

MSD 05/20/03 03:54:49



## WPA Form 5 – Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

321-0096

WW002-6

Provided by DEP

### B. Findings

Findings pursuant to the Massachusetts Wetlands Protection Act:

Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act. Check all that apply:

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Public Water Supply  | <input type="checkbox"/> Land Containing Shellfish          | <input checked="" type="checkbox"/> Prevention of Pollution        |
| <input type="checkbox"/> Private Water Supply | <input type="checkbox"/> Fisheries                          | <input checked="" type="checkbox"/> Protection of Wildlife Habitat |
| <input type="checkbox"/> Groundwater Supply   | <input checked="" type="checkbox"/> Storm Damage Prevention | <input checked="" type="checkbox"/> Flood Control                  |

Furthermore, this Commission hereby finds the project, as proposed, is: (check one of the following boxes)

**Approved** subject to:

- the following conditions which are necessary, in accordance with the performance standards set forth in the wetlands regulations, to protect those interests checked above. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

**Denied** because:

- the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations to protect those interests checked above. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect these interests, and a final Order of Conditions is issued.
- the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).

**General Conditions** (only applicable to approved projects)

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

321-0096  
WW002-6  
Provided by DEP

## B. Findings (cont.)

4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
  - a. the work is a maintenance dredging project as provided for in the Act; or
  - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
7. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
8. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to this Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
9. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MA DEP"]  
"File Number 321-0096      "  
WW002-6
10. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before DEP.
11. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
12. The work shall conform to the plans and special conditions referenced in this order.
13. Any change to the plans identified in Condition #12 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
14. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.



**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Findings (cont.)**

15. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
16. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
17. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

**Findings as to municipal bylaw or ordinance**

Furthermore, the Town of Watertown hereby finds (check one that applies):  
Conservation Commission

- that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

Municipal Ordinance or Bylaw

Citation

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- that the following additional conditions are necessary to comply with a municipal ordinance or bylaw, specifically:

Watertown Wetlands Ordinance

2/26/1987

Municipal Ordinance or Bylaw

Citation

The Commission orders that all work shall be performed in accordance with the said additional conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

Order of Conditions – Watertown Permit

550 Arsenal Street

DEP321-0096  
WW002-6

Special Conditions to this Project:

- Quarterly Maintenance Reports shall be submitted for the first year.
18. Prior to the commencement of work on site:
- a. Or within 30 days of issuance of this Order of Conditions/Watertown Wetlands permit, the applicant shall record this Order/Permit at the Middlesex South District Registry of Deeds and shall provide to the Commission an attested copy of this Order/Permit showing either the instrument number or the Book and Page number evidencing recordation.
  - e. The applicant shall notify the Commission 48 hours prior to the commencement of activity on site for inspection of erosion and sedimentation controls.
24. Work shall conform in all respects to plans and supporting data cited herein, unless otherwise conditioned in this Order/Permit. No other changes shall be made without formal approval from the Conservation Commission. This Order of Conditions does not relieve the applicant from complying with all other federal, state and local laws and regulations.
26. No work within a resource area or within 150 feet of a resource area, or in a Riverfront Area, other than as conditioned herein, shall be permitted without prior written approval of the Conservation Commission.

**Certificate of Compliance**

41. Prior to requesting a Certificate of Compliance, the petitioner shall provide to the Commission the following:
- b. A written request that a Certificate of Compliance be issued, stating that the work has been satisfactorily completed.
  - e. Evidence that the Conservation Restriction has been properly executed and duly recorded at the Registry of Deeds.
  - f. any additional information the Commission deems necessary for determining if a Certificate of Compliance should be issued.

42. A maintenance schedule for all indoor and outdoor sumps and/or hoods of drainage structures shall be included in a comprehensive maintenance plan and shall be submitted to the Conservation Commission prior to the issuing of a Certificate of Compliance.

**Water Quality**

45. Written reports confirming the periodic cleaning of all drainage structures shall be submitted to the Conservation Commission quarterly for the first year and then yearly in perpetuity.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

Provided by DEP

**B. Findings (cont.)**

Additional conditions relating to municipal ordinance or bylaw:

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Date \_\_\_\_\_

This Order must be signed by a majority of the Conservation Commission. The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office (see Appendix A) and the property owner (if different from applicant).

Signatures:

*Charles C. Peirce*  
*Marguerite Pappalardo McDevitt*  
*Leo J. Martin*  
*Susan G. Falkoff*

On 11 Day Of February 2003  
 Month and Year

before me personally appeared

*Daphne D. Allen*

to me known to be the person described in and who executed the foregoing instrument and acknowledged that he/she executed the same as his/her free act and deed.

*Barbara A. Sheehan*  
 Notary Public

9/10/04  
 My Commission Expires

This Order is issued to the applicant as follows:

by hand delivery on

Date \_\_\_\_\_

by certified mail, return receipt requested, on

3/03/03  
 Date

019-7000 2870 0000 3457 7015 - VHB

7000 2870 0000 3457 7022 Page 5 of 7

WATERLOO  
 MALL ASSO.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 5 – Order of Conditions**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

321-0096

WW002-6

Provided by DEP

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**C. Appeals**

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate DEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Appendix E: Request of Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act, (M.G.L. c. 131, § 40) and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.

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**D. Recording Information**

This Order of Conditions must be recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land subject to the Order. In the case of registered land, this Order shall also be noted on the Land Court Certificate of Title of the owner of the land subject to the Order of Conditions. The recording information on Page 7 of Form 5 shall be submitted to the Conservation Commission listed below.

Town of Watertown

Conservation Commission

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**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 – Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

321-0096  
 WW002-6  
 Provided by DEP

**D. Recording Information (cont.)**

Detach on dotted line, have stamped by the Registry of Deeds and submit to the Conservation Commission.

To:

Town of Watertown  
 Conservation Commission

Please be advised that the Order of Conditions for the Project at:

550 Arsenal Street  
 Project Location

321-0096  
 DEP File Number

Has been recorded at the Registry of Deeds of:

Middlesex  
 County

15102  
 Book

161  
 Page

for:

Watertown Mall Associates, LP  
 Property Owner

and has been noted in the chain of title of the affected property in:

Book

Page

In accordance with the Order of Conditions issued on:

3.4.2003  
 Date

If recorded land, the instrument number identifying this transaction is:

Instrument Number

If registered land, the document number identifying this transaction is:

Document Number

Signature of Applicant



# Memo

**To:** Katie Swan – Environmental Planner/Conservation Agent

**From:** Nick Hebel – Wetland Scientist

**cc:** Kevin McHugh, Coneco

**Date:** 10/1/25

**Re:** Dealtry Memorial Pool – Revised Documents

---

As requested during the September 3<sup>rd</sup> meeting with the Conservation Commission, we have supplied additional documentation to ensure compliance of the project with the Wetland Protection Act and City of Watertown Wetland Ordinance.

During the meeting it was determined that the incorrect performance standards were being considered for the proposed project. For the initial submittal we included the performance standards for 10.584. The included “Redevelopment in RFA” document consists of the performance standards under 310 CMR 10.585 and how the project complies with those standards.

We have provided updated plan sheets for the project to show revisions made. The attached sheets include C-4: Site Layout Plan, C-6: Grading and Drainage Plan, C-8: Disturbance Area Plan, & C-9: Proposed Planting Plan. Sheet C-6 reflects the change in the connection of the spray deck to the sanitary sewer, and all sheets now show the erosion control line. A planting plan has been provided that details out the mitigation areas proposed as part of the performance standards under 310 CMR 10.585. The Drain Improvements Sheet details the existing piping layout and connections on-site.

The two photos that were included are of similar shade structures that were installed for other pool projects. One was installed at the Olsen Pool in Hyde Park and the other for Everett Pool. These should give the Commission a better understanding of what is being proposed.

If you have further questions or concerns please contact me by email at [nhebel@coneco.com](mailto:nhebel@coneco.com) or by phone at 978-656-8684 ext.221

## General Performance Standards

### **WPA Regulations**

Work to redevelop previously developed riverfront areas shall conform to the following criteria:

- (a) At a minimum, proposed work shall result in an improvement over existing conditions of the capacity of the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. When a lot is previously developed but no portion of the riverfront area is degraded, the requirements of 310 CMR 10.58(4) shall be met.
- *Riverfront area subject to the proposed work is characterized as degraded, consisting of previously developed area with existing structures or as maintained lawn. In accordance with mitigation/restoration requirements, one tree (Red Maple) and 32 shrubs are proposed to be planted within the riverfront area. These plantings are intended to restore ecological functions by improving habitat value and assist with stormwater management events.*
- (b) Stormwater management is provided according to standards established by the Department.
- *Proposed stormwater management is consistent with the standards established by the Department and remains essentially unchanged from existing conditions. In 2011 DCR completed a project to separate pool treatment-related effluent and stormwater discharges that are generated at the site. The intention was to redirect all pool treatment effluent away from the Charles River and into the Town's sanitary sewer system while allowing stormwater to continue to flow into the Charles River. A copy of the 2011 piping improvement plan, which was obtained from the Watertown DPW in 2014 is attached for reference. As shown, any water discharged from the pool during operation is directed to the Town's sanitary sewer. During the pool offseason, when it is empty, any rainwater that collects in the pool is directed through a DCR outfall to the Charles River.*
- (c) Within 200-foot riverfront areas, proposed work shall not be located closer to the river than existing conditions or 100 feet, whichever is less, or not closer than existing conditions within 25-foot riverfront areas, except in accordance with 310 CMR 10.58(5)(f) or (g).
- *The proposed work will be located within 100 feet of the waterway and will, not be closer to the river than the existing disturbed area.*
- (d) Proposed work, including expansion of existing structures, shall be located outside the riverfront area or toward the riverfront area boundary and away from the river, except in accordance with 310 CMR 10.58(5)(f) or (g).
- *The proposed work will consist of the expansion of an existing structure that will extend eastward within the riverfront area. Only a small portion of the structure will be expanded toward the river to any extent. Compensatory plantings are being proposed as part of this project.*

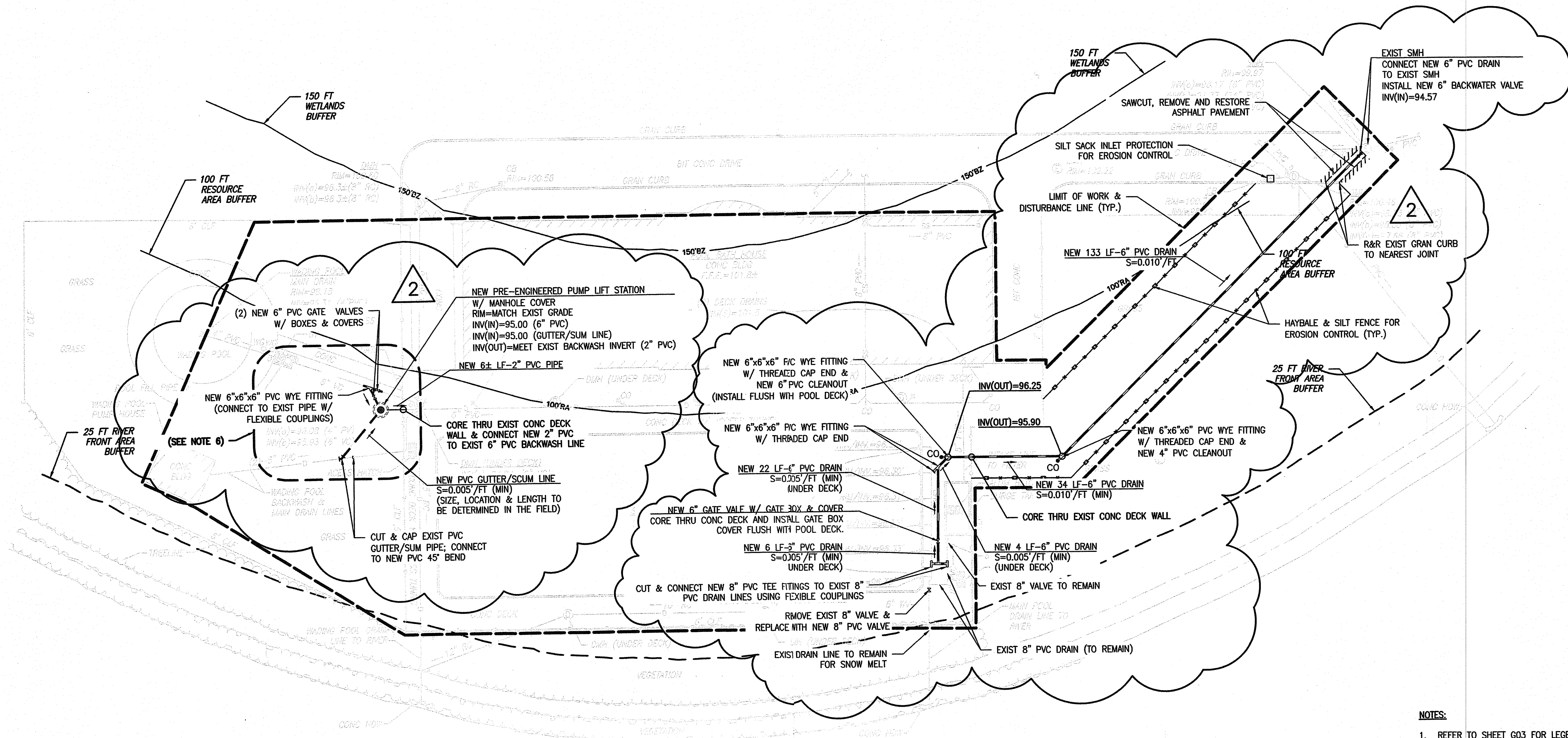
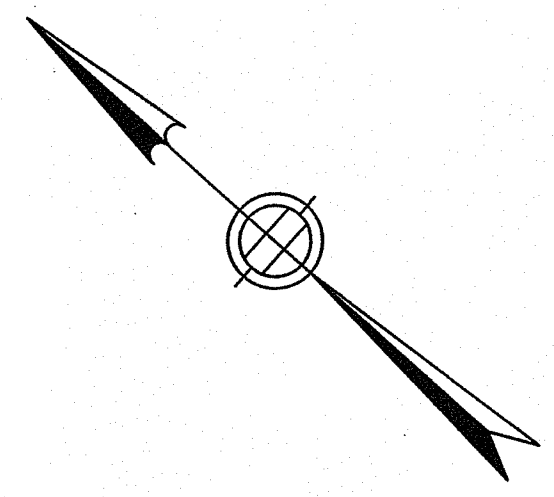
- (e) The area of proposed work shall not exceed the amount of degraded area, provided that the proposed work may alter up to 10% if the degraded area is less than 10% of the riverfront area, except in accordance with 310 CMR 10.58(5)(f) or (g).
- *The existing disturbance onsite accounts for more than 10% of the riverfront area within the property limits. There is an area of approximately 2,593 square feet of disturbance to the east that is not within the footprint of the existing structure. The work will still take place within a disturbed area that consists of maintained lawn. As a result of this addition, plantings will be installed within riverfront area.*
- (f) When an applicant proposes restoration on-site of degraded riverfront area, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), and (e) at a ratio in square feet of at least 1:1 of restored area to area of alteration not conforming to the criteria. Areas immediately along the river shall be selected for restoration. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Restoration shall include:
1. removal of all debris, but retaining any trees or other mature vegetation;
  2. grading to a topography which reduces runoff and increases infiltration;
  3. coverage by topsoil at a depth consistent with natural conditions at the site; and
  4. seeding and planting with an erosion control seed mixture, followed by plantings of herbaceous and woody species appropriate to the site;
- *Restoration on-site will occur at a 1:1 ratio for the spray deck and pool extensions proposed. The expansions will occur within previously disturbed areas and will have no adverse effects on neighboring resource areas. The proposed restoration will consist of three planting areas that will total approximately 2,600 square feet. The restoration areas will be a mix of herbaceous ground cover, shrubs, and trees. Species for each planting area are detailed on the planting plan.*
- (g) When an applicant proposes mitigation either on-site or in the riverfront area within the same general area of the river basin, alteration may be allowed notwithstanding the criteria of 310 CMR 10.58(5)(c), (d), or (e) at a ratio in square feet of at least 2:1 of mitigation area to area of alteration not conforming to the criteria or an equivalent level of environmental protection where square footage is not a relevant measure. Alteration not conforming to the criteria shall begin at the riverfront area boundary. Mitigation may include off-site restoration of riverfront areas, conservation restrictions under M.G.L. c. 184, §§ 31 through 33 to preserve undisturbed riverfront areas that could be otherwise altered under 310 CMR 10.00, the purchase of development rights within the riverfront area, the restoration of bordering vegetated wetland, projects to remedy an existing adverse impact on the interests identified in M.G.L. c. 131, § 40 for which the applicant is not legally responsible, or similar activities undertaken voluntarily by the applicant which will support a determination by the issuing authority of no significant adverse impact. Preference shall be given to potential mitigation projects, if any, identified in a River Basin Plan approved by the Secretary of the Executive Office of Energy and Environmental Affairs.

- *Mitigation on-site will consist of the installation of 1 tree and 32 shrubs in response to the four red maple trees that will be removed as a result of the pool expansion. The proposed tree will consist of a Red Maple that will be approximately 6-feet in height at the time of planting, and this new tree will be planted within riverfront area. 32 shrubs are proposed to create areas of improved habitat that are also low in profile to maintain site lines from areas across the Charles River and into the pool area. These site lines have been requested in the past by the Watertown Police to assist with site security. Other onsite mitigation is detailed in section (a) and (f).*

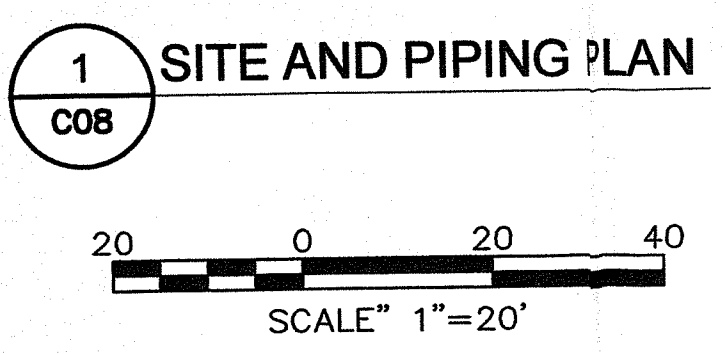
(h) The issuing authority shall include a continuing condition in the Certificate of Compliance for projects under 310 CMR 10.58(5)(f) or (g) prohibiting further alteration within the restoration or mitigation area, except as may be required to maintain the area in its restored or mitigated condition. Prior to requesting the issuance of the Certificate of Compliance, the applicant shall demonstrate the restoration or mitigation has been successfully completed for at least two growing seasons.

- *Once the planting is completed, the applicant will notify the Commission. The plantings will be monitored for two growing seasons to ensure plantings are successful.*

DRAWING FILE: \\projects\19072\00-DCR\_Pool\DCR\_Pool\DCR\_Pool\Civil\Phase I\Deedtry\WaterTown\DCR\_Pool.dwg PLOTTED: Jun 08 2011 - 2:48pm BY: JShymb  
 REVIEWED BY: CIVIL INITIALS/DATE ARCH: INITIALS/DATE STRUC: INITIALS/DATE PLUM: INITIALS/DATE FIRE: INITIALS/DATE MECH: INITIALS/DATE ELEC: INITIALS/DATE



CHARLES RIVER →



POOL CAPACITIES:	
MAIN POOL	259,938 GALLONS
WADING POOL	6,600 GALLONS

- NOTES:**
- REFER TO SHEET G03 FOR LEGEND AND GENERAL NOTES.
  - REFER TO SHEET C11 & C12 FOR DETAILS.
  - DISTURBED GRASSED AREAS TO RECEIVE LOAM & SEEDS (SEE DETAIL).
  - THE EXISTING CONCRETE POOL DECK IS AN ELEVATED STRUCTURE THAT ALLOWS FOR ACCESS TO POOL PIPING AND VALVES. AT NO TIME SHOULD VEHICLES OR HEAVY CONSTRUCTION EQUIPMENT BE PARKED OR PLACED ON TOP OF THE POOL DECK.
  - CONTRACTOR TO PROVIDE (2) TEE-WRENCHES FOR EACH NEW GATE VALVE.
  - CONTRACTOR TO LOCATE & VERIFY PIPE SIZE OF WADING POOL DRAIN AND GUTTER/SCUM LINES FOR TIE INTO NEW PUMP STATION.
  - PUMP LIFT STATION SHALL HAVE A GOULD 1/2 HP 115 VOLT PUMP (MODEL 2WD52B0EA) WITH FLOAT CONTROLS.
  - PROVIDE NEW 1P - 20 AMP CIRCUIT BREAKER IN EXISTING SQUARE D LOAD CENTER IN EXISTING WADING POOL FILTER BUILDING FOR CONNECTION OF NEW PUMP AT PUMP STATION. CONNECT WITH (2) #10 & (1) #10 GND IN 3/4" RIGID STEEL CONDUIT.

**NOTE:**  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE INTEGRITY OF EXISTING PIPE, VALVES AND FITTINGS TO BE REUSED. IF THE CONTRACTOR FINDS ANY OF THE COMPONENTS ARE NOT SUITABLE, THE OWNER SHOULD BE NOTIFIED IMMEDIATELY.



**Maguire Group Inc.**  
 Architects/Engineers/Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035  
 508-543-1700  
 www.maguiregroup.com

**REVISIONS**

Number	Description	Date
1	REVISED LOCATION & ADDED PUMP STATION	6/08/11

**ISSUED FOR:  
 CONSTRUCTION  
 02-14-11**

**dcr**  
 Commonwealth of Massachusetts  
 Department of Conservation and Recreation  
 Division of Planning and Engineering

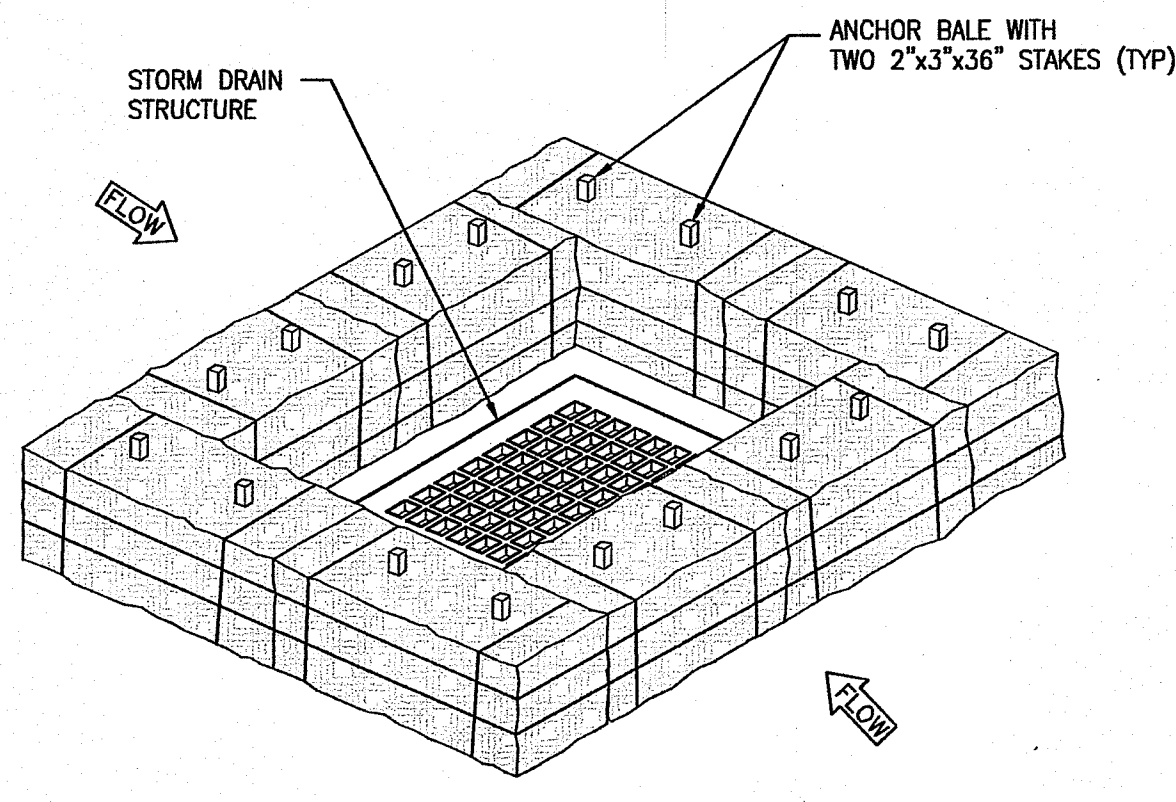
**PHASE I  
 DCR POOL  
 DRAIN TO SEWER  
 CONNECTION  
 PROJECT**

**WATERTOWN DEALTRY  
 POOL - WATERTOWN  
 SITE AND  
 PIPING PLAN**

PROJECT NO.: 19072.00  
 DESIGNED BY: JTS  
 DRAWN BY: JTS  
 CHK'D BY:  
 DATE: FEBRUARY, 2011  
 SCALE: AS NOTED  
 SHEET NO.:

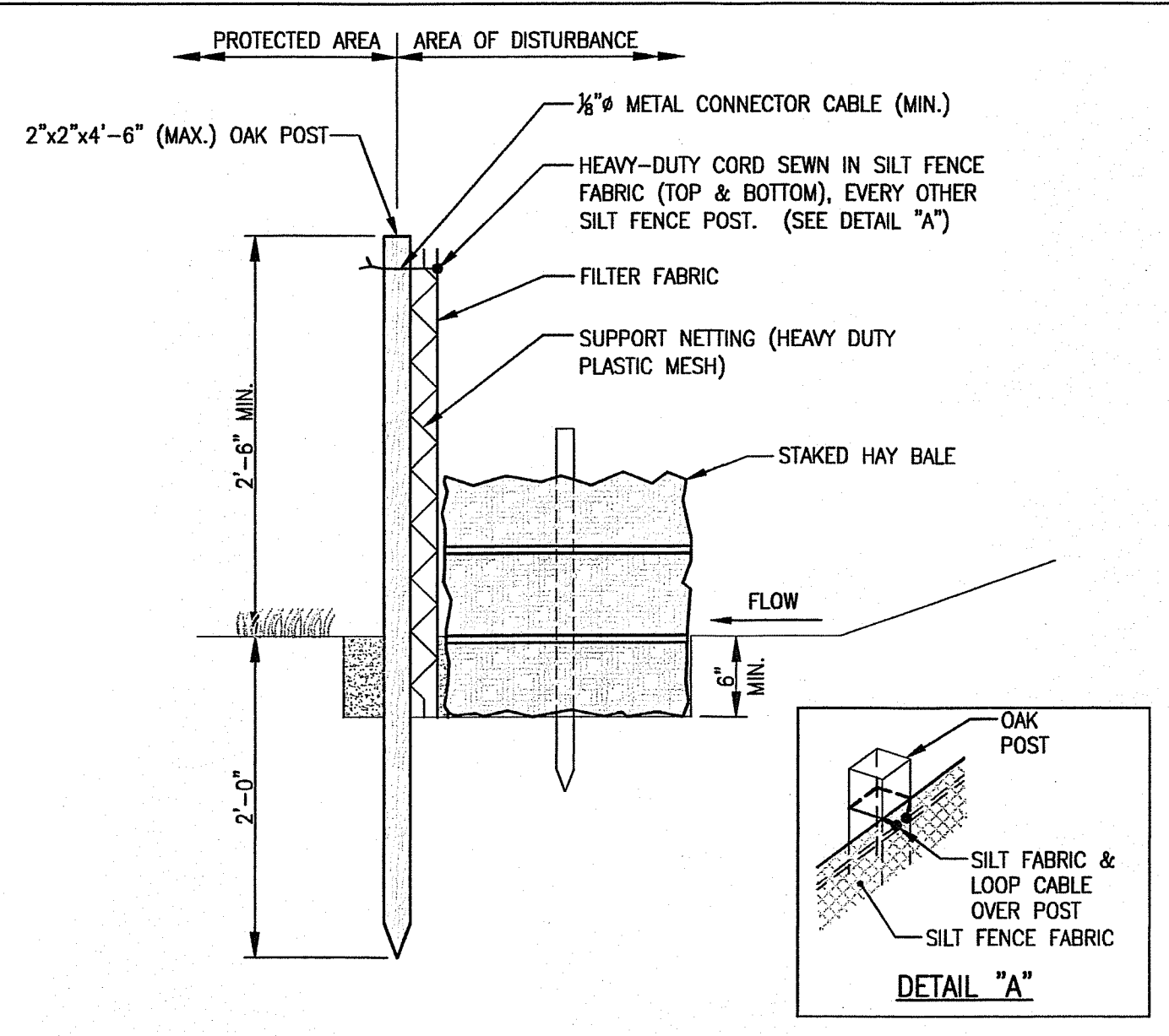
**C08**

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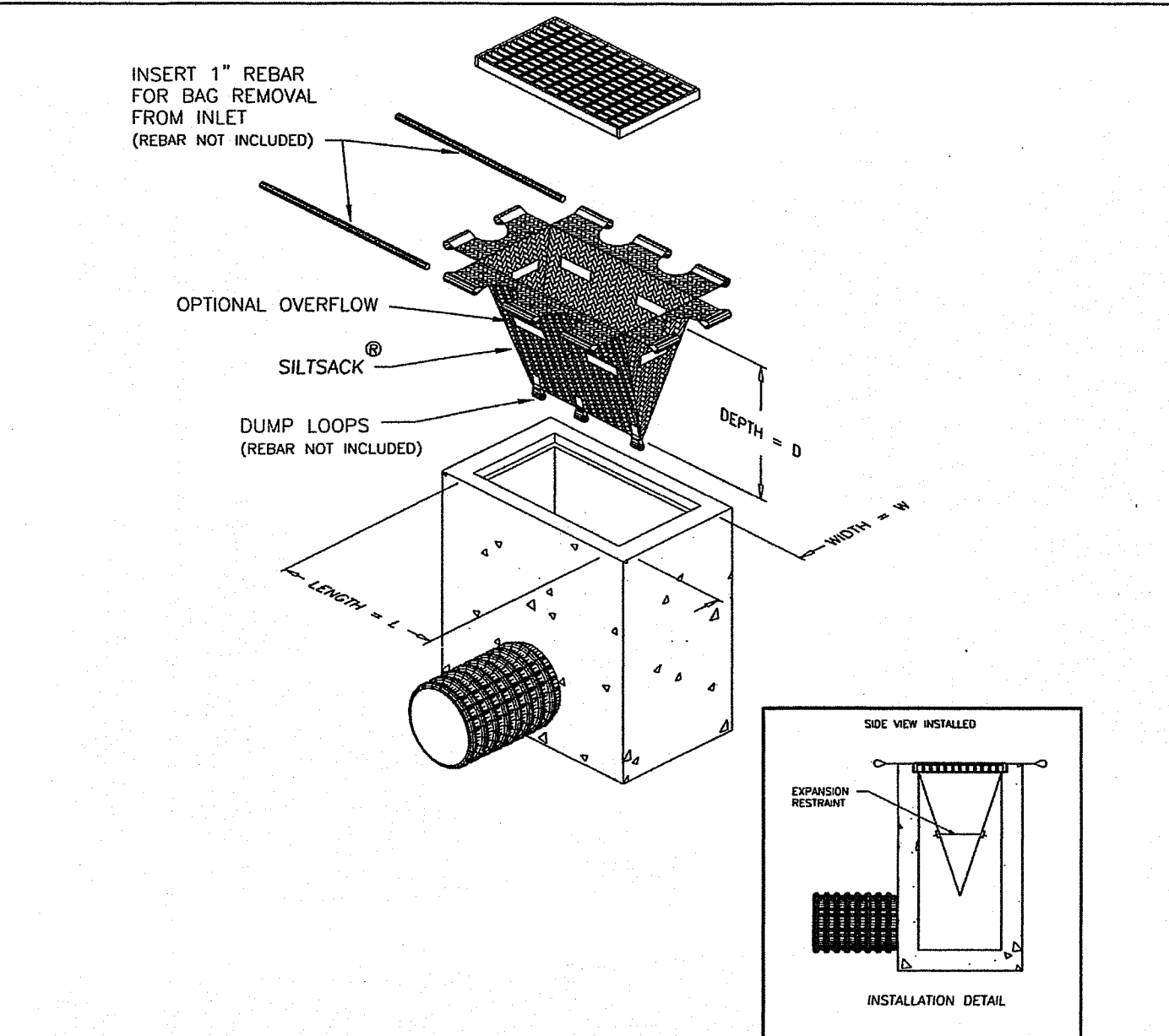


**NOTE:**  
INSTALL WHERE INDICATED ON THE PLANS

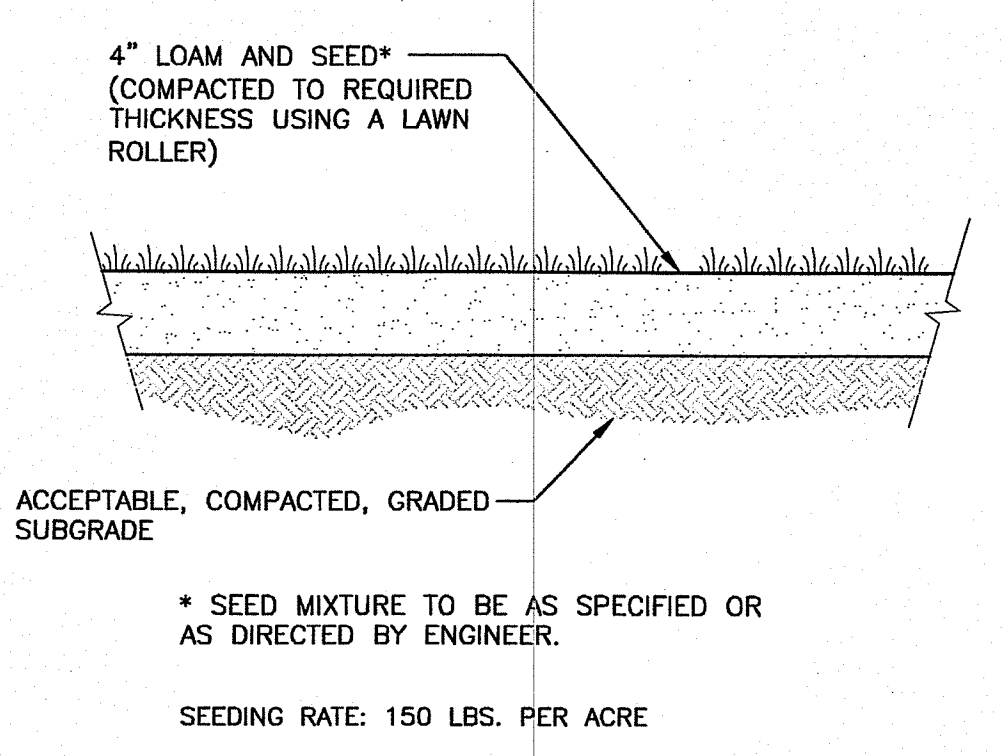
**1 HAY BALE INLET PROTECTION DETAIL**  
N.T.S.



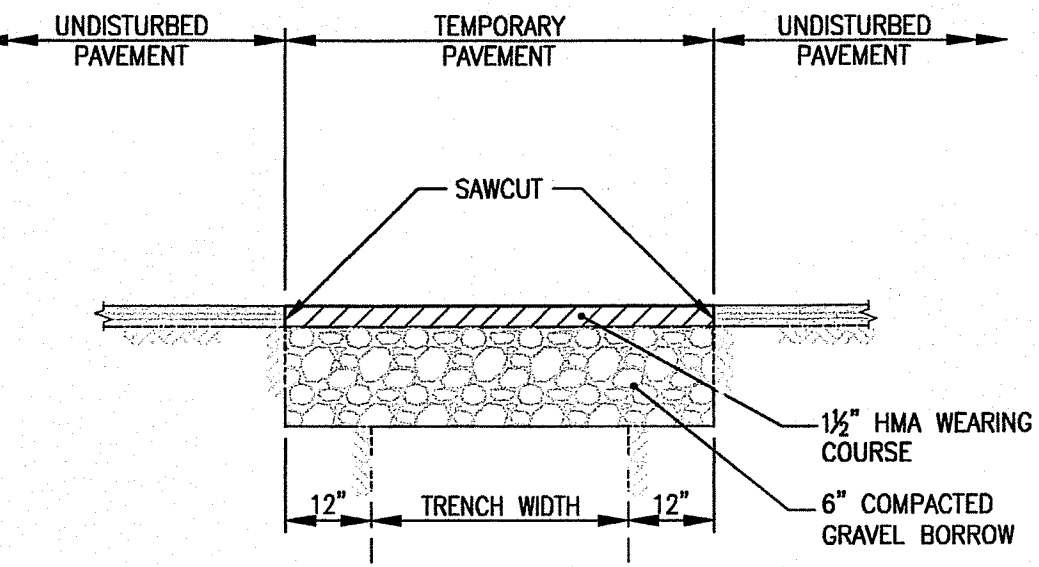
**2 COMBINED STRAW BALE AND SILT FENCE DETAIL**  
N.T.S.



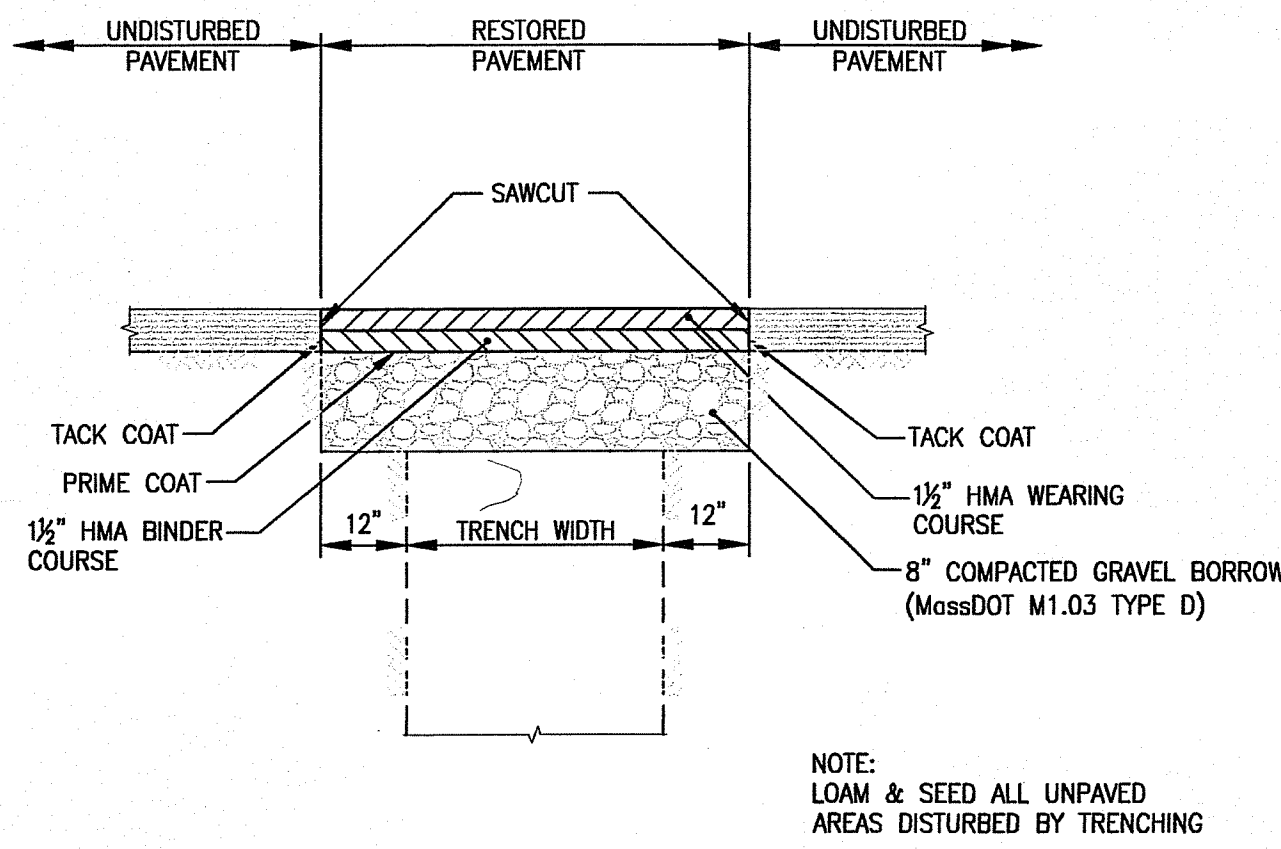
**3 SILTSACK INLET PROTECTION DETAIL**  
N.T.S.



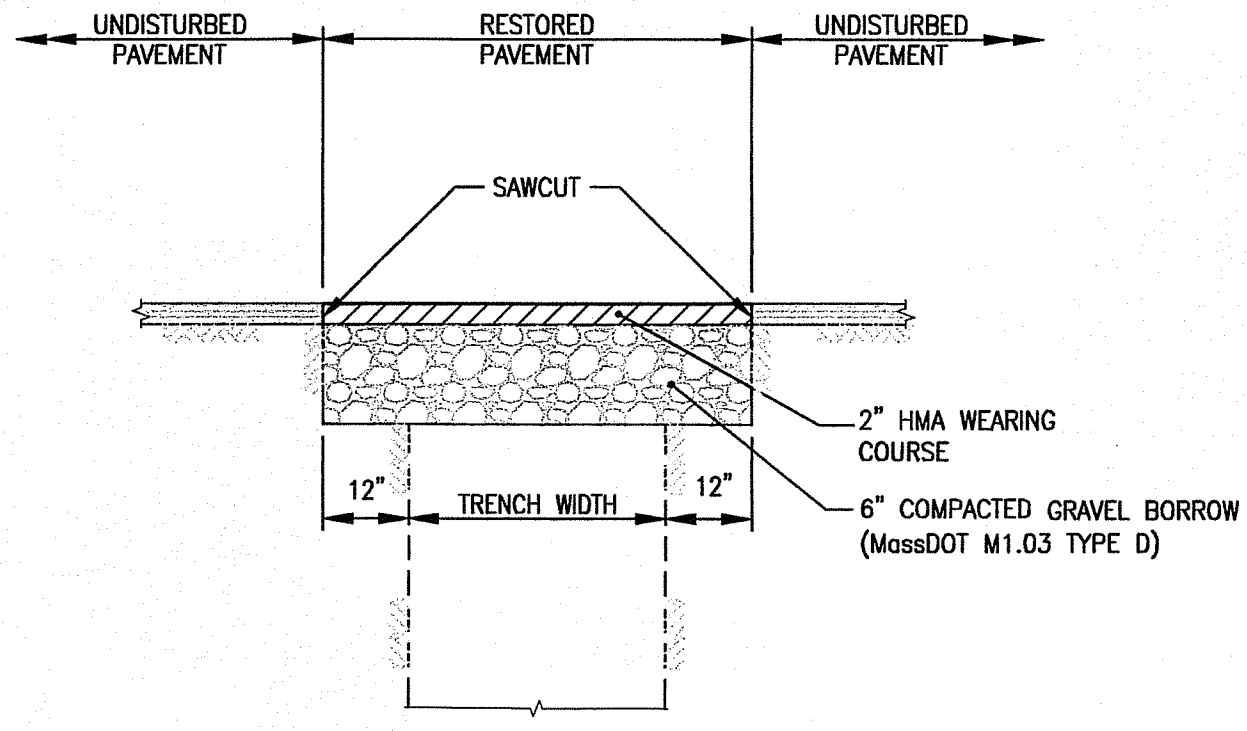
**4 LOAM & SEED DETAIL**  
N.T.S.



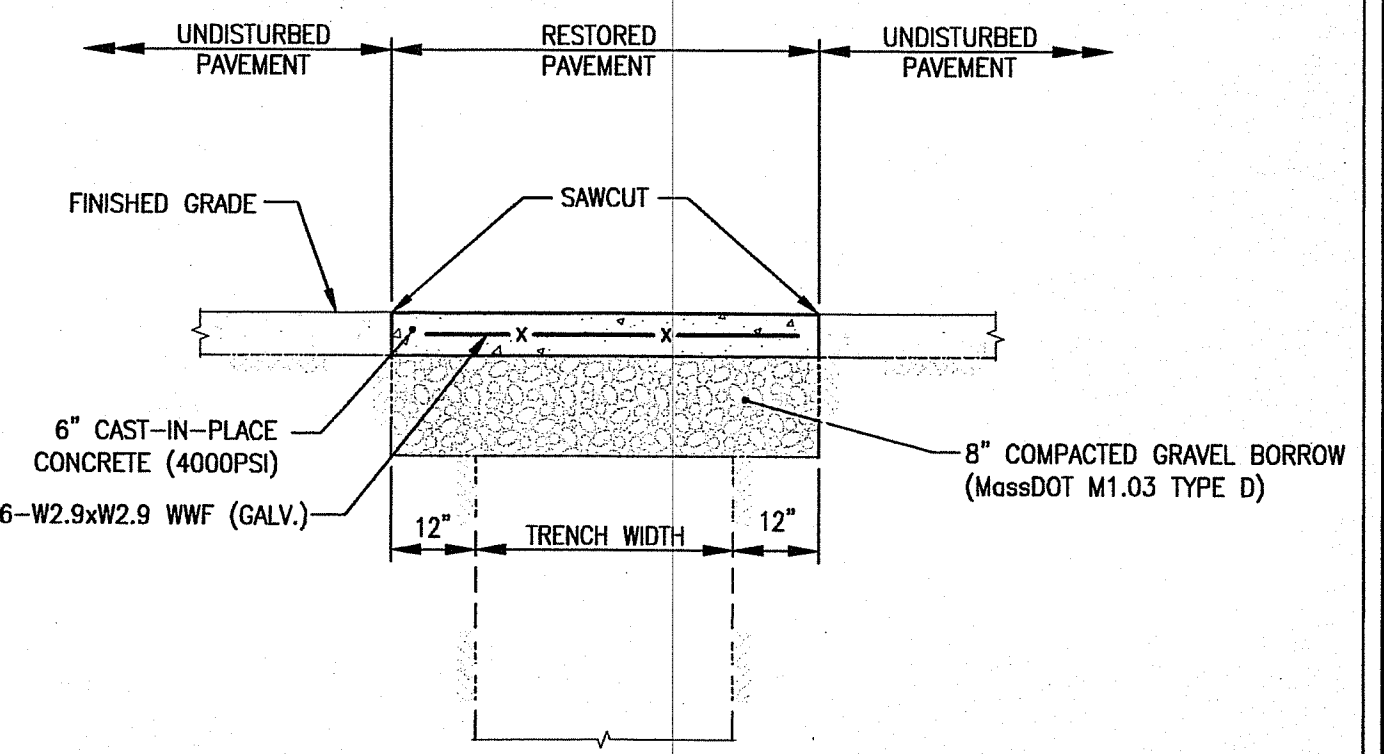
**5 TEMPORARY PAVEMENT RESTORATION DETAIL**  
N.T.S.



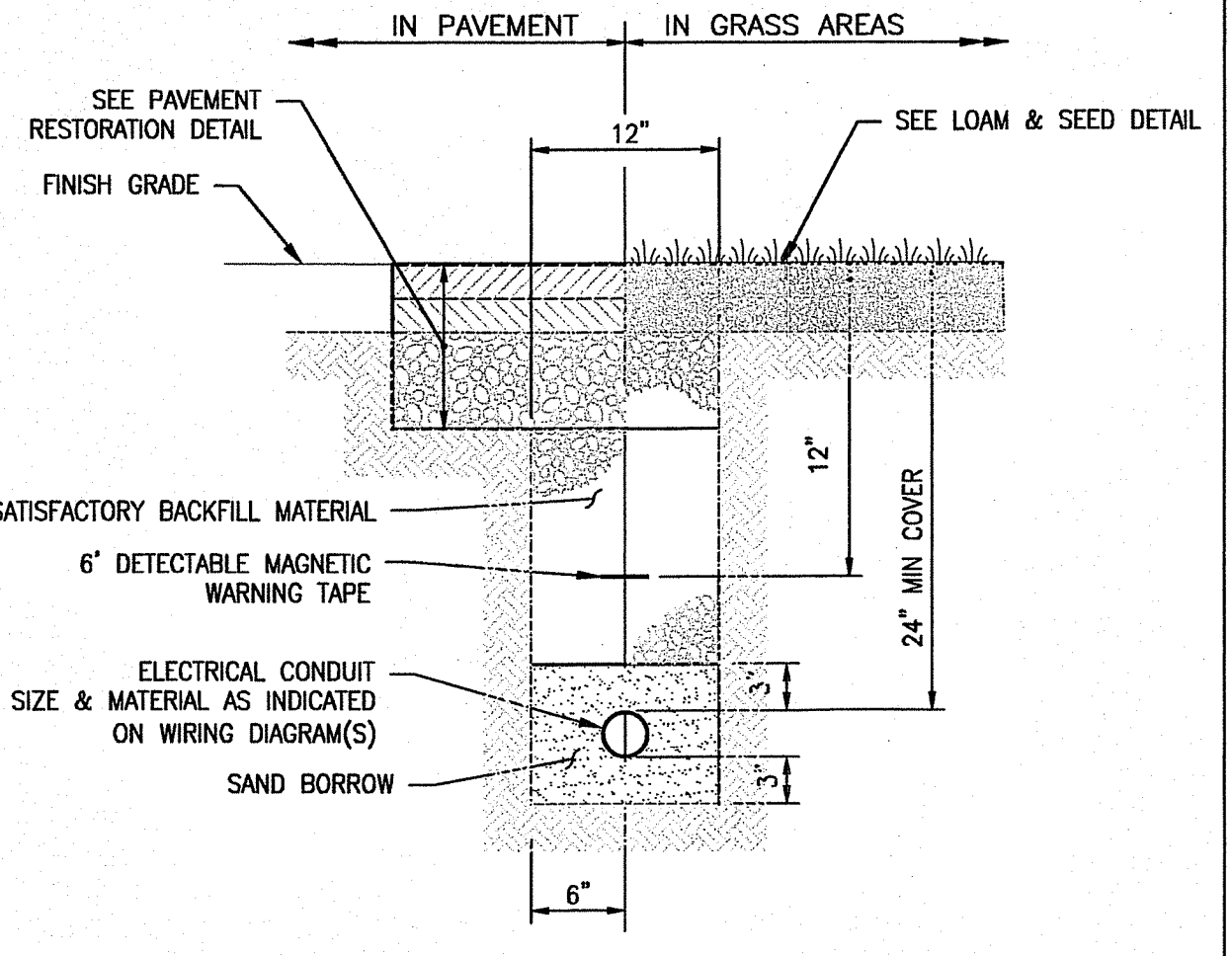
**6 PERMANENT ROADWAY AND PARKING LOT PAVEMENT RESTORATION DETAIL**  
N.T.S.



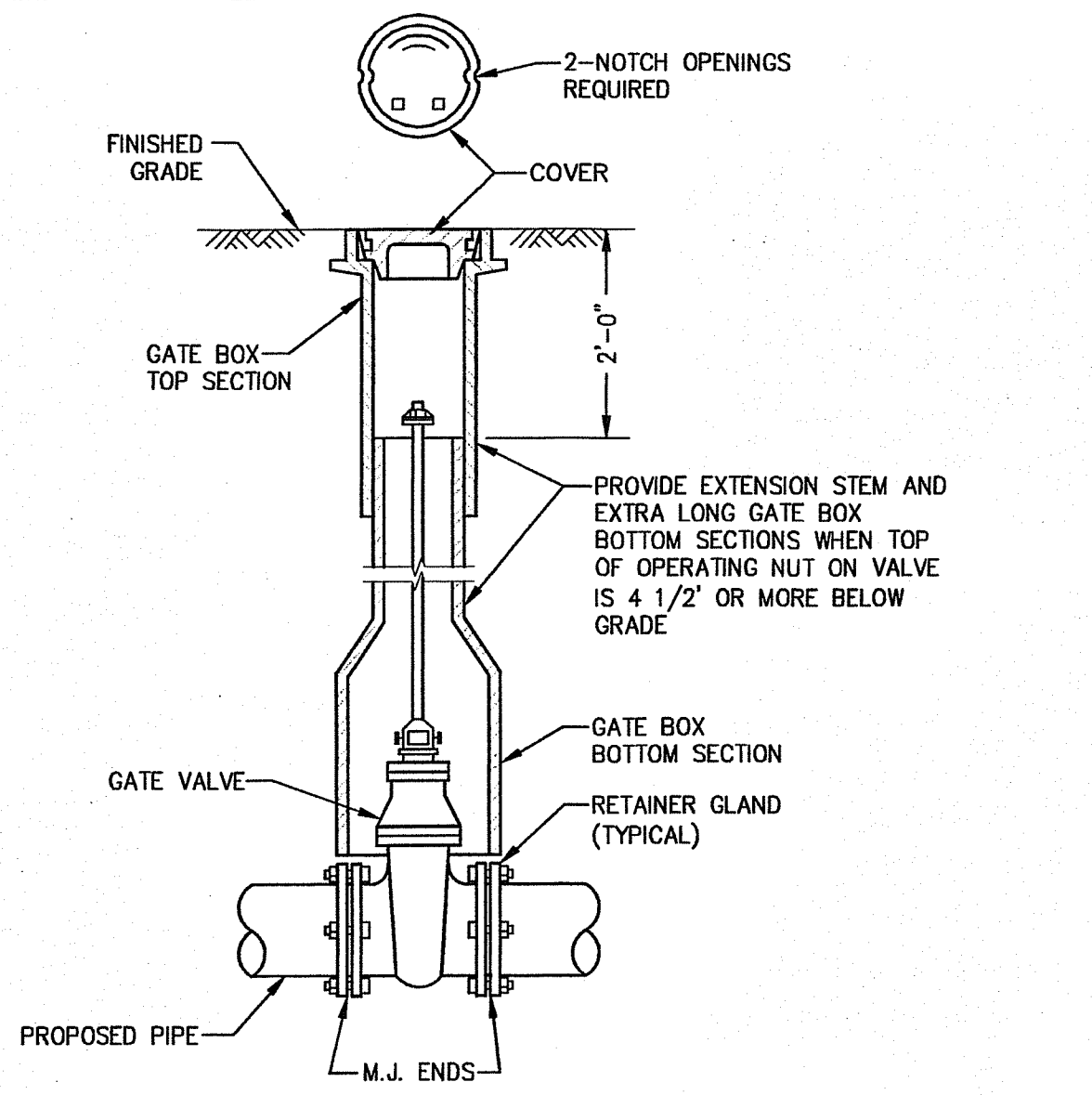
**7 PERMANENT ASPHALT WALKWAY RESTORATION DETAIL**  
N.T.S.



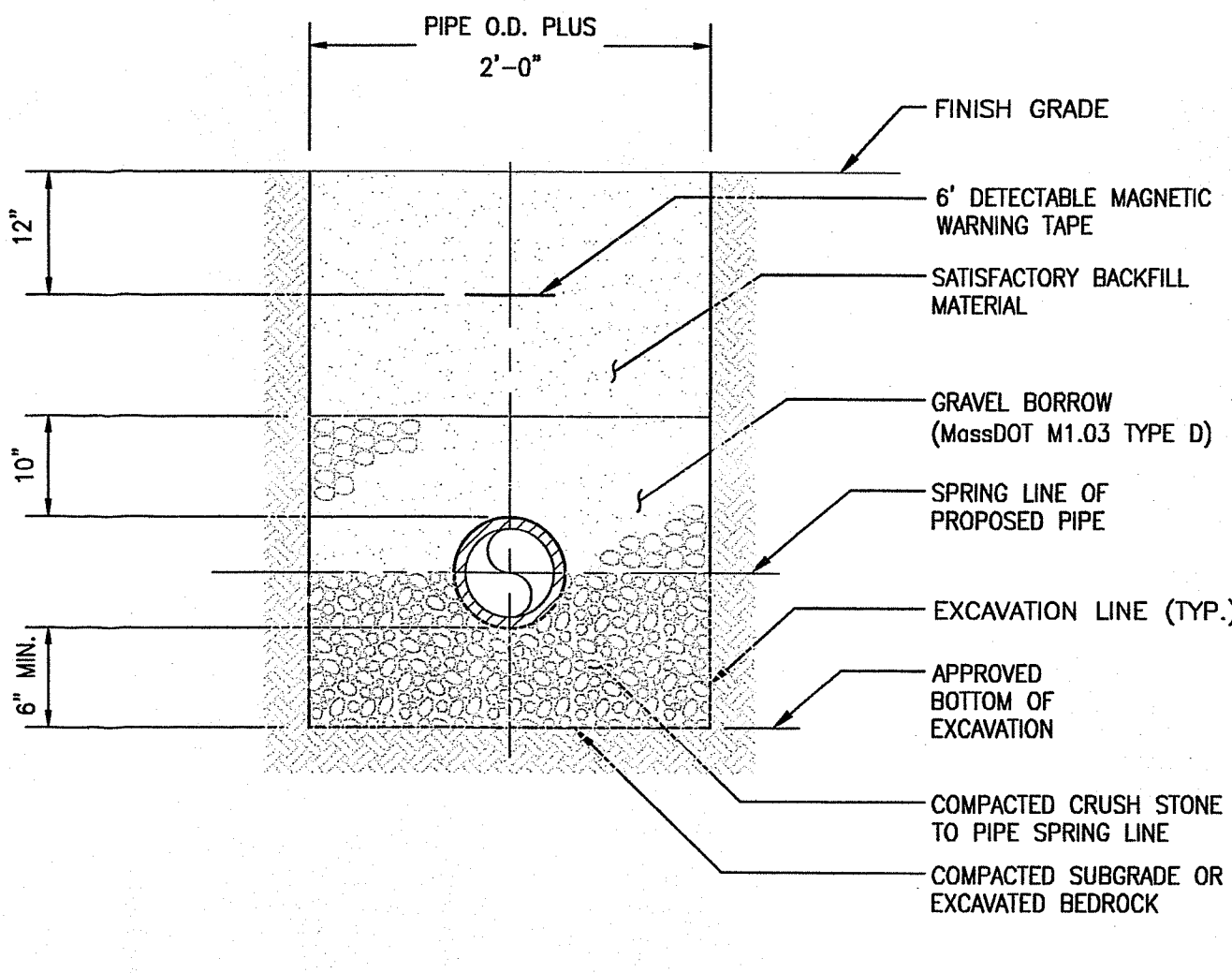
**8 PERMANENT CONCRETE PAVEMENT RESTORATION DETAIL**  
N.T.S.



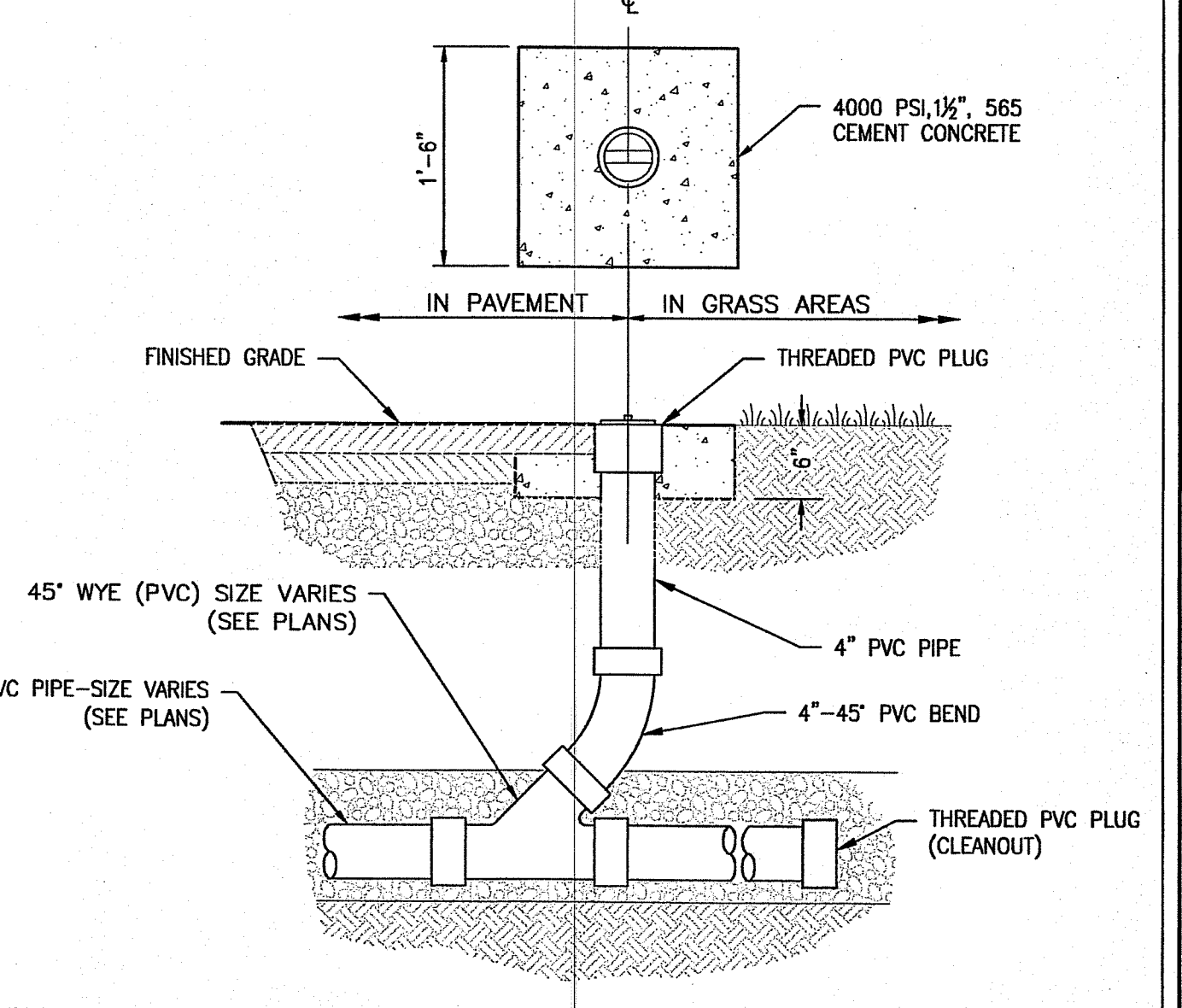
**9 TYPICAL ELECTRICAL CONDUIT TRENCH DETAIL**  
N.T.S.



**10 TYPICAL GATE VALVE AND VALVE BOX DETAIL**  
N.T.S.



**11 DRAIN PIPE TRENCH DETAIL**  
N.T.S.



**12 CLEANOUT DETAIL**  
N.T.S.

**MAGUIRE GROUP**  
 Maguire Group Inc.  
 Architects / Engineers / Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035  
 508-543-1700  
 www.maguiregroup.com

**REVISIONS**

Number	Description	Date

**ISSUED FOR:  
CONSTRUCTION  
02-14-11**

**dcr**  
 Commonwealth of Massachusetts  
 Department of Conservation and Recreation  
 Division of Planning and Engineering

**PHASE I  
DCR POOL  
DRAIN TO SEWER  
CONNECTION  
PROJECT**

**DETAILS-1**

PROJECT NO.: 19072.00  
 DESIGNED BY: JTS  
 DRAWN BY: JTS  
 CHKD BY:  
 DATE: FEBRUARY, 2011  
 SCALE: AS NOTED

SHEET NO.:  
**C11**  
 SHEET 11 OF 12

DRAWING FILE: H:\Projects\19072.00-DCR-DCR-Pools\ACAD\CAD\PHASE I\Dealty Watertown\_C08.dwg PLOTTED: Mar 21, 2011 11:19am BY: jSymb  
 REVIEWED BY: CIVIL INITIALDATE ARCH: INITIALDATE STRU: INITIALDATE PLUM: INITIALDATE FIRE: INITIALDATE MECH: INITIALDATE ELEC: INITIALDATE



**Maguire Group Inc.**  
 Architects / Engineers / Planners  
 33 Commercial Street, Suite 1  
 Foxborough, Massachusetts 02035  
 508-543-1700  
 www.maguiregroup.com

**REVISIONS**

Number	Description	Date

**ISSUED FOR:  
 CONSTRUCTION  
 02-14-11**



Commonwealth of Massachusetts  
 Department of Conservation and Recreation  
 Division of Planning and Engineering

**PHASE I  
 DCR POOL  
 DRAIN TO SEWER  
 CONNECTION  
 PROJECT**

**WATERTOWN DEALTRY  
 POOL - WATERTOWN  
 SITE AND  
 PIPING PLAN**

PROJECT NO.: 19072.00

DESIGNED BY: JTS

DRAWN BY: JTS

CHKD BY:

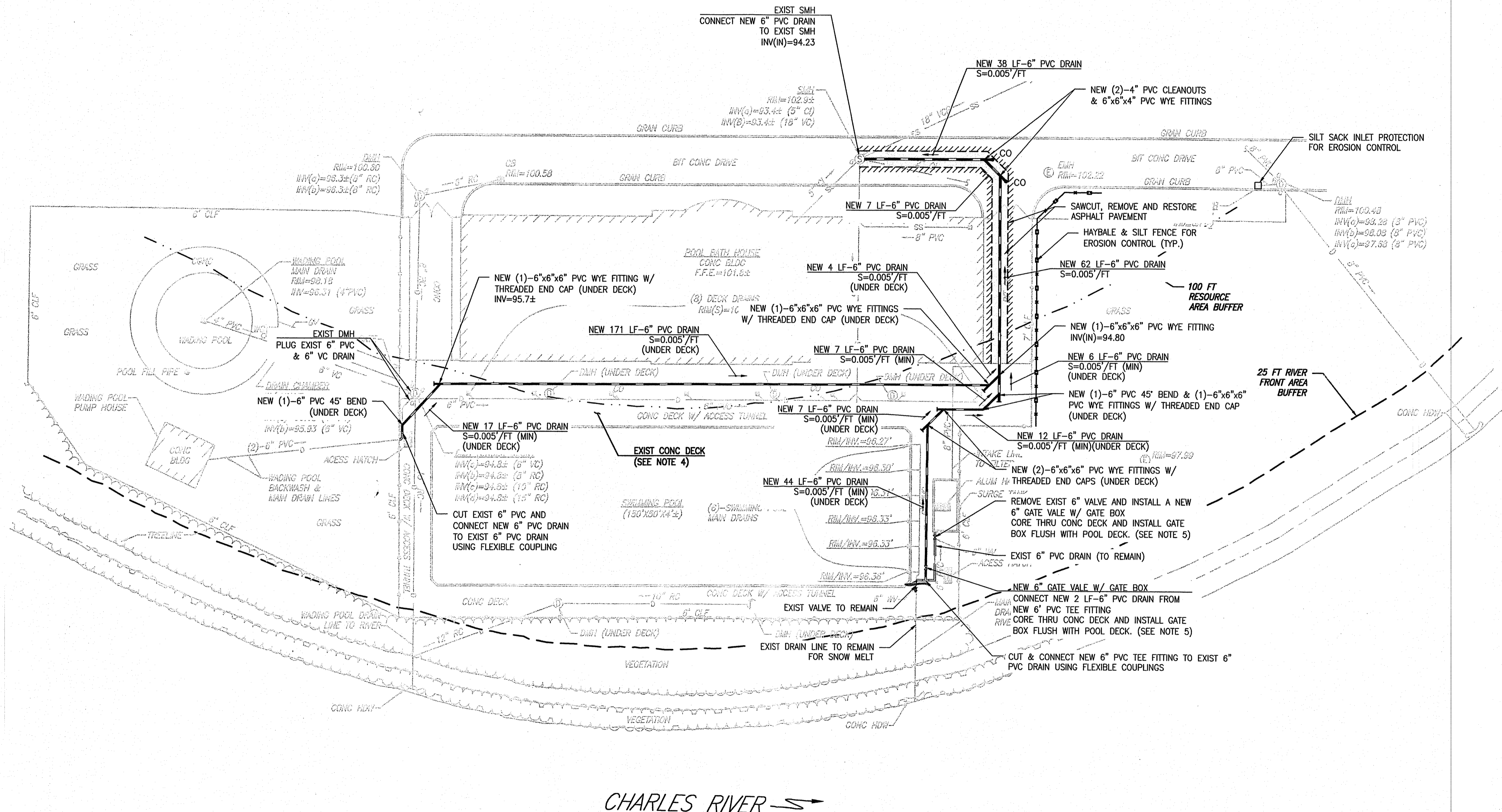
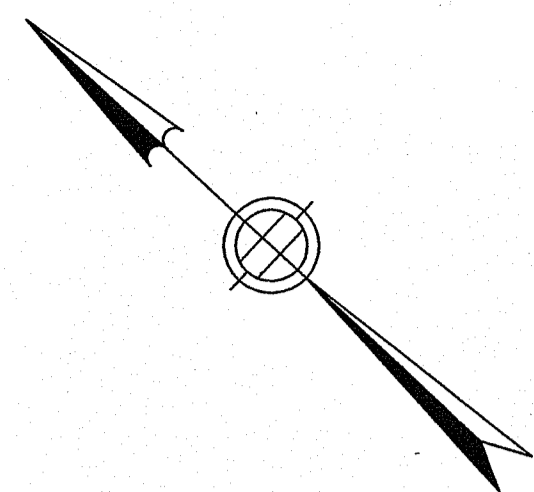
DATE: FEBRUARY, 2011

SCALE: AS NOTED

SHEET NO.:

**C08**

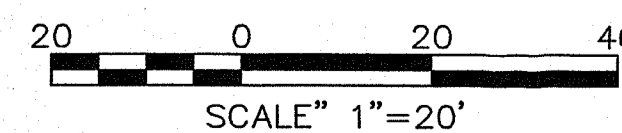
SHEET 8 OF 12



CHARLES RIVER →

**NOTE:**  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE INTEGRITY OF EXISTING PIPE, VALVES AND FITTINGS TO BE REUSED. IF THE CONTRACTOR FINDS ANY OF THE COMPONENTS ARE NOT SUITABLE, THE OWNER SHOULD BE NOTIFIED IMMEDIATELY.

**1 SITE AND PIPING PLAN**  
C08

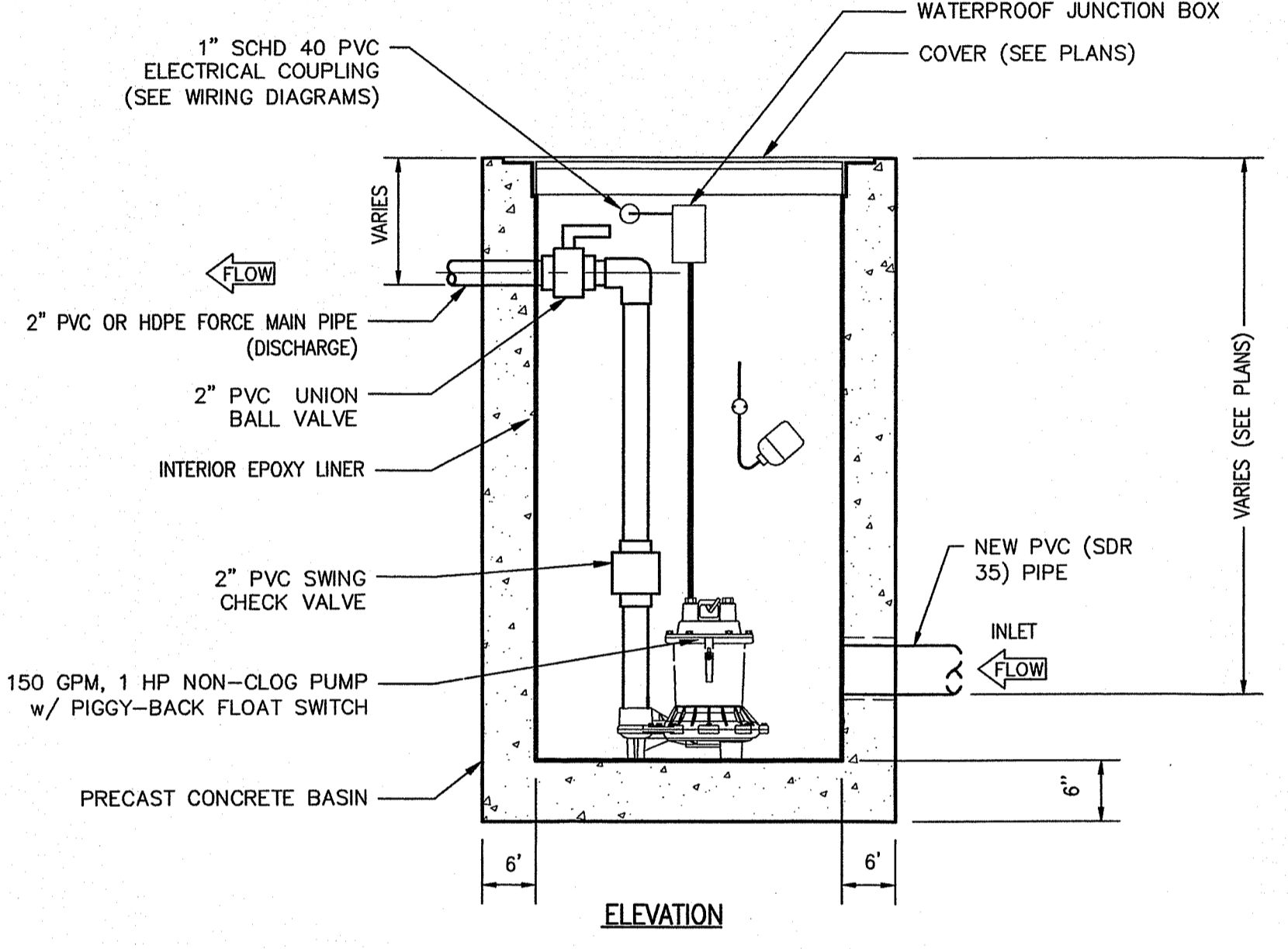
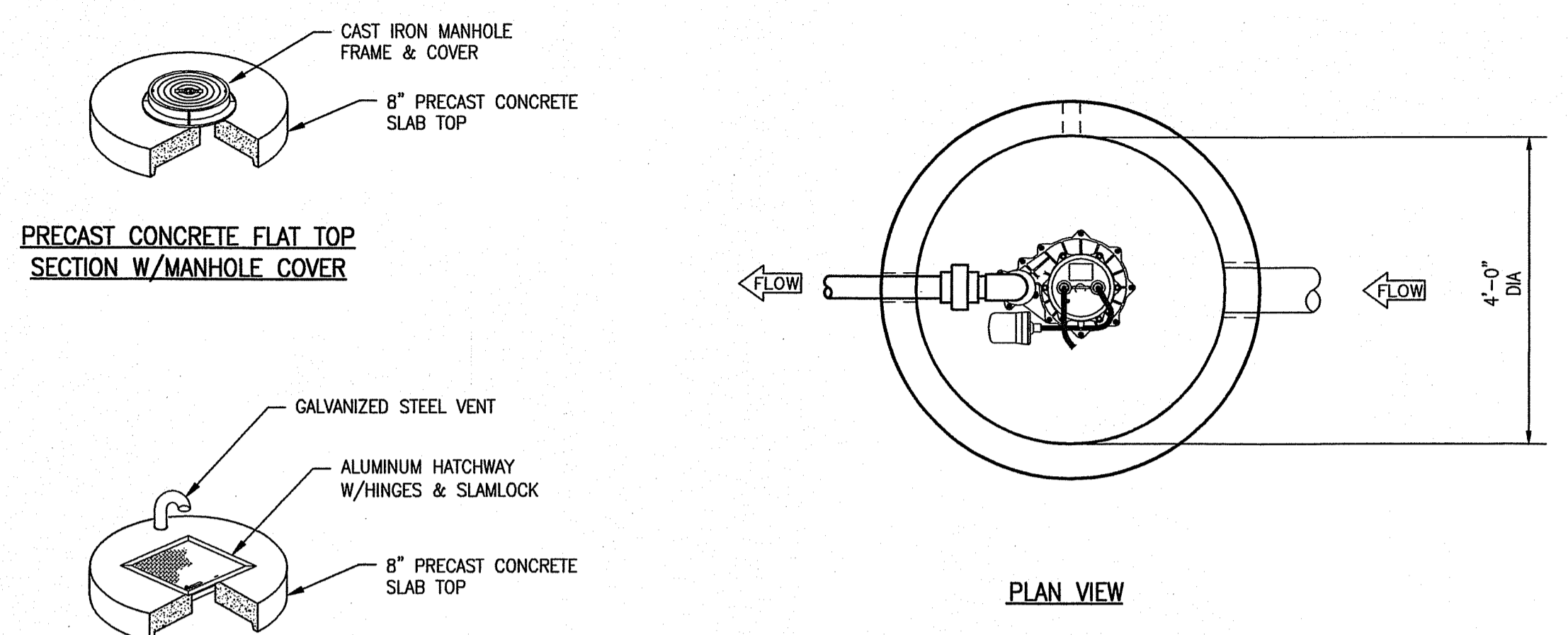


POOL CAPACITIES:	
MAIN POOL	- 259,938 GALLONS
WADING POOL	- 6,600 GALLONS

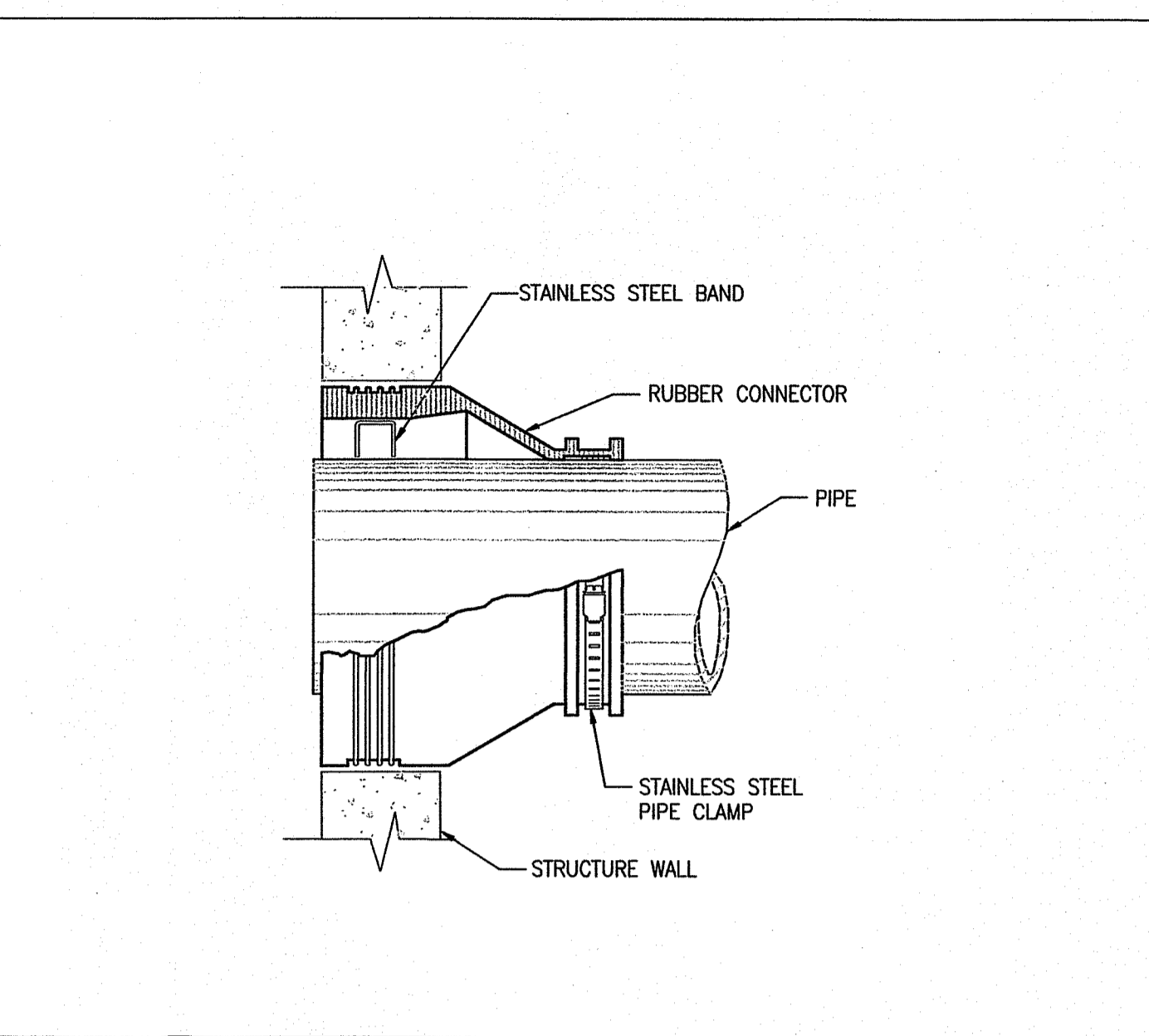
**NOTES:**

- REFER TO SHEET G03 FOR LEGEND AND GENERAL NOTES.
- REFER TO SHEET C11 & C12 FOR DETAILS.
- DISTURBED GRASSED AREAS TO RECEIVE LOAM & SEEDED (SEE DETAIL).
- THE EXISTING CONCRETE POOL DECK IS AN ELEVATED STRUCTURE THAT ALLOWS FOR ACCESS TO POOL PIPING AND VALVES. AT NO TIME SHOULD VEHICLES OR HEAVY CONSTRUCTION EQUIPMENT BE PARKED OR PLACED ON TOP OF THE POOL DECK.
- CONTRACTOR TO PROVIDE (2) TEE--WRENCHES FOR EACH NEW GATE VALVE.

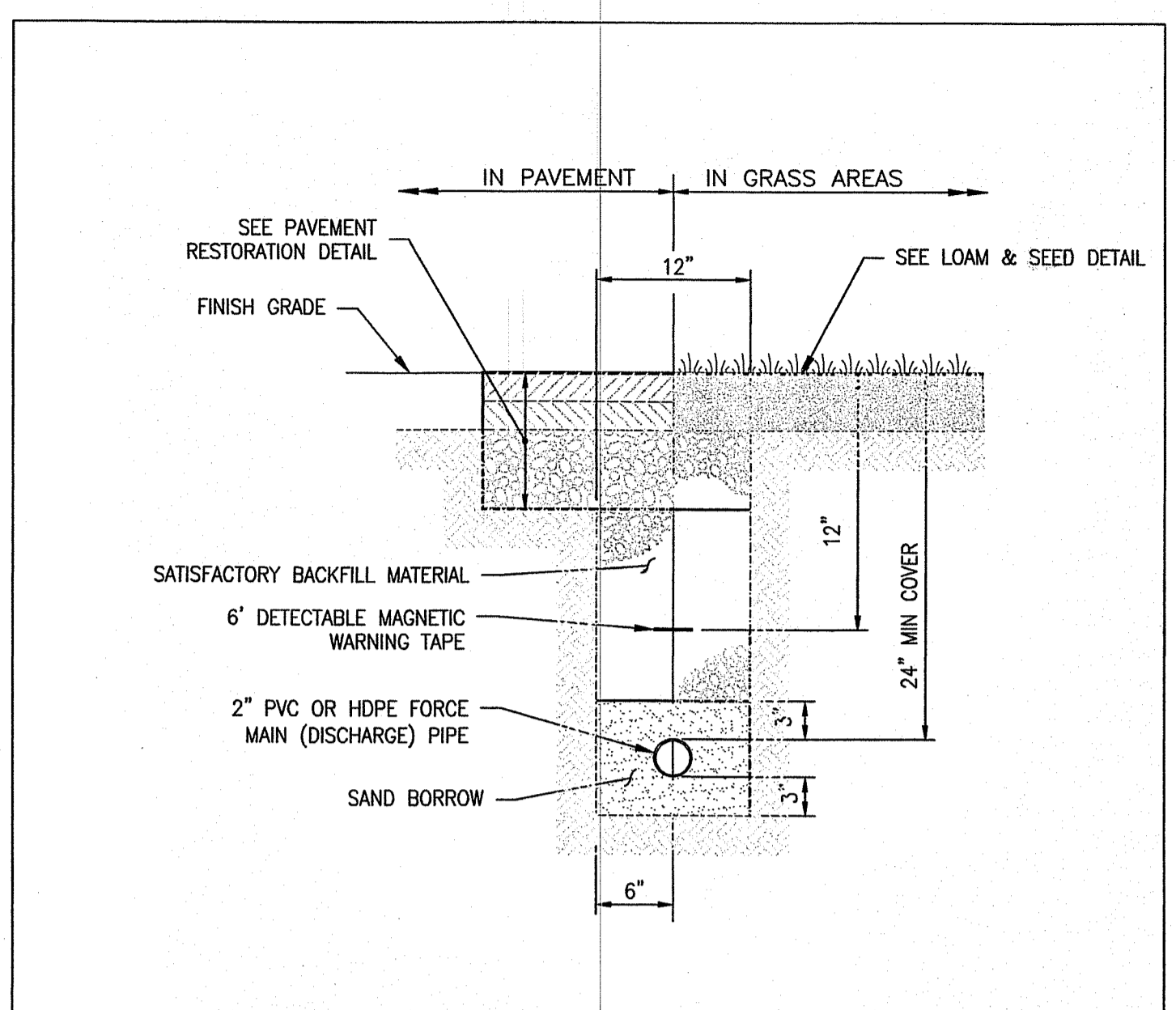
ELEC: INITIAL/DATE  
MECH: INITIAL/DATE  
PREC: INITIAL/DATE  
PLUM: INITIAL/DATE  
STRU: INITIAL/DATE  
ARCH: INITIAL/DATE  
CIVIL: INITIAL/DATE  
REVIEWED BY: CIVIL: INITIAL/DATE  
DRAWING FILE: H:\Projects\18072.00-DCR-Pool\NADA\Civil\PHASE I\C12-Details-2.dwg PLOTTER: Mar 21, 2011 - 11:20am BY: j5ymb



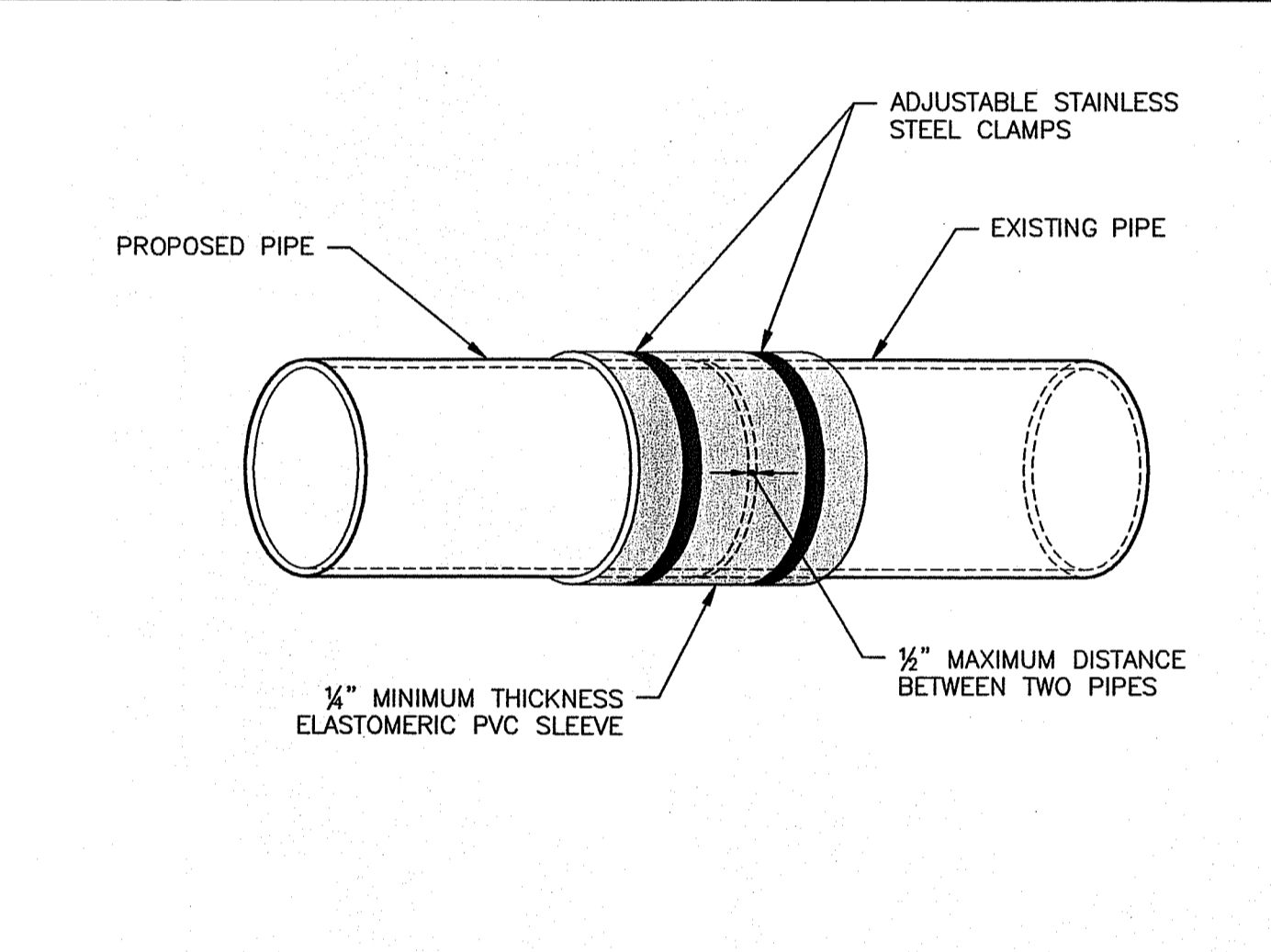
13 PRE-ENGINEERD PUMP LIFT STAION  
N.T.S.



14 DRAINAGE STRUCTURE FLEXIBLE CONNECTOR DETAIL  
N.T.S.

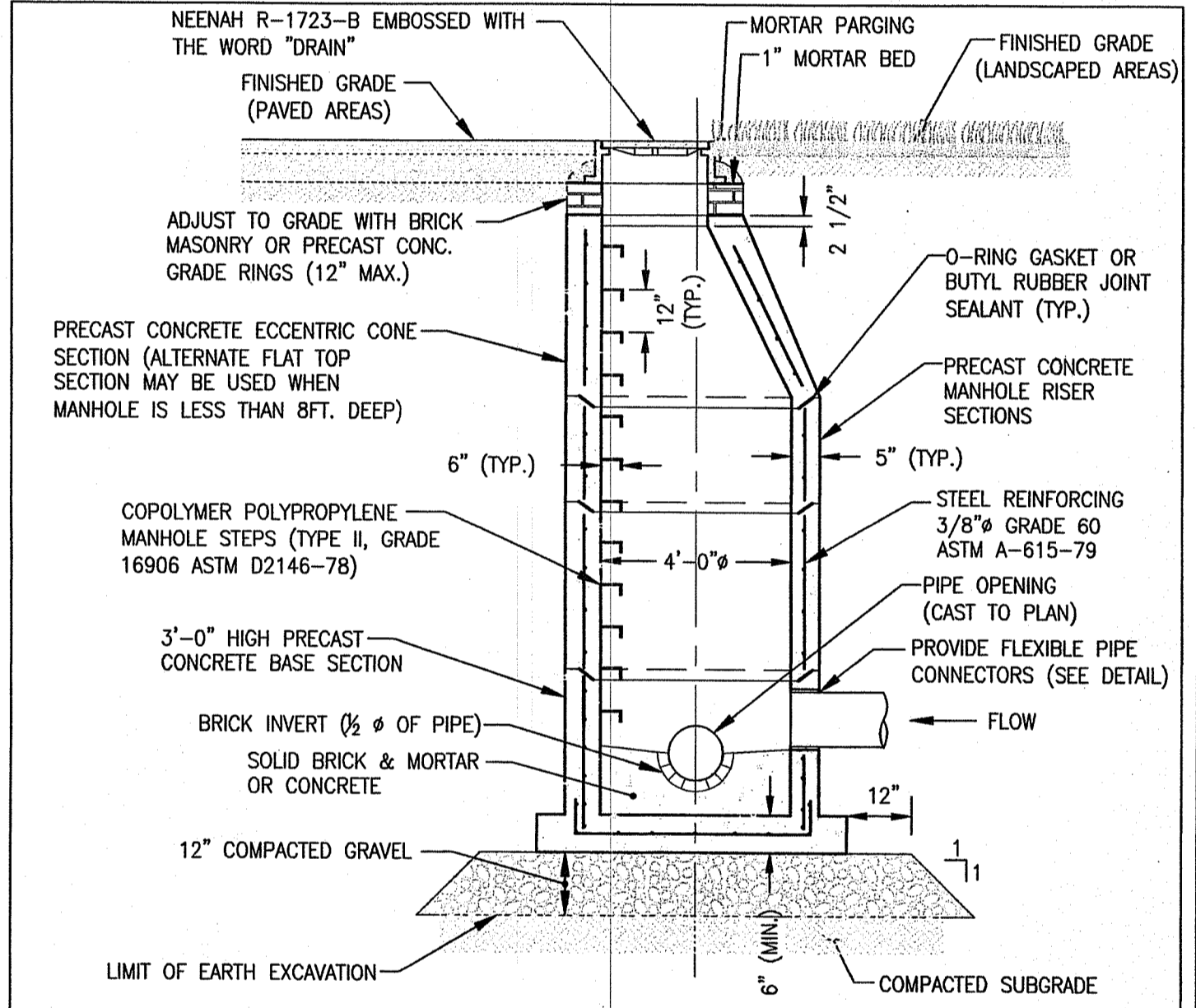


15 FORCE MAIN TRENCH DETAIL  
N.T.S.

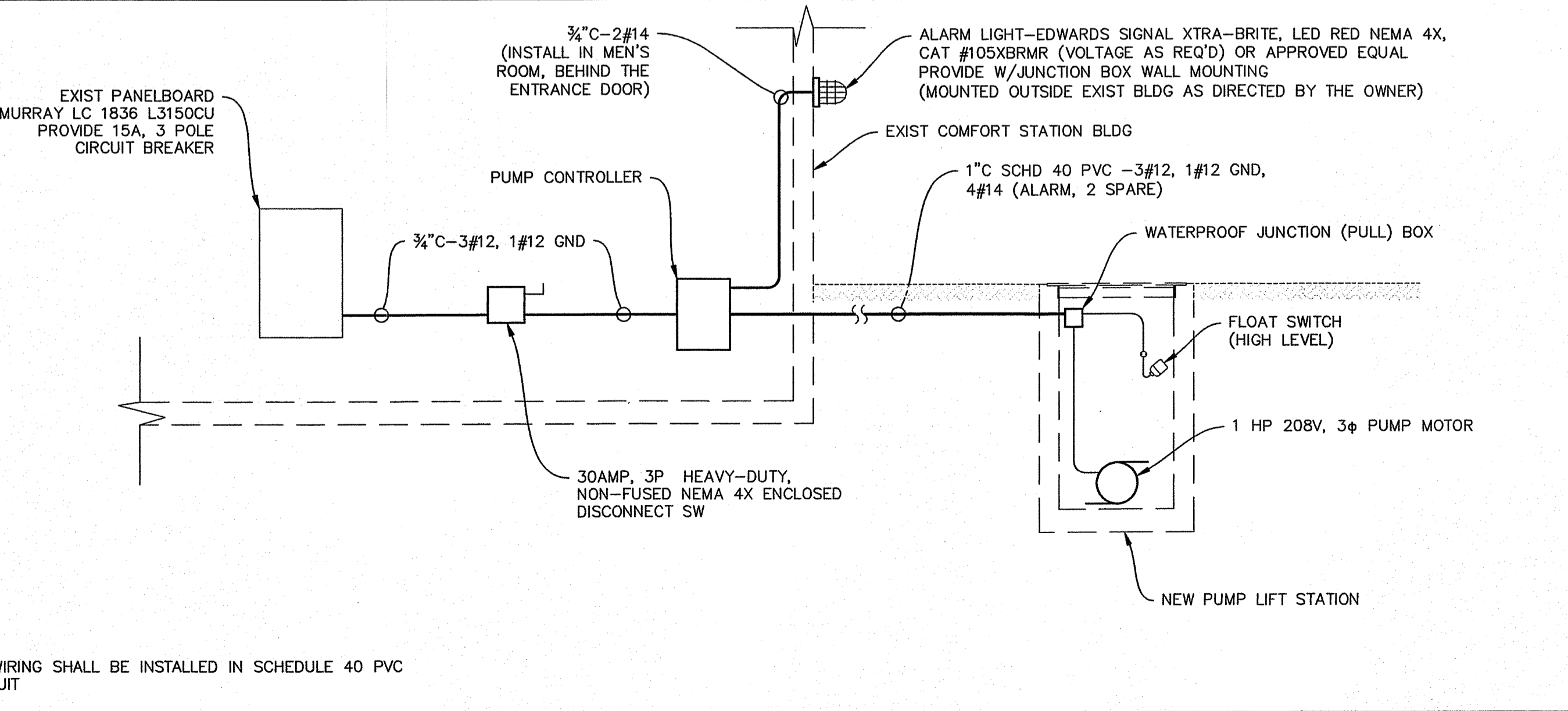


NOTE:  
1. PROPOSED PIPE MAY HAVE AN OUTSIDE DIAMETER (O.D.) THAT IS DIFFERENT THAN THE O.D. OF THE EXISTING PIPE. THE CONTRACTOR SHALL VERIFY THE O.D. PRIOR TO ORDERING THE COUPLING.

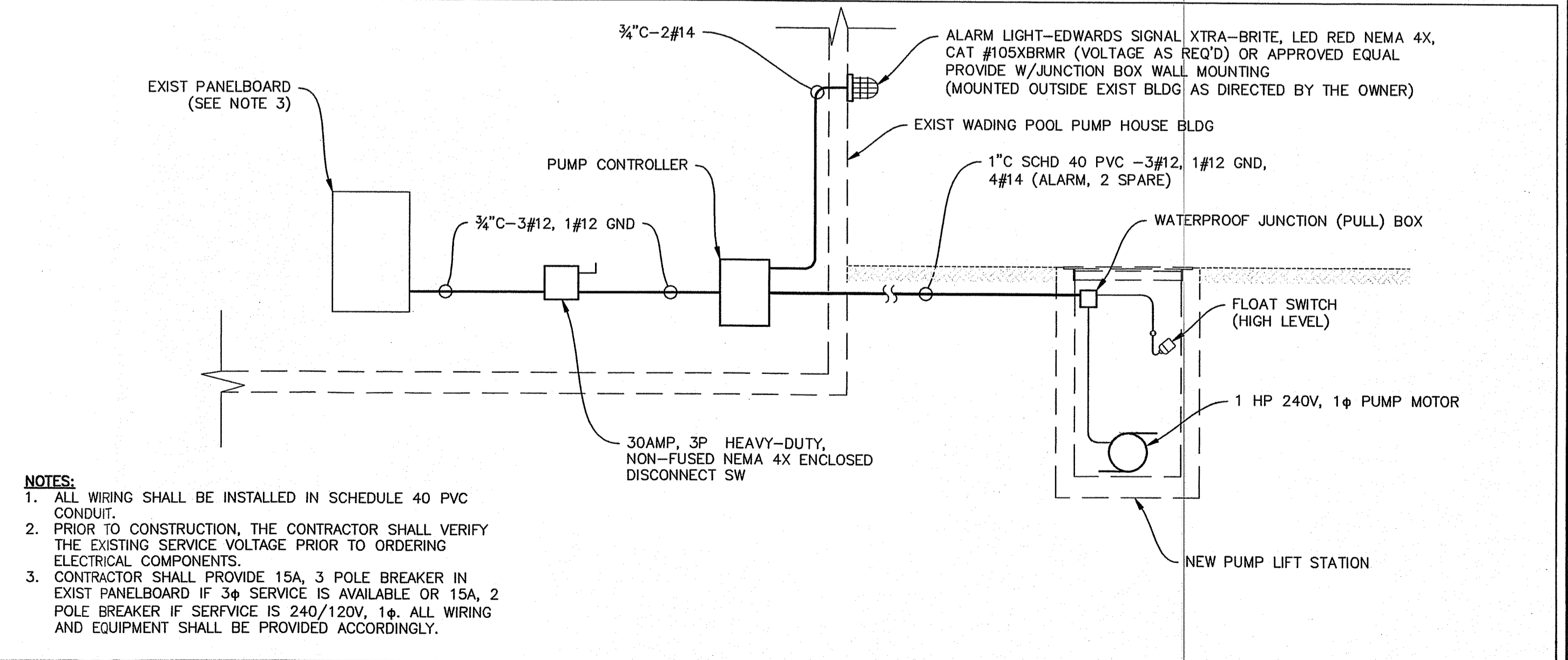
16 FLEXIBLE PIPE COUPLING  
N.T.S.



17 DRAIN MAHNOLE DETAIL  
N.T.S.



18 PUMP LIFT STATION WIRING DIAGRAM- ARTESANI POOL  
N.T.S.



19 PUMP LIFT STATION WIRING DIAGRAM - STONEHAM POOL  
N.T.S.

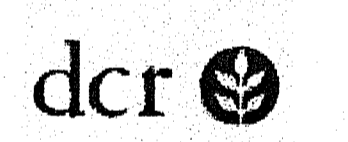


**Maguire Group Inc.**  
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REVISIONS

Number	Description	Date

ISSUED FOR:  
CONSTRUCTION  
02-14-11



Commonwealth of Massachusetts  
Department of Conservation and Recreation  
Division of Planning and Engineering

PHASE I  
DCR POOL  
DRAIN TO SEWER  
CONNECTION  
PROJECT

DETAILS-2

PROJECT NO.: 19072.00  
DESIGNED BY: JTS  
DRAWN BY: JTS  
CHK'D BY:  
DATE: FEBRUARY, 2011  
SCALE: AS NOTED  
SHEET NO.:

C12

SPRAY DECK FEATURE INFORMATION (ALT. 1)

ID #	FEATURE NAME	# OF FEATURES
1	SURF STONE	11
2	MISTY MOUNTAIN	10
3	SOLO SPURT	5
4	DOUBLE LEAF	1
5	MISTING SINGLE LEAF	2
6	TREE	1
	TOTAL FEATURES	30



SURF STONE 3



DOUBLE LEAF



MISTY MOUNTAIN



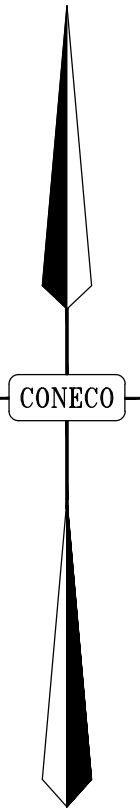
MISTING SINGLE LEAF



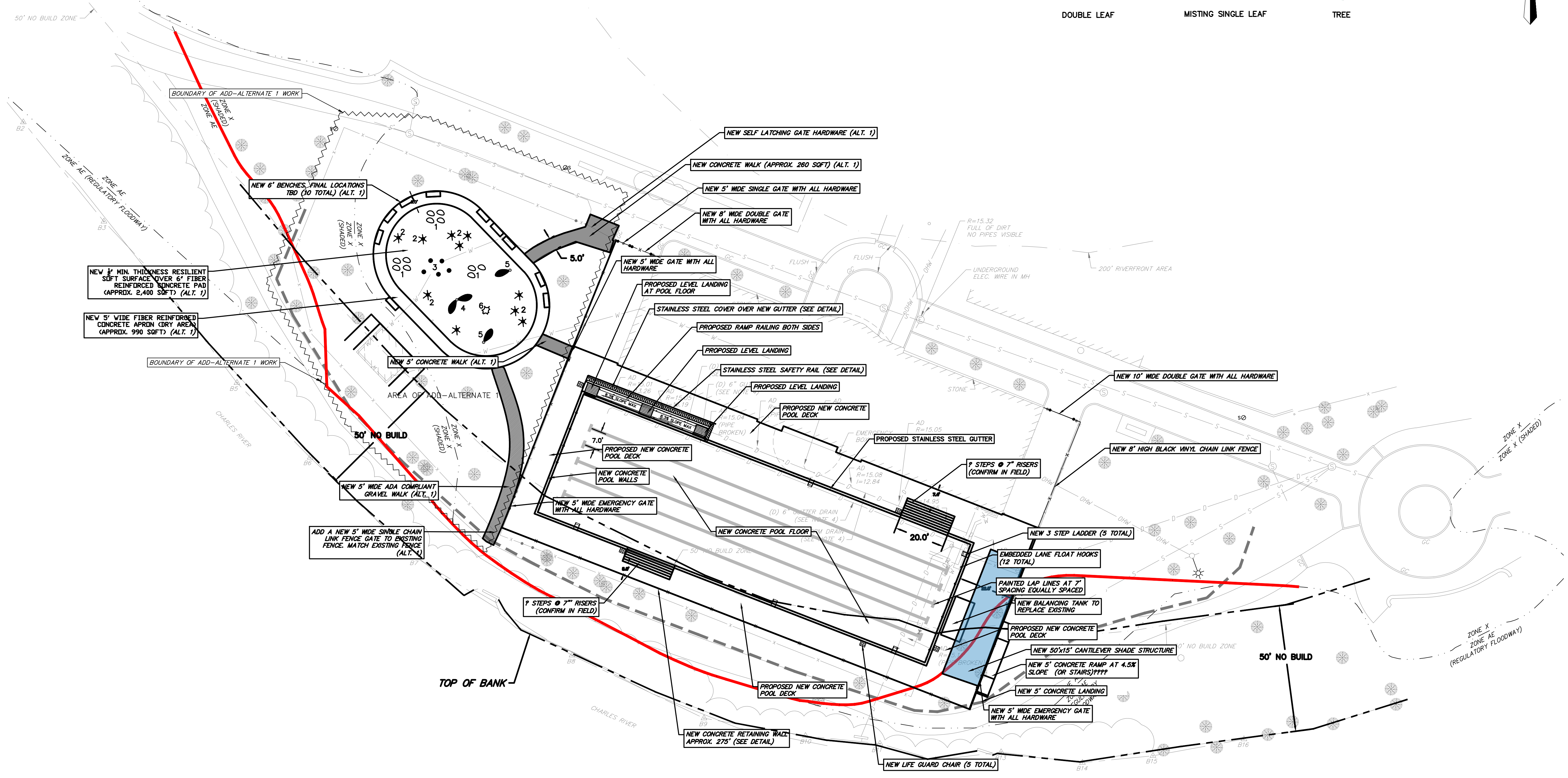
SOLO SPURT/JET



TREE



- NOTES:
- LENGTH OF NEW POOL SHALL BE 50 METERS (164.042 FEET). THE EXISTING END WALLS SHALL BE FULL DEMOLISHED AND NEW WALLS CONSTRUCTED TO ENSURE THAT A 50 METER LENGTH IS CREATED.
  - EXPANSION JOINTS SHALL BE INSTALLED ON THE POOL WALLS IN FRONT OF EACH EXISTING WALL EXPANSION JOINT. AN EXPANSION JOINT SHALL ALSO BE INSTALLED ON EVERY INSIDE CORNER OF THE POOL WALL.
  - PROPOSED POOL WALLS SHALL BE POURED USING THE INSIDE OF THE EXISTING POOL WALL AS THE FORM IN LOCATIONS WHERE THE EXISTING WALLS ARE TO REMAIN. THE EXISTING POOL WALL SHALL BE CORED, AND REBAR HOOKS EPOXIED INTO THE EXISTING WALL. THE REBAR THAT EXTENDS OUT SHALL BE BENT AT A 90° ANGLE AND TIED TO THE PROPOSED POOL WALL REBAR.
  - ALL POOL WALL AND FLOOR SLAB CONCRETE SHALL BE MADE WITH A SHRINK-REDUCING ADMIXTURE.
  - FINAL LOCATIONS OF L.G. CHAIRS AND LADDERS TBD BY OWNER DURING CONSTRUCTION.
  - CONTRACTOR TO BOND ALL METALLIC PARTS OF POOL TO ELECTRIC SERVICE GROUND PER APPROVAL BY THE ELECTRIC INSPECTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ALL RAILINGS, L.G. CHAIRS, DRAINS AND SUMPS, GUTTER, SAFETY FENCING, BENCHES, SHOWER TOWERS, AND STEEL REINFORCING.
  - CONCRETE POOL DECK SHALL BE TOOLED WITH CONTROL JOINTS ON A 5 FT X 5 FT GRID. EXPANSION JOINTS SHALL BE INSTALLED IN POOL DECK ON A 20 FT. X 20 FT GRID, OR EVERY 200 S.F. OF POOL DECK.



NO.	DATE	DESCRIPTION	DR/CK

PREPARED FOR:  
 DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

PROJECT:  
 DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

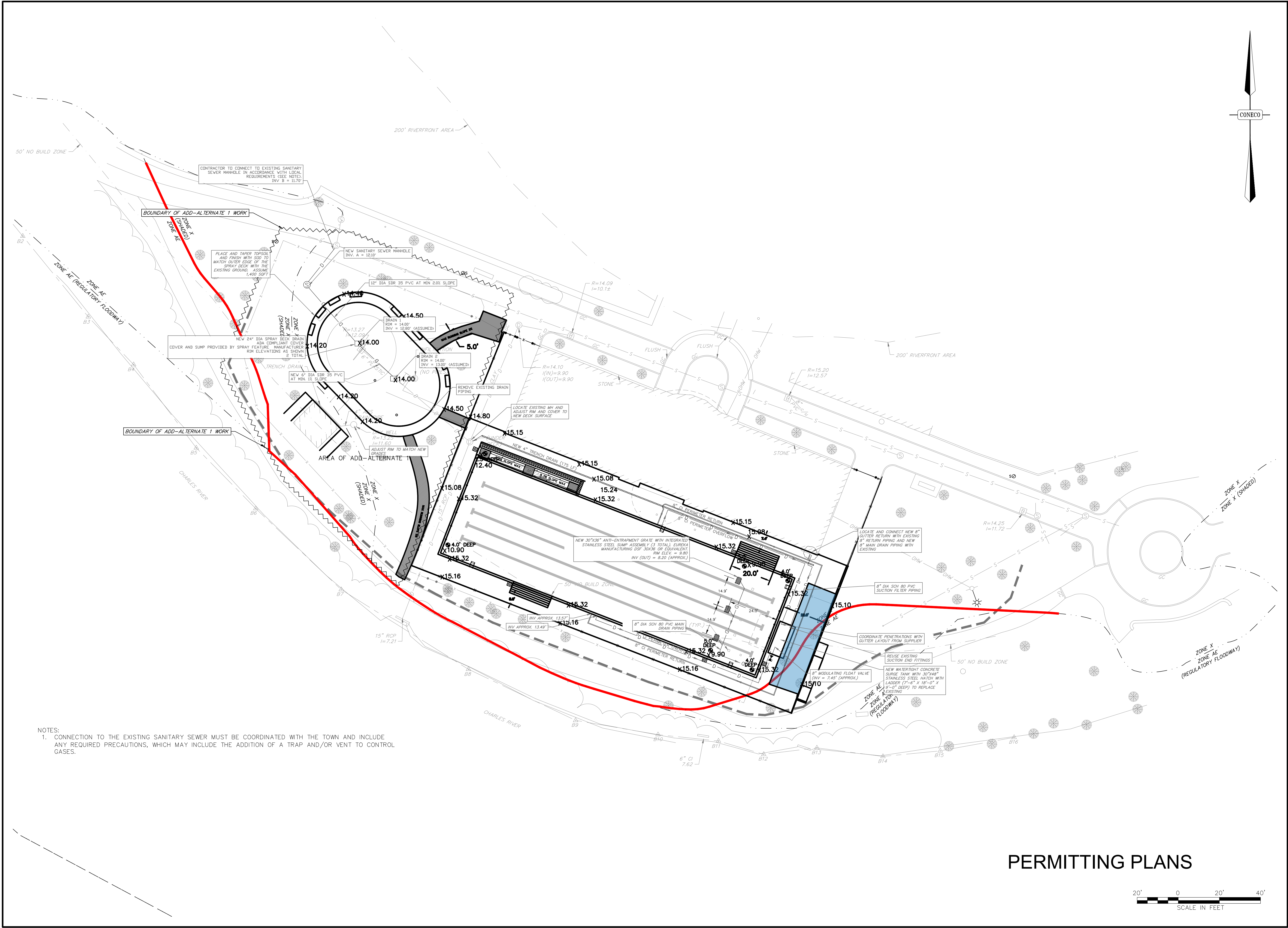
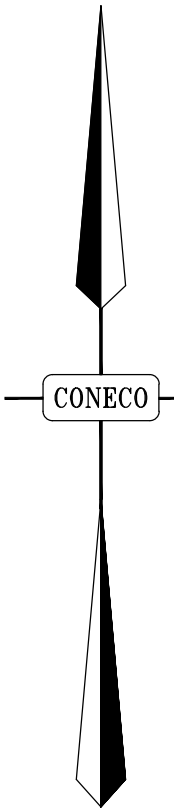
DRAWING:  
 DEALTHY MEMORIAL POOL  
 P08-2509-C6A



DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	1" = 20'
PROJECT NO.	----
SHEET NO.	C-4

PERMITTING PLANS





NOTES:  
 1. CONNECTION TO THE EXISTING SANITARY SEWER MUST BE COORDINATED WITH THE TOWN AND INCLUDE ANY REQUIRED PRECAUTIONS, WHICH MAY INCLUDE THE ADDITION OF A TRAP AND/OR VENT TO CONTROL GASES.

NO.	DATE	DESCRIPTION	DR/CK

PREPARED FOR:  
 DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

DRAWING:  
 GRADING AND DRAINAGE

PROJECT:  
 DEATLY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

PLAN SET:  
 DEATLY MEMORIAL POOL  
 P08-2509-C6A


**CONBECO**  
 Engineers & Scientists  
 PHONE: 800-548-1355 WEBSITE: www.conbeco.com

DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	1" = 20'
PROJECT NO.	----
SHEET NO.	<b>C-6</b>

PERMITTING PLANS




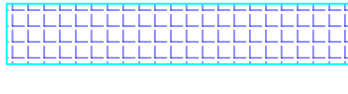

**LEGEND**

TREES PROPOSED TO BE REMOVED 

STAKING COLORS:  
 ORANGE = PROPOSED PROJECT/STRUCTURE  
 PINK = LIMIT OF WORK (LOW)  
 YELLOW = FEMA ZONE AE/BLSF

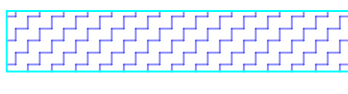
**DISTURBANCE AREAS**

**NO BUILD ZONE PERMANENT IMPACTS**

-  EXPANSION OF POOL DECK AND CONSTRUCTION OF SHADE STRUCTURE = +817 SQFT
-  GRAVEL WALK TO SPRAY DECK = +162 SQFT
-  DEMOLITION OF SOUTH SIDE OF POOL DECK AND MITIGATION OF AREA = -595 SQFT

NET PERMANENT DISTURBANCE = 384 SQFT

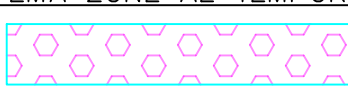
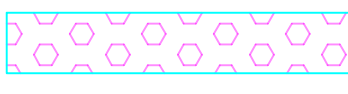

**NO BUILD ZONE TEMPORARY IMPACTS**

-  DEMOLITION AND RECONSTRUCTION OF POOL IN SAME LOCATION = 2,750 SQFT

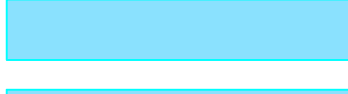

**TREE REMOVAL AND REPLACEMENT**

4 REMOVED FOR CONSTRUCTION  
 8 NEW REPLACEMENTS ADDED (LOCATION OF REPLACEMENTS TBD WITH INPUT FROM COMMISSION)

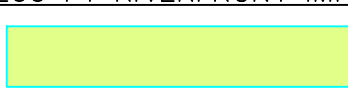
**FEMA ZONE AE TEMPORARY IMPACTS**

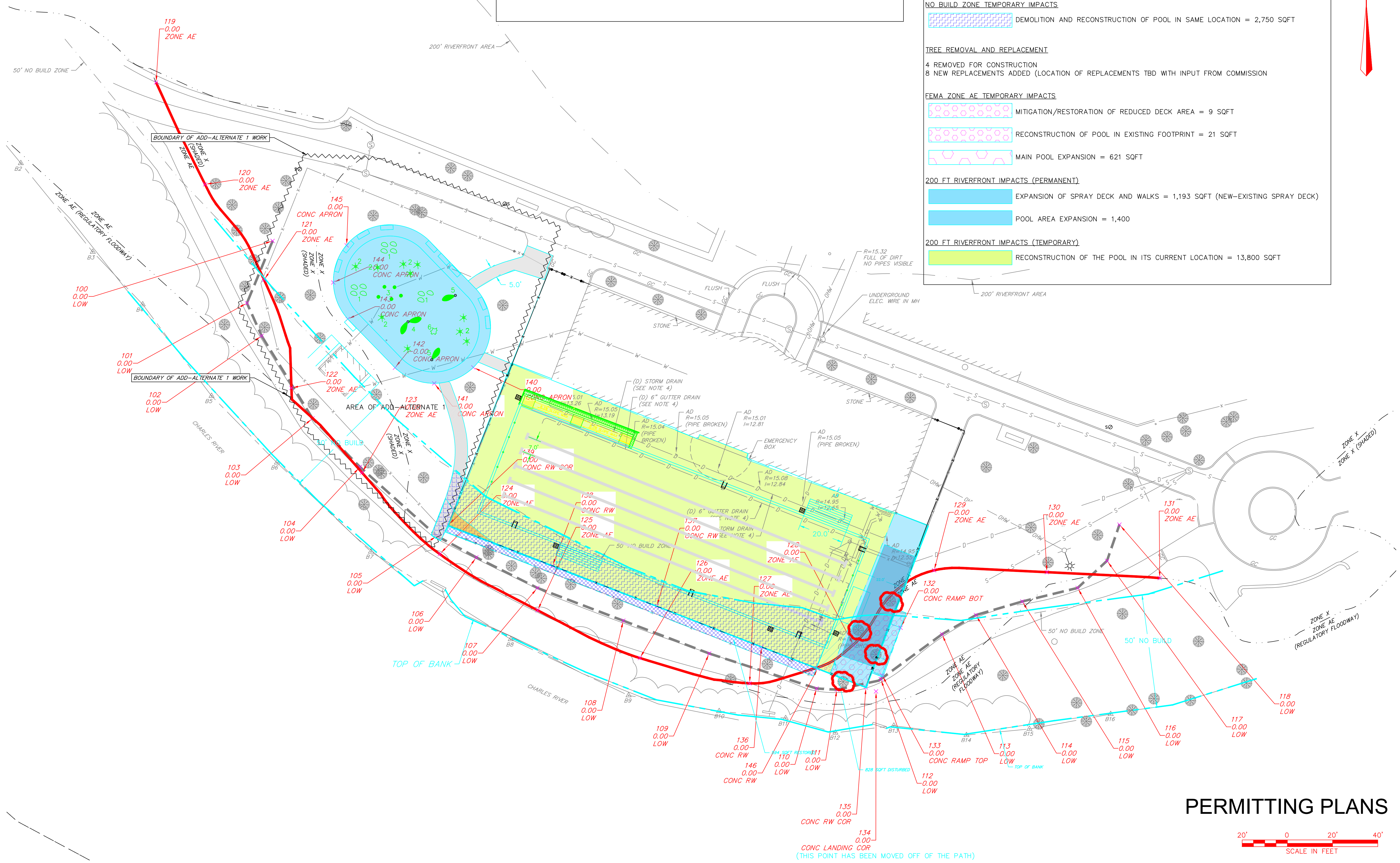
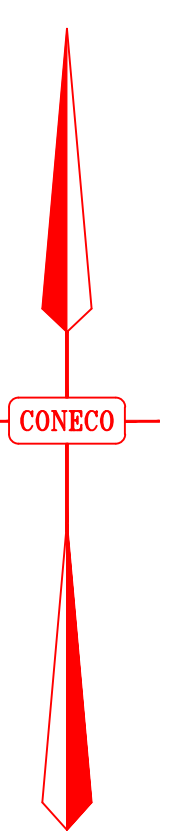
-  MITIGATION/RESTORATION OF REDUCED DECK AREA = 9 SQFT
-  RECONSTRUCTION OF POOL IN EXISTING FOOTPRINT = 21 SQFT
-  MAIN POOL EXPANSION = 621 SQFT

**200 FT RIVERFRONT IMPACTS (PERMANENT)**

-  EXPANSION OF SPRAY DECK AND WALKS = 1,193 SQFT (NEW-EXISTING SPRAY DECK)
-  POOL AREA EXPANSION = 1,400

**200 FT RIVERFRONT IMPACTS (TEMPORARY)**

-  RECONSTRUCTION OF THE POOL IN ITS CURRENT LOCATION = 13,800 SQFT



NO.	DATE	DESCRIPTION	DR/CK

DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

PROJECT: DEALEY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

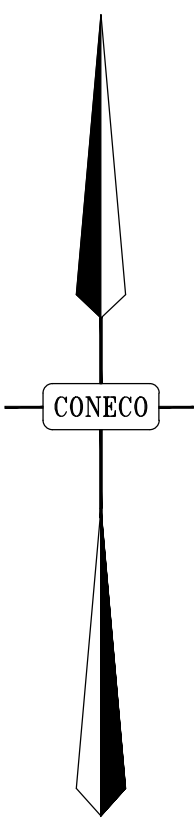
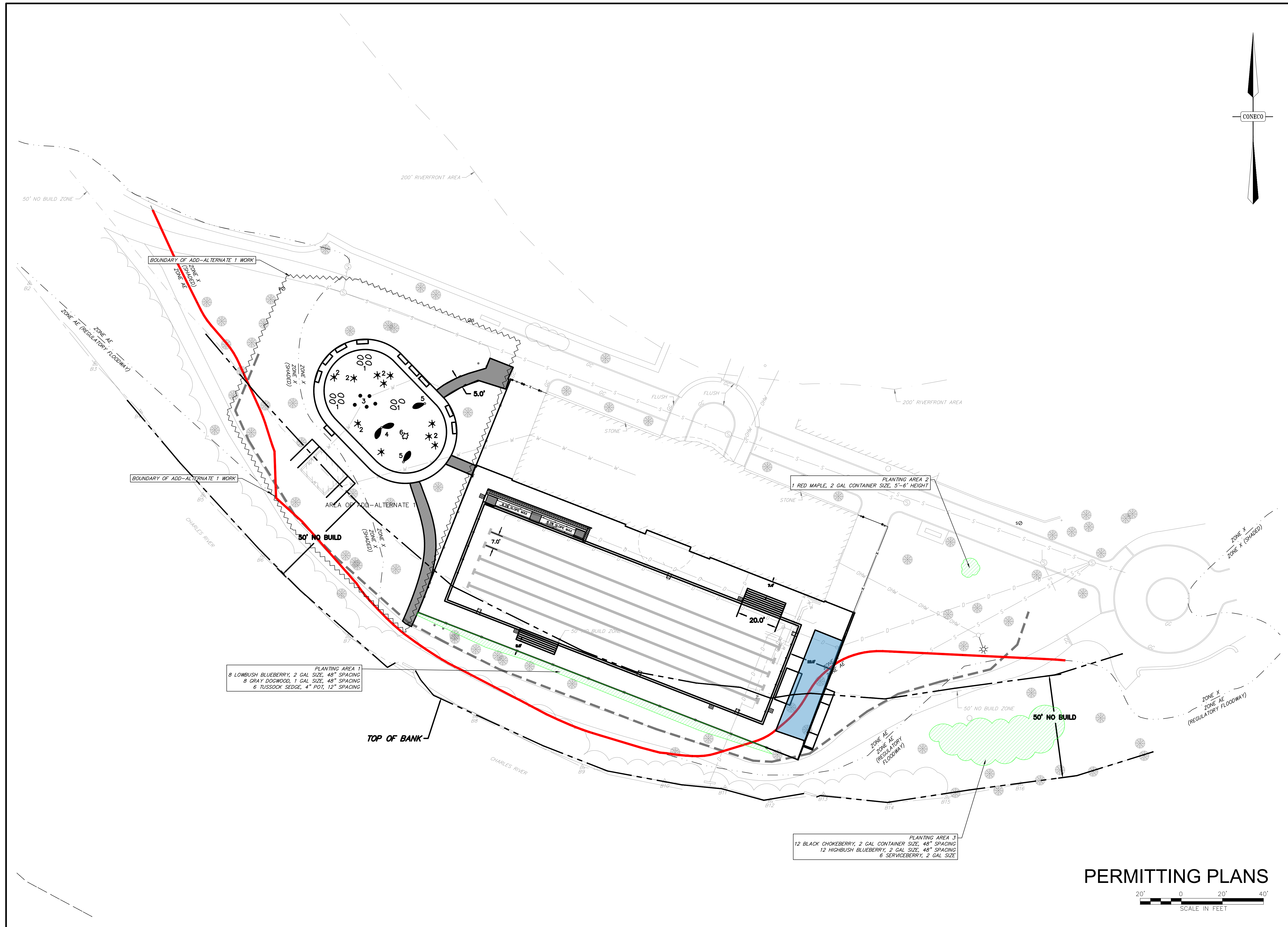
DRAWING: DEALEY MEMORIAL POOL  
 P08-2509-C6A

CONNECO  
 Engineers & Scientists  
 PHONE: 800-548-3355  
 WEBSITE: www.conneco.com

DATE: 3/##/2025  
 DESIGNED: XX CHECKED: XX  
 DRAFTED: XX IN CHARGE: XX  
 SCALE: 1" = 20'  
 PROJECT NO. ---  
 SHEET NO. **C-8**

**PERMITTING PLANS**





NO.	DATE	DESCRIPTION	DR/CK

DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

DEALTHY MEMORIAL POOL  
 P08-2509-C6A



DATE	3/##/2025	
DESIGNED: XX	CHECKED: XX	
DRAFTED: XX	IN CHARGE: XX	
SCALE:	1" = 20'	
PROJECT NO.	----	
SHEET NO.	<b>C-9</b>	

**PERMITTING PLANS**

20' 0 20' 40'  
 SCALE IN FEET

# **NOTICE OF INTENT**

## **Proposed Site Improvements 25 Clarendon Street Watertown, MA**

**September 17, 2025**

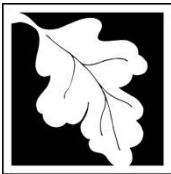
**Prepared For:**

**Comcast**  
c/o Comcast New England Region  
5 Omni Way  
Chelmsford MA 01824

**Prepared By:**

**Civilworks New England**  
PO Box 1166, 181 Watson Road, Dover, NH 03820  
*And PO BOX 161, Turners Falls, MA 01376*





**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

---

MassDEP File Number

---

Document Transaction Number

---

Watertown

---

City/Town

**Important:**  
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

25 Clarendon Street \_\_\_\_\_ Watertown \_\_\_\_\_ 02493  
 a. Street Address b. City/Town c. Zip Code

Latitude and Longitude: 42.3650124 \_\_\_\_\_ -71.1541561  
 d. Latitude e. Longitude

1510 \_\_\_\_\_ 5A - 0 \_\_\_\_\_  
 f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant:

Daniel \_\_\_\_\_ Lepine \_\_\_\_\_  
 a. First Name b. Last Name

Comcast New England Division \_\_\_\_\_  
 c. Organization

5 Omni Way \_\_\_\_\_  
 d. Street Address

Chelmsford \_\_\_\_\_ MA \_\_\_\_\_ 01824  
 e. City/Town f. State g. Zip Code

978-848-5063 \_\_\_\_\_ --- \_\_\_\_\_ Lepine, Dan <Dan\_Lepine@comcast.com>  
 h. Phone Number i. Fax Number j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

David \_\_\_\_\_ Valchuis \_\_\_\_\_  
 a. First Name b. Last Name

Red Coat Realty LLC \_\_\_\_\_  
 c. Organization

P.O. Box 540045 \_\_\_\_\_  
 d. Street Address

Waltham \_\_\_\_\_ MA \_\_\_\_\_ 02454  
 e. City/Town f. State g. Zip Code

617-293-4236 \_\_\_\_\_ --- \_\_\_\_\_ dvalchuis@necs-inc.com  
 h. Phone Number i. Fax Number j. Email address

4. Representative (if any):

Mark \_\_\_\_\_ Beaudry \_\_\_\_\_  
 a. First Name b. Last Name

Civilworks New England \_\_\_\_\_  
 c. Company

P.O. Box 161 \_\_\_\_\_  
 d. Street Address

Turners Falls \_\_\_\_\_ MA \_\_\_\_\_ 01376  
 e. City/Town f. State g. Zip Code

(413) 325-3384 \_\_\_\_\_ --- \_\_\_\_\_ mbeaudry@civilworksne.com  
 h. Phone Number i. Fax Number j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$1,050.00 \_\_\_\_\_ \$512.50 \_\_\_\_\_ \$537.50 plus \$150.00 (bylaw)  
 a. Total Fee Paid b. State Fee Paid c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Watertown
City/Town

**A. General Information (continued)**

6. General Project Description:

Construction of site improvements around 25 Clarendon building including removal of existing pavement and replacement with landscape area and a generator yard and transformer (concrete pads surrounded by stone). Addition of landscape islands, curbing and striping to create a driveway opening and designated parking spaces.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex

a. County

69562

c. Book

b. Certificate # (if registered land)

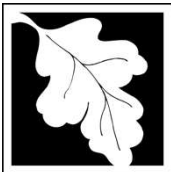
465

d. Page Number

**B. Buffer Zone & Resource Area Impacts (temporary & permanent)**

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 - Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Table with 3 columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Bank, Bordering Vegetated Wetland, and Land Under Waterbodies and Waterways.

Table with 3 columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Bordering Land Subject to Flooding and Isolated Land Subject to Flooding.

f. [X] Riverfront Area Unnamed (inlet to Sawin's Pond) - Inland
1. Name of Waterway (if available) - specify coastal or inland

2. Width of Riverfront Area (check one):

- [ ] 25 ft. - Designated Densely Developed Areas only
[ ] 100 ft. - New agricultural projects only
[X] 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 14,631 +/- square feet

4. Proposed alteration of the Riverfront Area:

2,883 +/- a. total square feet 50 +/- b. square feet within 100 ft. 2,833 +/- c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? [X] Yes [ ] No

6. Was the lot where the activity is proposed created prior to August 1, 1996? [X] Yes [ ] No

3. [ ] Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete Section B.2.f. above.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_

a. square feet of BVW

\_\_\_\_\_

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

\_\_\_\_\_

a. number of new stream crossings

\_\_\_\_\_

b. number of replacement stream crossings



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

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**C. Other Applicable Standards and Requirements**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

**Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review**

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program**  
**Division of Fisheries and Wildlife**  
**1 Rabbit Hill Road**  
**Westborough, MA 01581**

MassGIS

b. Date of map \_\_\_\_\_

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_

percentage/acreage

(b) outside Resource Area \_\_\_\_\_

percentage/acreage

2.  Assessor's Map or right-of-way plan of site

2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection  
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**C. Other Applicable Standards and Requirements (cont'd)**

(c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).  
Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

c.  Is this an aquaculture project?      d.  Yes     No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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MassDEP File Number

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Document Transaction Number

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Watertown

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City/Town

**Online Users:**  
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- 
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

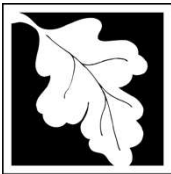
**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

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Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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City/Town

**D. Additional Information (cont'd)**

- 3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4.  List the titles and dates for all plans and other materials submitted with this NOI.
 

<u>Site Plan, 25 Clarendon Street, Watertown, MA</u>	
a. Plan Title	
<u>Civilworks New England</u>	<u>Mark E. Beaudry</u>
b. Prepared By	c. Signed and Stamped by
<u>September 15, 2025</u>	<u>1" = 20'</u>
d. Final Revision Date	e. Scale
<u>Stormwater Management Narrative (in NOI)</u>	<u>09/17/25</u>
f. Additional Plan or Document Title	g. Date
- 5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8.  Attach NOI Wetland Fee Transmittal Form
- 9.  Attach Stormwater Report, if needed.

**E. Fees**

- 1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>7824 (and 7823 bylaw)</u>	<u>09/17/25</u>
2. Municipal Check Number	3. Check date
<u>7825</u>	<u>09/17/25</u>
4. State Check Number	5. Check date
<u>Civilworks New England</u>	---
6. Payor name on check: First Name	7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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MassDEP File Number

---

Document Transaction Number

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Watertown

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City/Town

**F. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

Daniel C Lapine

1. Signature of Applicant

9/16/25

2. Date

3. Signature of Property Owner (if different)

David F. Valchert

9-17-25

4. Date

5. Signature of Representative (if any)

MEB

Civilworks  
New England

9/17/25

6. Date

**For Conservation Commission:**

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

**For MassDEP:**

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

**Other:**

If the applicant has checked the “yes” box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



## A. Applicant Information

### 1. Location of Project:

25 Clarendon Street

a. Street Address

Watertown

b. City/Town

c. Check number

d. Fee amount

### 2. Applicant Mailing Address:

Daniel

a. First Name

Lepine

b. Last Name

Comcast New England Division

c. Organization

5 Omni Way

d. Mailing Address

Chelmsford

e. City/Town

MA

f. State

01824

g. Zip Code

978-848-5063

h. Phone Number

---

i. Fax Number

Lepine, Dan <Dan\_Lepine@comcast.com>

j. Email Address

### 3. Property Owner (if different):

David

a. First Name

Valchuis

b. Last Name

Red Coat Realty LLC

c. Organization

P.O. Box 540045

d. Mailing Address

Waltham

e. City/Town

MA

f. State

02454

g. Zip Code

617-293-4236

h. Phone Number

---

i. Fax Number

dvalchuis@necs-inc.com

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

## B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**NOI Wetland Fee Transmittal Form**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 3 - Site Prep. for Development	1	\$1,050	\$1,050

**Step 5/Total Project Fee:** \$1,050

**Step 6/Fee Payments:**

Total Project Fee:	\$1,050.00
	a. Total Fee from Step 5
State share of filing Fee:	\$512.50
	b. 1/2 Total Fee less \$12.50
City/Town share of filing Fee:	\$537.50 (+ \$150 bylaw)
	c. 1/2 Total Fee plus \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
Box 4062  
Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



City of Watertown  
 Administration Building  
 149 Main Street  
 Watertown, Massachusetts 02472  
**Conservation Commission**  
 Tel: (617) 972-6426 • Fax: (617) 972-6484

**WATERTOWN WETLANDS ORDINANCE**  
**Application for Permit/Determination**

**Application for:**

- Request for Determination of Applicability     Notice of Intent  
 Other

Owner	David Valchuis	Applicant	Daniel Lepine
Name	Red Coat Realty LLC	Name	Comcast New England Division
Street	P.O. Box 540045	Street	5 Omni Way
City	Waltham	City	Chelmsford
State	MA	State	MA
Zip	02454	Zip	01824
Phone	617-293-4236	Phone	978-848-5063
e-mail	dvalchuis@necs-inc.com	e-mail	Dan_Lepine@comcast.com

*\*Name(s) and address(s) under which title of property is recorded at Registry of Deeds.*

1. Location of site where work is proposed: 25 Clarendon Street
- 

Town of Watertown Assessor’s Information:

Map: 1510 Lot: 5A Block: 0

2. Briefly describe the proposed work:

Construction of site improvements around 25 Clarendon building  
including removal of existing pavement and replacement with  
landscape area and a generator yard and transformer (concrete  
pads surrounded by stone). Addition of landscape islands,  
curbing and striping to create a driveway opening and designated  
parking spaces.

3. Are there any impediments to accessing the site?     No     Yes

If yes, what are they (fence, dog, topography, etc.):

None

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If yes, what arrangements have been or will be made to ensure that the Conservation Commission members and designated representatives have safe and easy access to the site?

N/A

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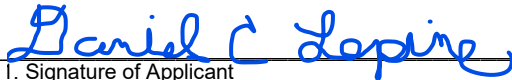
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6. Do you understand that notification of this application and the Public Hearing will be published in a newspaper of local circulation at your expense? Please check-off appropriate box:  Yes  No
7. How much is the filing fee, for this project, under the local ordinance? And under the Wetlands Protection Act?
- \$ 150.00  
(See Fee Schedule). Make check payable to the Town of Watertown.
- \$ 537.50  
(See NOI Wetland Fee Transmittal Form wpaform3.doc) Make check payable to the Watertown Conservation Commission)

I hereby certify, under the pains and penalties of perjury, that the contents of this application are true and complete.

Signature of Applicant:

  
i. Signature of Applicant

Date: 9/17/25

By signing this application the owner grants permission to the Conservation Commission for its members and designated representative to enter upon the premises of the site.

Signature of Owner:

\_\_\_\_\_  \_\_\_\_\_

Date: 9-17-25

**Waiver**

If the next regular meeting of the Conservation Commission is not within 21 days of submission of this filing, or if the agenda for the next regular meeting is full, I waive the 21 day requirement and agree to a later date for this Hearing no later than the next regular scheduled meeting or 30 days from the date of the filing a complete application (whichever is less).

Signature of Applicant:

\_\_\_\_\_  \_\_\_\_\_ Civilworks New England

Date: 9/17/25



**City of Watertown**  
 Administration Building  
 149 Main Street  
 Watertown, Massachusetts 02472  
**Conservation Commission**  
 Tel: (617) 972-6426 • Fax: (617) 972-6484  
 Daniel

## WATERTOWN WETLANDS ORDINANCE Fee Calculation and Transmittal Form

Owner	David Valchuis	Applicant	
Name	Red Coat Realty LLC	Name	Comcast New England Division
Street	P.O. Box 540045	Street	5 Omni Way
City	Waltham	City	Chelmsford
State	MA	State	MA
Zip	02454	Zip	01824
Phone	617-293-4236	Phone	978-848-5063
e-mail	dvalchuis@necs-inc.com	e-mail	Dan_Lepine@comcast.com

**Project Location:**

25 Clarendon Street

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Any person filing an Application for Permit/RDA/NOI pursuant to the Ordinance shall, at the same time, pay a filing fee in accordance with the Filing Fee Schedule contained in the *Rules and Regulations for the Administration of the Watertown Wetlands Ordinance of 2008*. Municipal agencies are exempt from this requirement.

**A. Fee Schedule:**

Project Size	Fees
Less than 1,000 sq. ft	\$50.00
1,000 sq. ft. to less than 2,000 sq. ft.	\$100.00
2,000 sq. ft. to less than 3,000 sq. ft.    2,753 +/- SF	\$150.00
3,000 sq. ft. to less than 4,000 sq. ft.	\$200.00
4,000 sq. ft. to less than 5,000 sq. ft.	\$250.00
5,000 sq. ft. to less than 6,000 sq. ft.	\$300.00
6,000 sq. ft. to less than 10,000 sq. ft.	\$400.00
10,000 sq. ft. to less than 15,000 sq. ft.	\$500.00
15,000 sq. ft. to less than 20,000 sq. ft.	\$650.00
20,000 sq. ft. to less than 30,000 sq. ft.	\$750.00
30,000 sq. ft. to less than 50,000 sq. ft.	\$850.00
50,000 sq. ft. or greater	\$1000.00

**Project Fee**

\$150 (in addition to WPA fee)

## Fee Exemption

The Commission may waive the filing fee for an Application or Request for Determination filed by a government agency, for an RDA filed by a person having no financial connection with the subject property, for any projects whose sole effect is to substantially enhance a Resource Area, or for other reasonable grounds as determined by the Commission at its discretion.

Not Applicable

---

Grounds for Exemption (to be filled out by CC staff)

Signature of Owner or Applicant:

Daniel C Lapine  
1. Signature of Applicant

Date:

9/17/25

Enclose this form with a check or money order for the calculated amount payable to the Town of Watertown with the Application for Permit or Request for Determination of Applicability. These fees are non-refundable.

Please note this payment does not relieve the Applicant from the further fee requirements as stated in the Wetlands Protection Act Regulations MGL Chapter 44, Section 53G.

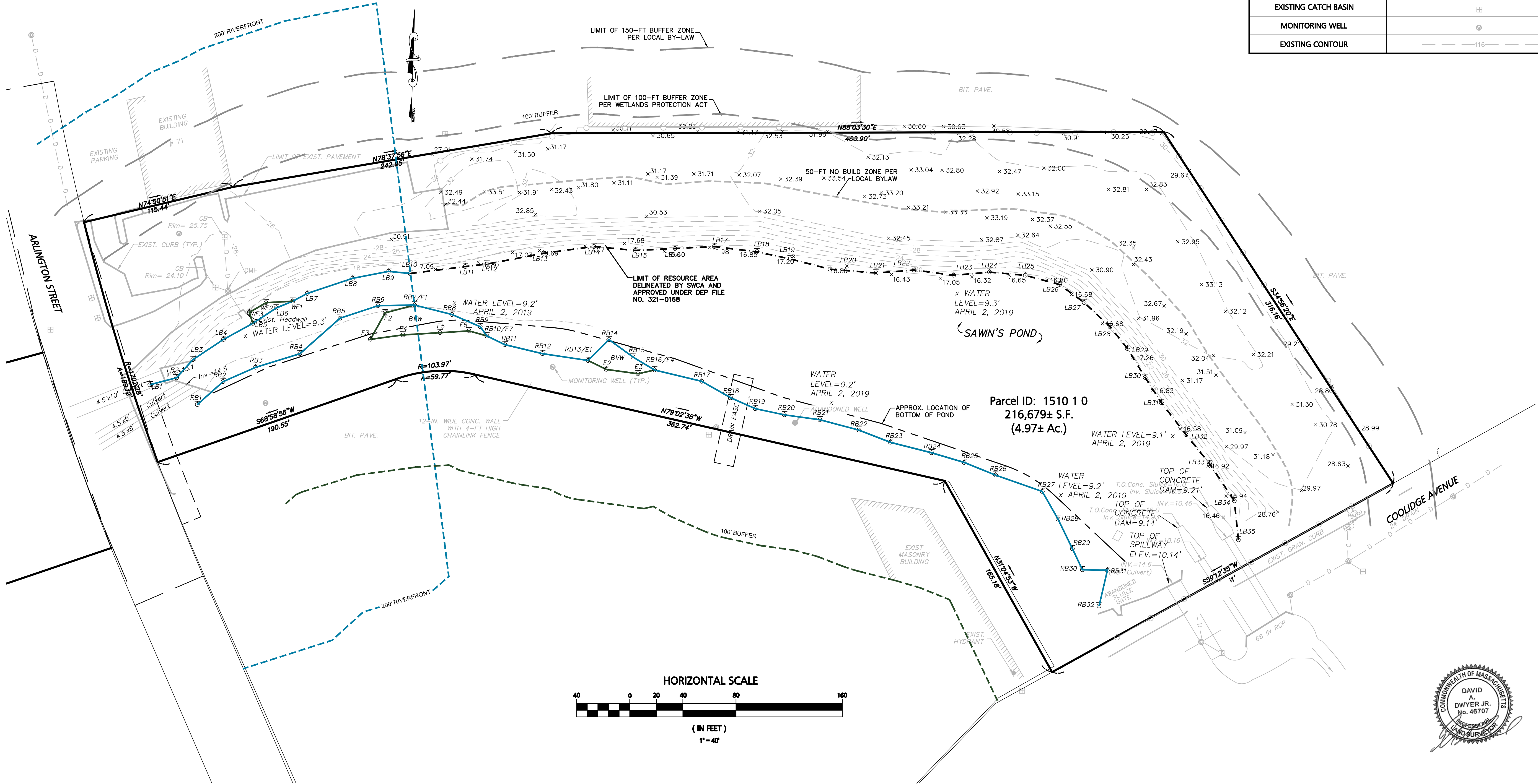
25 Clarendon Street, Watertown, MA



9/10/2025

- Normal Index Contours
  - Normal Intermediate Contours
- Layers
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3

USGS The National Map: 3D Elevation Program. Data Refreshed June, 2025., USGS The National Map: National Boundaries Dataset, 3DEP



- NOTES:**
- EXISTING CONDITIONS INFORMATION OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY OTTE & DWYER, INC. ON MARCH 11, 2009. PERIMETER OBTAINED FROM PLANS ENTITLED: "PLAN OF LAND ARLINGTON STREET AND COOLIDGE AVENUE WATERTOWN, MA., BY LEBARON ASSOC. INC. DATED 8/31/89" AND "SITE PLAN OF LAND IN WATERTOWN, MA. MAXIMOS HATZILIADIS & SAVVAS ILIADIS BY VTYP ASSOC INC. DATED 4/10/95."
  - PLAN REFERENCES:  
 LAND COURT 71739 C  
 PLAN #313 - 1957, BK 8920 PG 290  
 PLAN #404 - 1943, BK 6708 PG 1  
 CLARENDON ST LAYOUT OF: 2/15/1930  
 PLAN # 848 - 1973, BK 12475 PG 83  
 COOLIDGE AVE 1972 LAYOUT  
 ARLINGTON ST 1933 RELOCATION
  - DEED REFERENCE:  
 BK 15106 PG 271

LEGEND - EXISTING CONDITIONS PLAN	
EXISTING PROPERTY LINE	---
200-FT RIVERFRONT AREA	----
150-FT BUFFER (LOCAL BY-LAW)	----
100-FT BUFFER (WPA)	----
50-FT NO BUILD (LOCAL BY-LAW)	----
WETLAND	----
EXISTING CURB	----
EASEMENT	----
EXISTING FENCE	----
DRAINAGE CHANNEL	----
EXISTING BUILDING	----
EXISTING SEWER MANHOLE	⊙
EXISTING SEWER LINE	- S - S - S - S - S - S - S -
EXISTING DRAIN MANHOLE	⊙
EXISTING DRAIN LINE	- D - D - D - D - D - D - D -
EXISTING HYDRANT	⊙
EXISTING CATCH BASIN	⊙
MONITORING WELL	⊙
EXISTING CONTOUR	---116---

**Engineering Alliance, Inc.**  
 Civil Engineering & Land Planning Consultants  
 194 Central Street  
 Portsmouth, NH 03801  
 Tel: (603) 610-7100  
 Fax: (603) 610-7101

**Proposed Site Plan**  
 Arlington Street & Coolidge Avenue  
 Watertown, Massachusetts

DATE: August 5, 2022  
 PROJECT #: 09-27801  
 SCALE: As Noted  
 DWG FILE NAME: 09-27801sawin.dwg  
 CHECKED BY: Richard A. Salvo, P.E.

**Maximos Hatziliades**  
 71 Arlington Street  
 Watertown, MA 02472

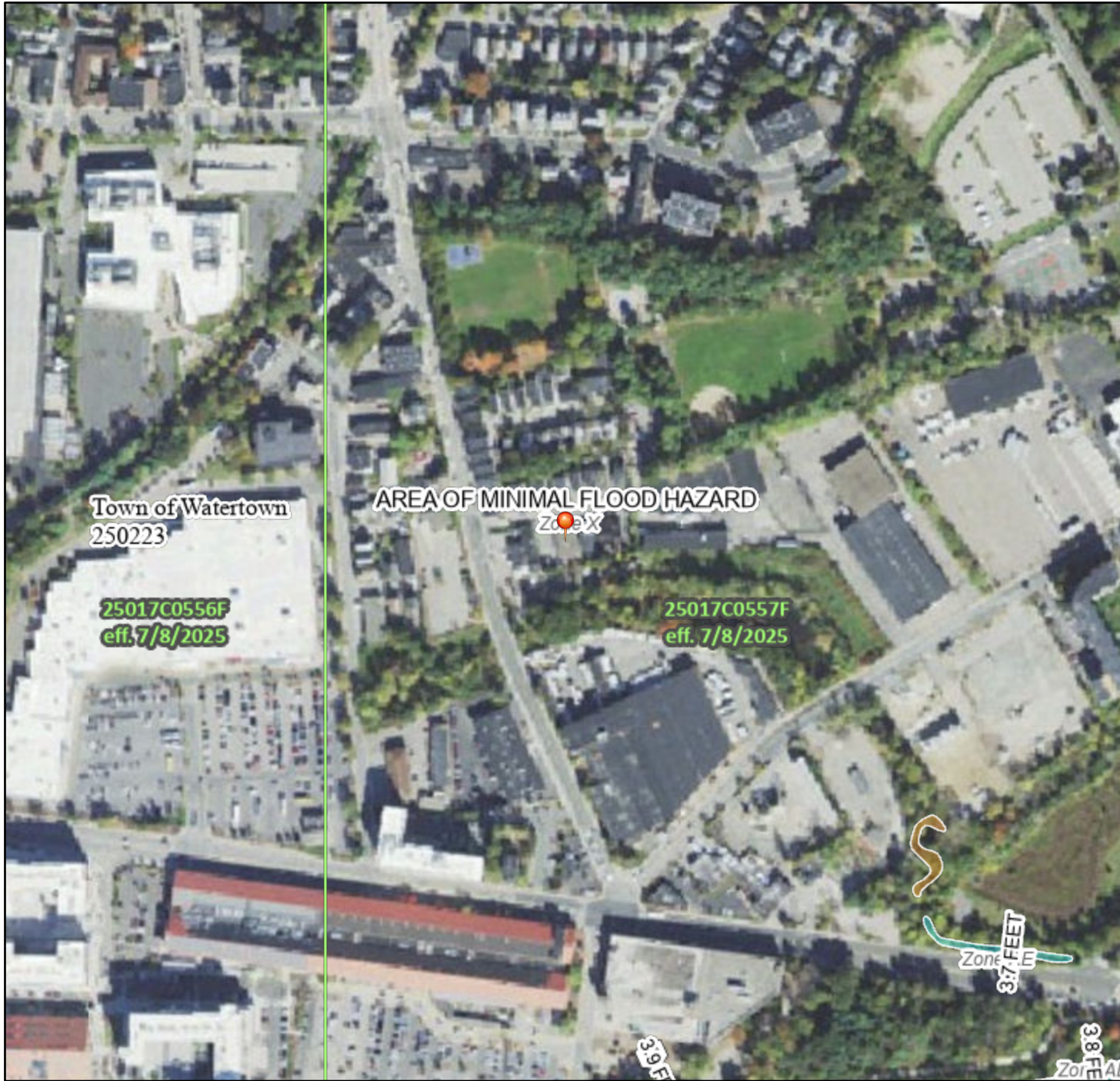
**David A. Dwyer, Jr.**  
 Professional Land Surveyor  
 No. 46707

**Existing Conditions**  
 1 of 5  
 Plan

# National Flood Hazard Layer FIRMMette



71°9'33"W 42°22'7"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	
	20.2 Cross Sections with 1% Annual Chance
	17.5 Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
MAP PANELS	
	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/8/2025 at 5:54 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

0 250 500 1,000 1,500 2,000 Feet 1:6,000

71°8'56"W 42°21'41"N

Basemap Imagery Source: USGS National Map 2023

## **PROJECT NARRATIVE**

25 Clarendon Street, Watertown, MA

September 17, 2025

### **Site/Resource Area Description**

The subject parcel is located on the westerly portion of the 29,760 ± SF property containing the existing 25 Clarendon, 39 Clarendon and 49 Clarendon Street buildings/uses. The site location is shown on the enclosed USGS locus map figure.

The property is covered predominantly by impervious building and pavement with the exception of a narrow strip of vegetated area along the westerly boundary (behind the building at 71 Arlington Street) that is approximately 549 ± SF (out of the total parcel area). There is very little topographic change across the parcel. Please refer to stormwater section below regarding existing drainage conditions on the property.

An ORAD established under DEP file no. 321-0186 established the Resource Areas associated with the area to the south that also establish the jurisdictional areas on the subject property. This ORAD, which is still in effect, results in the following:

- Buffer Zone associated with the Bordering Vegetated Wetlands (BVW) associated with Sawin's Pond to the south. Of the 29,760 ± SF property, 3,159 ± SF is within the Buffer Zone.
- A portion of the property, approximately 15,572 ± SF, is located within the Watertown Bylaw's 150 foot Buffer Zone.
- Riverfront Area (RA) also encompasses much of the property. This RA is associated with an unnamed perennial stream to the southwest which passes through box culverts under Arlington Street into Sawin's Pond and the adjacent BVW. Of the 29,760 ± SF property, 14,631 ± SF is within the RA. Of this total, approximately 1,740 ± SF, is located within the inner 100 foot RA.

Bordering Land Subject to Flooding (BLSF) does not exist on the property according to the FEMA FIRMette that is enclosed.

According to MassGIS, the project site is not located within an Estimated Habitat of Rare Wetlands Wildlife or Priority Habitat as determined by reference to the most recently available data provided by the Mass. Division of Fisheries and Wildlife – Natural Heritage and Endangered Species Program.

### **Project Description**

The applicant, Comcast, is proposing to construct a *Broadband Digital Equipment Center* (BDEC) within the existing building at 25 Clarendon Street along with associated site improvements. The use will be under a long-term lease arrangement. These BDEC facilities are a necessity to provide internet service to Comcast's customers and deployment at this location will support the continual growth of residential, commercial and City broadband availability, video, and life

safety communication (E-911) services to the area by connecting the public to its network equipment.

The building exterior will remain as-is architecturally and no expansions or additions are proposed. The building will be supported by a new diesel generator that will be installed within a sound-protective enclosure on a concrete pad surrounded by stone. Additional space is provided for a mobile generator to be brought in as a backup while allowing for a second permanent generator installation (and enclosure) to be installed if warranted in the future. The building will also be supported by new roof-top equipment.

The facility will be connected, via underground conduit, to the existing fiber optic network located on existing utility poles on the east side of Arlington Street; a portion of which is located in the outer RA along Arlington Street.

All work is proposed within previously altered/developed Riverfront Area and Buffer Zones.

To construct the site improvements, pavement will be removed to create the generator yard (1,218 ± SF), new landscape areas (1,360 ± SF) and install underground fiber conduit (175 ± SF in RA) along Arlington Street. The generator yard will have two concrete generator pads within it along with a small transformer pad, with the pads being surrounded by stone. Also a new section of sidewalk (130 ± SF) is proposed along Clarendon Street. The net reduction in impervious area; that is, the increase in pervious area, is approximately 2,150 ± SF. Importantly, the total non-impervious area is proposed to increase to approximately 2,700 ± SF including the existing area along the west property line. This new total is 9.1 percent of the lot area, which is approaching the 10 percent open space stipulated for new construction in this zoning district.

Approximately 1,268 ± SF of work is proposed within Watertown's 150 foot Buffer Zone to create the generator yard and part of the new landscape area. Out of this total, only a very small area of work totaling less than 50 SF is proposed within the 100 foot Buffer Zone to create the new landscape area.

The generator is powered by fuel contained within a double walled steel "belly tank" that has leak detection in the interstitial space. If any fluids are detected within space, alarm signals are activated.

All surplus excavated material from the pavement removal operation will be removed from the project site for proper off-site disposal.

### **Alternative Analysis**

1. The proposed generators could be moved further north towards Clarendon Street, but this would locate them closer to the residences across the street. Besides blocking the building entrance doors, this would also then require the parking spaces to be located closer to the Sawin's Pond related Resource Areas.
2. The "no build" alternative is not feasible in that the applicant cannot occupy the building and operate the BDEC without the proposed site improvements. The "no build"

scenario will also result in no reduction of impervious surfaces which of course results in no “greening” of the present site.

### **Stormwater Report, Erosion and Sediment Control and Other Mitigation Measures**

The property is predominantly impervious building and pavement with the exception of a narrow strip of vegetated area along the westerly boundary behind the building at 71 Arlington Street. Stormwater runoff from the 25 Clarendon Street building roof drains is conveyed by a drain pipe to a manhole on the west side of the building. Runoff from the paved areas on the west side of the building enter a catch basin in the middle of the paved area that discharges to that same manhole. Collected runoff then flows out of the manhole via a 6” drain pipe towards the Clarendon Street drainage system. Runoff from paved areas on the north side of the building currently sheet flows to a catch basin in Clarendon Street. Lastly, runoff from the southern side of the building and southwestern corner of the paved area sheet flows off the paved area onto the abutting property to the south.

As proposed, this project will reduce/mitigate runoff by *decreasing runoff* and *increasing recharge and water quality* by the replacement of impervious coverage with the proposed pervious landscape areas between the building and Clarendon Street and in the southwest corner of the property. Plus, the addition of the “stone yard” around the generators will further reduce impervious area to enhance recharge. These measures can be considered “low impact development” best management practices.

The Resource Areas, Buffer Zone and catch basin will be protected from erosion and sedimentation through implementation of compost socks around all disturbed areas and provision of silt sacks in the catch basin inlets.

The proposed landscape areas will be loamed and seeded and stabilized.

In summary, the project as proposed will result in no negative impact to the surrounding area and Resource Area and Buffer Zone functions and values. As designed, the site will actually result in a *measurable improvement* to the property.



**CITY OF WATERTOWN**  
**BOARD OF ASSESSORS**  
Administration Building  
149 Main Street  
Watertown, Massachusetts 02472-4410

EARL L. SMITH, CHAIR  
RICHARD V. MOYNIHAN  
KATHLEEN COLLEARY

TELEPHONE (617) 972-6410  
FAX (617) 972-6497

**ABUTTERS CERTIFICATION**

In consideration of the request for a certified abutters list, the Watertown Board of Assessors hereby certifies for the property located at:

49 CLARENDON STREET, WATERTOWN, MA 1510 5A 0  
Location Parcel #

That the record of owner and mailing addresses as outlined in this email attached hereto specifies the abutters to the subject locus property. This is for Watertown Properties only.

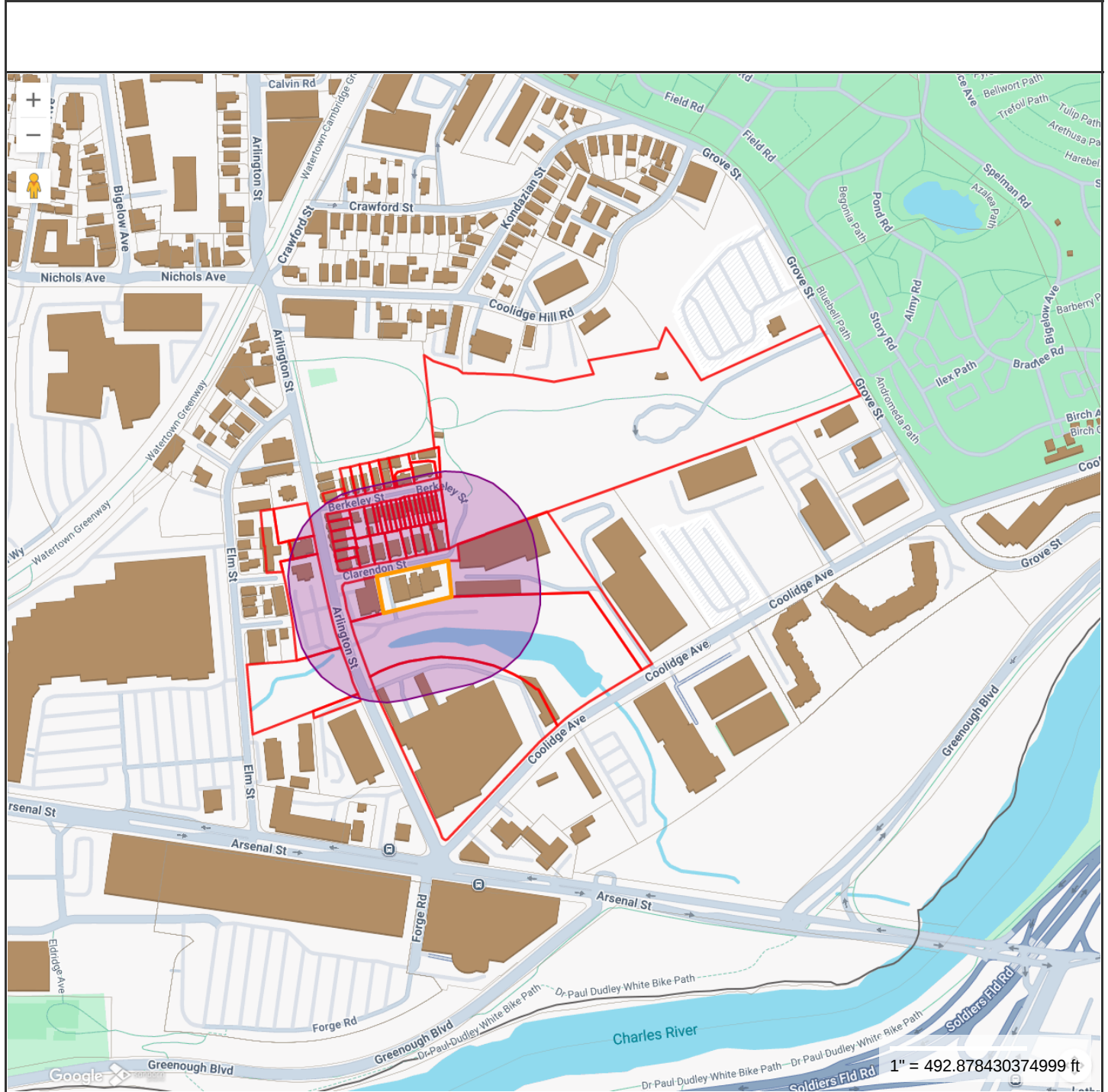
Per Massachusetts General Laws Chapter 40A, Sub Section 11:

For purposes of notification, "Parties in interest" as used in this chapter shall mean the petitioner, abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within three hundred feet of the property line of the petitioner as they appear on the most recent applicable tax list.

The above record is herein certified based upon an examination of the most recent list of property owners for the City of Watertown.

By: [Signature]  
Earl L. Smith  
Chairman, Board of Assessors

Date: 9/8/2025



**Property Information**

Property ID	1510 5A 0
Location	49 CLARENDON ST
Building Value	1,098,800
Land Value	908,100
Total Value	2,038,900



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Watertown, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated August 2025  
Data updated Daily

Print map scale is approximate.  
Critical layout or measurement  
activities should not be done using  
this resource.

SP 36 ARLINGTON OWNER LLC  
1236 1K 0  
275 WASHINGTON ST 3RD FLOOR  
NEWTON, MA 02458

NSTAR ELECTRIC COMPANY  
1237 29D 0  
P O BOX 270  
HARTFORD, CT 06141

BUSA ROBERT E.  
1237 2A 65  
30 MALLARD WAY  
WALTHAM, MA 02154

MASREAL CO INC  
1237 2B C  
55 GLENLAKE PKWY NE  
ATLANTA, GA 30328

10 MUNROE LLC  
1237 32F 0  
10 MUNROE AVENUE  
WATERTOWN, MA 02472

WATERTOWN, TOWN OF FILIPPELLO PARK  
1507 1B 0  
149 MAIN ST  
WATERTOWN, MA 02472

MASREAL COMPANY INC  
1509 1 0  
55 GLENLAKE PKWY NE  
ATLANTA, GA 30328

HATZIILIADES MAXIMOS  
1510 1 0  
5 MADISON ST  
BELMONT, MA 02478

HATZIILIADES MAXIMOS TRUSTEE  
1510 3 0  
5 MADISON ST  
BELMONT, MA 02478

TANCREDO SILVIO  
1511 15 48  
44 CLARENDON ST  
WATERTOWN, MA 02472

PIRZADA VAZEER  
1511 17 46  
5 KONDAZIAN ST  
WATERTOWN, MA 02472

PIRZADA VAZEER  
1511 18 45  
5 KONDAZIAN ST  
WATERTOWN, MA 02472

CHEN CHEN  
1511 21 42  
126 BUTTRICK LANE  
CARLISLE, MA 01741

DILIBERTO JOE P.  
1511 23 40  
25 EVERGREEN AVENUE  
WELLESLEY, MA 02482

YE WEI  
1511 25 37  
228 WASHINGTON ST  
WESTWOOD, MA 02090

BOYD, GALE M AND ERIC C. TRUSTEES  
1511 27 36  
81 ARLINGTON ST  
WATERTOWN, MA 02472

NIU XIANG  
1511 29 34  
20 REEVES RD  
BEDFORD, MA 01730

MAGUIRE ISABELLA TRUSTEE  
1511 31 33  
87 ARLINGTON ST  
WATERTOWN, MA 02472

DEDEKIAN ARMEN  
1511 32 31  
88 BROOKS AVE  
ARLINGTON, MA 02174

STIRITI MARTIN S  
1511 33A 0  
93 ARLINGTON ST #2  
WATERTOWN, MA 02472

REYNOLDS JR CHARLES  
1511 34 28  
9 BERKELEY ST  
WATERTOWN, MA 02472

BLANCHARD DOUG  
1511 36A 0  
11 BERKELEY ST  
WATERTOWN, MA 02472

PARIURY JACKIE M.  
1511 36B 0  
13 BERKELEY STREET  
WATERTOWN, MA 02472

SURRETTE, SARAH M  
1511 36C 0  
15 BERKELEY ST  
WATERTOWN, MA 02472

BRODSKY ARCHIE  
1511 36D 0  
17 BERKELEY STREET  
WATERTOWN, MA 02472

BLANCHETTE HEATHER  
1511 36E 0  
19 BERKELEY ST  
WATERTOWN, MA 02472

CASSIDY CHRISTINE  
1511 36F 0  
21 BERKELEY ST  
WATERTOWN, MA 02472

TORCHIO RALPH F  
1511 36G 0  
23 BERKELEY ST  
WATERTOWN, MA 02472

BRACCINI JANICE E  
1511 36H 0  
25 BERKELEY ST - U1  
WATERTOWN, MA 02472

SPEROS ANNA L/E  
1511 36I 0  
27 BERKELEY ST  
WATERTOWN, MA 02472

ROSATI FLORA  
1511 36J 0  
29 BERKELEY ST  
WATERTOWN, MA 02472

STENIS SYLVIE L/E  
1511 36K 0  
31 BERKELEY ST  
WATERTOWN, MA 02472

KNOLL JACOB R  
1511 36L 0  
33 BERKELEY ST  
WATERTOWN, MA 02472

37 BERKELEY ST LLC  
1511 36N 0  
38 SCHOOL ST  
ARLINGTON, MA 02476

SPEROS ANNA L/E  
1511 36O 0  
27 BERKELEY ST  
WATERTOWN, MA 02472

MA LEI  
1511 36P 0  
41 BERKELEY ST  
WATERTOWN, MA 02472

MARCHIO, VINCENT, JOHN ANGELO, NADIA  
1511 46 2  
5 SEXTON STREET  
WATERTOWN, MA 02472

ELIA DOMENICO & ANNETRUSTEE  
1511 48 1  
16 KINGSTON TR  
WALTHAM, MA 02451

WANG MIMY ZI  
1511 49D 0  
81 PROSPECT STREET  
WELLESLEY, MA 02481

DOYLE HUDSON  
1511 50C 0  
86 SUMMIT AVE  
BROOKLINE, MA 02446

THOMAS RICHARD  
1511 52 10  
135 COMMONWEALTH ROAD  
WAYLAND, MA 01778

PARIURY JACKIE M  
1511 55 8  
12 BERKELEY ST  
WATERTOWN, MA 02472

KONSTANTOPOULOS GEORGE  
1511 56 6  
12 ROGERS WAY  
WALTHAM, MA 02452

LIANOS CHRISTOPHER TRUSTEE  
1511 58 5  
57 LAURICELLA LN  
WALTHAM, MA 02452

MANNAN SHUBH  
1511 60 4  
88 LURA LANE  
WALTHAM, MA 02451

SOLARES ALDO F  
1511 28 35U1  
83 ARLINGTON ST UNIT 1  
WATERTOWN, MA 02472

MOFFITT LYLE  
1511 28 35U2  
83 ARLINGTON ST UNIT 2  
WATERTOWN, MA 02472

TANNER ALYSSA  
1511 36H 0B  
25 BERKELEY ST - U2  
WATERTOWN, MA 02472

CC&C OF WATERTOWN, LLC  
1507 5 1  
922 FLAHERTY DR  
NEW BEDFORD, MA 02745

WANG, MIMY Z.  
1511 54 9  
81 PROSPECT ST  
WELLESLEY, MA 02481

HATZIILIADES, MAXIMOS  
1236 2 0  
5 MADISON ST  
BELMONT, MA 02478

SHI, JESSICA  
1511 19 43  
30-32 CLARENDON ST  
WATERTOWN, MA 02472

GREENSPON, JACOB  
1511 36M 0  
35 BERKELEY ST  
WATERTOWN, MA 02472

## NOTIFICATION TO ABUTTERS

### WATERTOWN WETLANDS ORDINANCE MASSACHUSETTS WETLANDS PROTECTION ACT M.G.L. C. 131. §40

An Application for Permit and a Notice of Intent has been filed with the Watertown Conservation Commission seeking permission to remove, fill, dredge or alter an area subject to protection under G.L. Ch. 131. §40 and/or the Watertown Wetlands Ordinance.

The name of the Applicant is Comcast New England Region

The address of the land where the activity is proposed is 25 Clarendon Street, Watertown, MA

The work proposed is Site Improvements at Existing Building

Copies of the Application for Permit and Notice of Intent and accompanying plans may be examined at the office of the Watertown Conservation Commission, Town Hall (3<sup>rd</sup> floor), 149 Main Street, Watertown MA during regular business hours.

For more information, call (603) 749-0443 x113 or e-mail to [mbeaudry@civilworksne.com](mailto:mbeaudry@civilworksne.com)

Check one: This is the Applicant [  ], Applicant's representative [  ], or other [specify].

Copies of the Application for Permit and Notice of Intent may be obtained from either (check one) the Applicant [  ] or the Applicant's representative [  ], by calling (603) 749-0443 x113 from 9 AM to 4 PM on Monday through Friday or e-mail to [mbeaudry@civilworksne.com](mailto:mbeaudry@civilworksne.com)

Notice of the public hearing to be held Oct. 8, 2025 at 7:00 PM will be published in the Boston Globe and will be posted outside the Town Clerk's office on the first floor of the Watertown Town Hall, at least five business days in advance of the hearing.

Contact the Watertown Conservation Commission of the MA Department of Environmental Protection (DEP) Northeast Region Office for information about this Application or the Wetlands Protection Act, and the Commission regarding the Watertown Wetlands Ordinance.

Watertown Conservation Commission  
(617) 972-6426  
<http://www.watertown-ma.gov/index.aspx?nid=103>

MassDEP Northeast Region Office  
(978) 694-3200  
<http://www.mass.gov/dep/>

**AFFIDAVIT OF SERVICE**

**Under the Massachusetts Wetlands Protection Act**

I, Mark Beaudry of Civilworks New England hereby certify under the pains and penalties of perjury that on September 19, 2025 I gave notification to abutters in compliance with the second paragraph of the Massachusetts General Laws, Chapter 131, Section 40 and the DEP Guide to Abutter Notification in connection with the following

matter: Construction of site improvements including removal of existing pavement and replacement with landscape area and a generator yard and transformer. Addition of landscape islands, curbing and striping to create a driveway opening and designated parking spaces.

A(n) Notice of Intent application was filed under the Massachusetts Wetlands Protection

Act by Comcast with the Watertown Conservation Commission

September 17, 2025 for a property located at 25 Clarendon Street, Watertown.

The form of notification and the list of abutters to whom it was given and their addresses are attached to this Affidavit of Service.



*signature*

9/17/25

*date*



# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

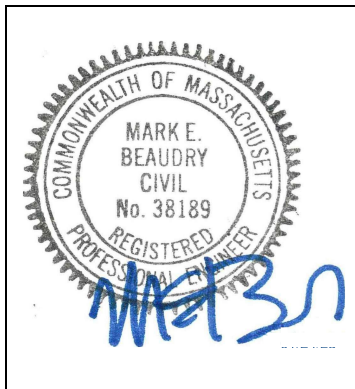
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



09-18-25

Signature and Date

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



# Checklist for Stormwater Report

---

## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): Existing catch basin surrounded by stone (currently in paved area)

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Calculations are for reduction of impervious area resulting in open space on site of 9.1 percent of the lot area, which is approaching the 10 percent open space stipulated for new construction in this zoning district.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable. **Redevelopment Project - Recharge enhanced by increase in pervious area.**
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

---

<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design **Credits**.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.  
**Site/Project is not a LUHPPL and less than one acre.**
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.

**Not a Critical Area**



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
  - Redevelopment Project
  - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit. **Site/Project is less than one acre.**
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

**Responsible party is building leasee and is responsible for O&M of their equipment.**

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

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181 WATSON ROAD - P.O. BOX 1166, DOVER, NH 03821  
P.O. BOX 161, TURNERS FALLS, MA 01376

## **Stormwater Management Operation and Maintenance Plan**

### ***25 Clarendon Street - Comcast Site Improvements***

In accordance with Standard 9 of the Massachusetts Department of Environmental Protection Stormwater Handbook, the attached on-site maintenance program for stormwater related aspects of the proposed site improvement project for Comcast's leasing of the 25 Clarendon Street building and the immediately surrounding site for its Broadband Digital Equipment Center (BDEC). This plan does not relate to other buildings or uses/lessees on the property which Comcast does not have any control over.

The Plan contains both construction period operations and maintenance as well as post construction responsibilities.

**Operator:**

**Comcast New England Region**

5 Omni Way  
Chelmsford, MA

**Owner:**

**Red Coat Realty LLC**

P.O. Box 540045  
Waltham, MA 02454

### **Construction Period Operation and Maintenance**

**Responsible Party During Post Construction:**

Operation and maintenance of these systems will be the responsibility of the site contractor until Comcast takes over the BDEC site area as qualified above.

**Erosion Control Barrier:**

Compost filter socks (such as "Filtrex Sox"), or approved equal, shall be installed in the existing catch basin next to the generator yard and in other appropriate locations where warranted. These barriers shall be installed prior to the commencement of any work on site and in accordance with the construction plans. A supply of erosion control barrier materials shall be kept on site to replace and/or repair barriers that are damaged or degraded. The barriers shall be observed and maintained as necessary on a weekly basis and after every rainfall event of 0.25 inches or more during construction.

**Catch Basin Protection:**

Temporary catch basin protection barriers consisting of compost filter socks and a Silt Sack will be placed around and in all constructed inlets to prevent inflow of sediment into the existing drainage systems. The barriers shall remain in place until a permanent cover is established or diversions away from the catch basin are constructed. The barrier shall be observed and maintained as necessary on a weekly basis and after every rainfall event of 0.25 inches or more. If inspection identifies the presence of hydrocarbons, these materials shall be immediately removed and disposed of in accordance with applicable local, state and federal guidelines and regulations.

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## **Diversions:**

Temporary diversion swales and mounds will be constructed to divert stormwater away from areas under construction to limit sediment transport. These diversions will be relocated as construction progresses. Compost filter socks shall be installed in the centerline of swales where necessary to reduce storm velocities and soil erosion.

## **Sediment Traps:**

Temporary sediment traps shall be utilized to limit sediment transport off-site. These traps will be sized according to Massachusetts DEP and US EPA guidelines and will be relocated as construction progresses.

## **Surface Stabilization:**

The surface of all disturbed areas shall be stabilized during and after construction. Temporary measures shall be taken during construction to prevent erosion and siltation. All finished surfaces shall be stabilized with finish materials or permanent vegetative cover. Some or all of the following measures will be utilized on this project as conditions may warrant.

- Temporary Seeding
- Temporary Mulching
- Permanent Seeding
- Placement of Sod
- Hydroseeding
- Placement of Hay
- Placement of Jute Netting

## **Spill Control:**

A contingency plan to address the spillage/release of petroleum products and any hazardous materials will be implemented for the site during construction. The plan will include the following measures:

- Equipment necessary to quickly attend to inadvertent spills or leaks shall be maintained on-site in a secure but accessible location. Such equipment will include, but not be limited to, the following: urethane drain cover seals (mats), a spill containment kit which includes sand and shovels, suitable absorbent materials, storage containers, safety goggles, chemically resistant gloves and overshoe boots, water and chemical fire extinguishers, and first aid equipment.
- Spills or leaks will be treated properly according to material type, volume of spillage and location of spill. Mitigation will include preventing further spillage, containing the spilled material in the smallest practical area, removing spilled material in a safe and environmentally friendly manner, and remediating any damage to the environment.
- The contractor shall be familiar with the reporting requirements of the Massachusetts Contingency Plan (310 CMR 40.00) as issued by the Massachusetts Department of Environmental Protection (DEP); specifically Subpart C Notification of Releases and

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Threats of Release of Oil and Hazardous Materials and Subpart D Preliminary Response Activities and Risk Reduction Measures.

- For any large spills, Massachusetts DEP Hazardous Waste Incident Response Group will be notified immediately at (617) 792-7653 and an emergency response contractor will be called in.

## **Long-Term Operation and Maintenance**

### **Responsible Party Post Construction:**

Comcast New England Division for stormwater related aspects of the proposed site improvement project for the 25 Clarendon Street building and the immediately surrounding site for its BDEC. This plan does not relate to other buildings or uses/lessees on the property which Comcast does not have any control over.

The following on-site maintenance program for the stormwater management system on the Comcast lease area is proposed in order to keep the existing stormwater management systems functioning properly. These measures will also help to minimize potential environmental impacts to the local wetland resource areas and adjacent properties, such as erosion or sedimentation. Operation and maintenance of these systems will be the responsibility of the site contractor initially, then Comcast as qualified above. The basis of the on-site plan follows:

### **Pavement Sweeping:**

Sweeping has been shown to be an effective initial treatment for reducing contaminants in stormwater runoff. Sweeping is not required to meet TSS removal goals in this case, but should be performed in the spring to remove winter accumulations.

### **Catch Basin:**

The catch basin next to the generator yard shall be observed a minimum of four times per year and at the end of the foliage and snow removal seasons. Accumulated sediment in catch basin shall be removed four times per year or whenever the depth of deposits reaches a level that is two feet below the outlet. The stormwater manhole that the catch basin discharges to shall be observed regularly to confirm no sediment carry-over. Sediment, when required to be removed, shall be transported off site and disposed of in accordance with applicable local, state and federal guidelines and regulations.

### **Snow Removal:**

#### **Site Preparation and Maintenance**

Carefully select on-site snow storage areas before the winter begins. Snow that is removed from pavement surfaces within Comcast' sparking area shall then be stored in appropriate storage areas.

# **CIVILWORKS NEW ENGLAND**

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The following maintenance measures should be undertaken for Comcast site related snow disposal areas:

- Avoid disposing of snow on top of storm drain catch. Snow combined with sand and debris may block a storm drainage system, causing localized flooding. Also avoid disposing of snow along brook as a high volume of sand, sediment, and litter released from melting snow also may be quickly transported into surface waters.
- Debris should be cleared from the site prior to using the site for snow disposal.
- Debris should be cleared from the site and properly disposed of at the end of the snow season and no later than May 15.
- If capacity of on-site disposal areas have been exhausted, snow will be removed from the site in accordance with MA DEP policies.

## **De-icing:**

The use of Sodium Chloride (“rock salt”) for de-icing of paved surfaces shall be prohibited. Calcium and magnesium based deicers shall be allowed; however, sand will be the primary icing control agent.

## **Fertilizer:**

Slow release organic fertilizers will be used in landscape areas to limit nutrient transport to groundwater and wetland areas in the vicinity. Application will be limited to 3 lbs. per 1000 square feet of lawn area.

## **Waste Management:**

Solid waste will be contained within waste receptacles for pick up by Comcast technicians or by a privately contracted waste hauler. Waste deposition in receptacles will be consistent with state and local permits. The covers and doors of trash containers will be kept closed to limit rainwater and pest intrusion.

## **Spill Control:**

A contingency plan to address the spillage/release of petroleum products and any hazardous material will be implemented for the Comcast facility. The plan will include the following measures:

- Spills or leaks will be treated properly according to material type, volume of spillage and location of spill. Mitigation will include preventing further spillage, containing the spilled material in the smallest practical area, removing spilled material in a safe and environmentally friendly manner, and remediating any damage to the environment.
- Urethane drain cover seals (“mats”) will be kept on-site to be placed over the grate of the catch basin to assist with the prevention of flow from entering the drainage system in the event of a spill. These should be kept in an easily accessible on-site location.
- In the event of any hazardous material spill, clean up shall occur immediately by a licensed liquid waste hauler.
- The owner shall be familiar with the reporting requirements of the Massachusetts Contingency Plan (310 CMR 40.00) as issued by the Massachusetts Department of

## **CIVILWORKS NEW ENGLAND**

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Environmental Protection (DEP); specifically Subpart C Notification of Releases and Threats of Release of Oil and Hazardous Materials and Subpart D Preliminary Response Activities and Risk Reduction Measures, as well as any notification requirements for the Wellesley Fire Department.

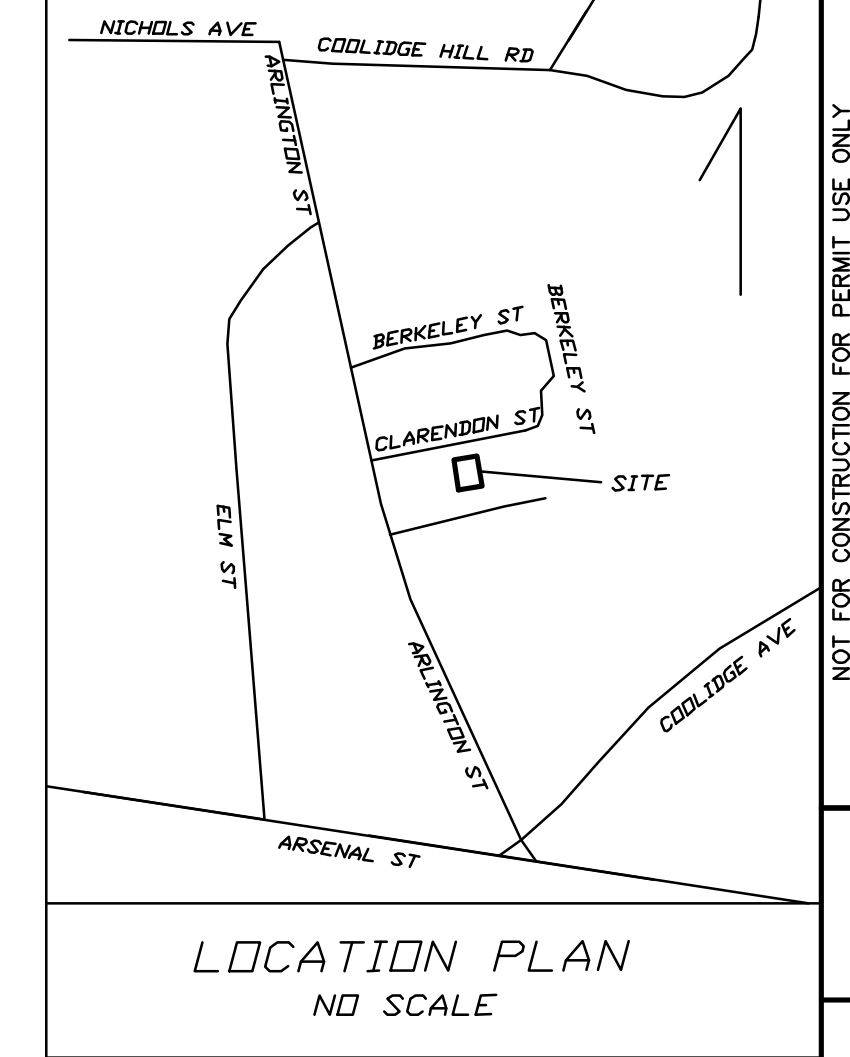
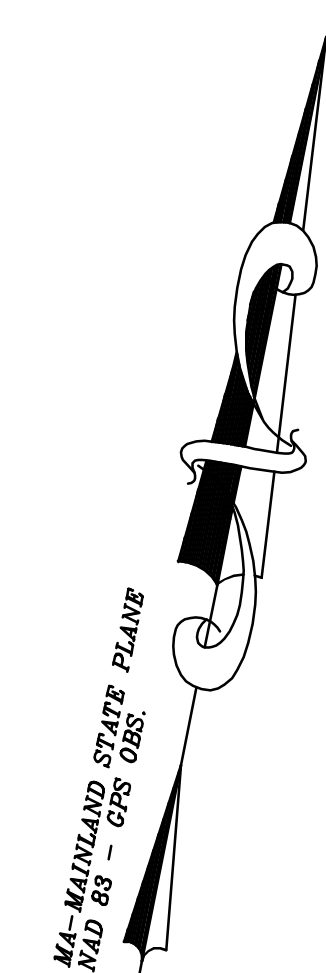
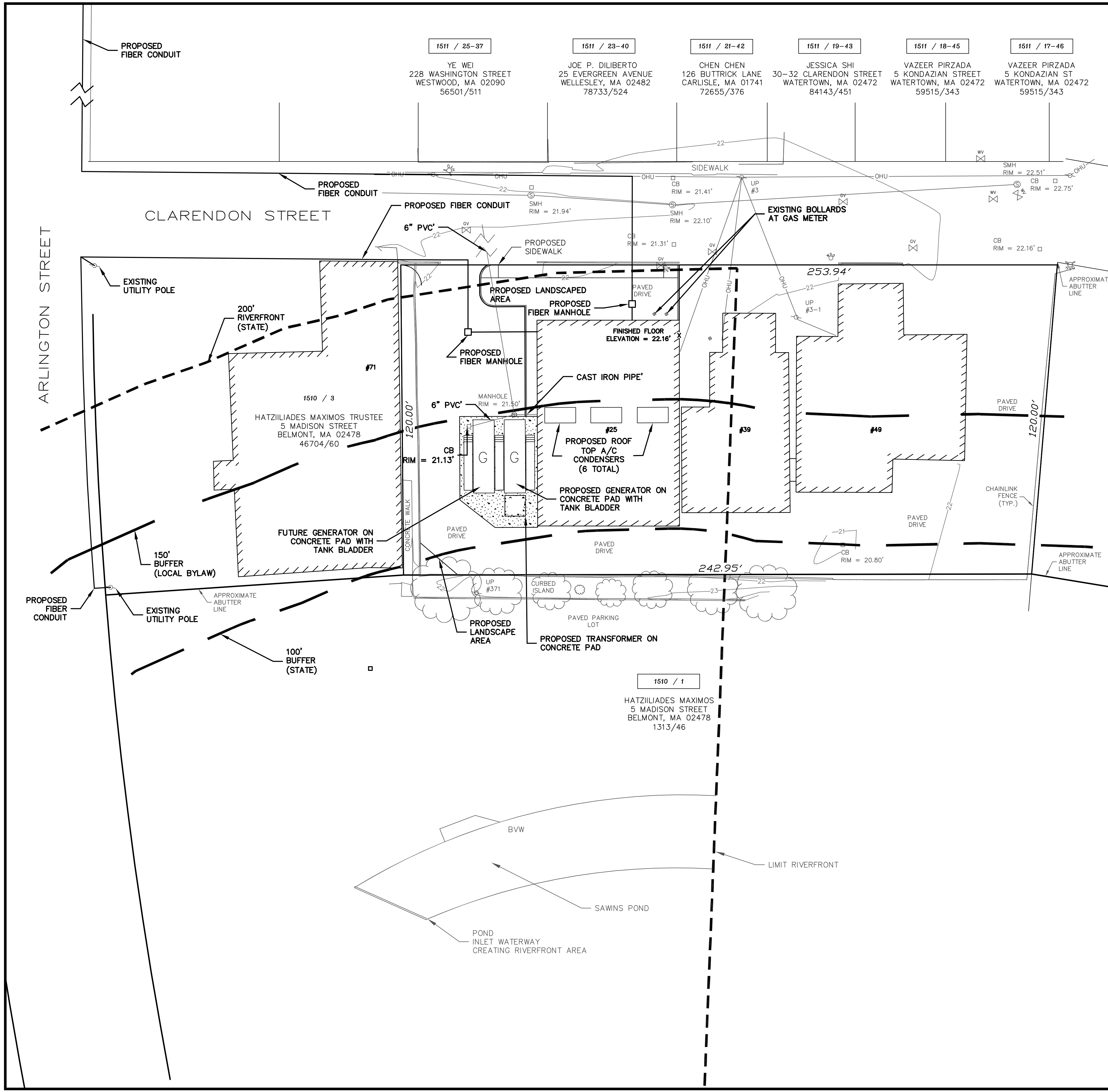
- For any large spills, Massachusetts DEP Hazardous Waste Incident Response Group will be notified immediately at (617) 792-7653 and an emergency response contractor will be called in.

### **Long-Term Operation and Maintenance Budget**

Consistent with Standard 9 of the Massachusetts Department of Environmental Protection Stormwater Handbook the approximate cost of inspections and maintenance based on the abovementioned post-construction activities and frequencies is as follows;

- Pavement Sweeping - \$1,000 per year based on annual sweepings.
- Catch Basin – inspection/cleaning - \$1,000 per year based on quarterly inspections and sediment removal of both single and double grate deep sump catch basins.
- Cleaning/debris removal - \$1,000 per year for accumulated sediment and trash removal.
- Mowing/raking - \$1,000 per year based on semi-annual mowing and/or stone raking.

Additional costs may be incurred if it is determined during routine inspections of the BMP's that further corrective actions are necessary.



**REFERENCE PLANS:**

- 1.) PLAN OF LAND IN WATERTOWN, MASS BELONGING TO THE EAST WATERTOWN REALTY Co. SCALE: 1" = 80'; DATED: AUGUST 6, 1943; BY W.DOLBIER SURV.; RECORDED M.S.C.R.D. 404 OF 1943.
- 2.) EXISTING CONDITIONS PLAN, BY LAND SURVEYOR: DAVID A. DWYER; AS PAGE 1 OF 5 IN PLAN SET: PROPOSED SITE PLAN ARLINGTON STREET & COOLIDGE AVENUE WATERTOWN, MASSACHUSETTS. PROJECT #: 09-27801 DATED: AUGUST 5, 2022; SCALE: 1" = 40'; BY: ENGINEERING ALLIANCE, INC; PREPARED FOR MAXIMOS HATZILIADADES; STAMPED BY RICHARD A. SALVO; LICENSE#: 41851.
- 3.) PROPOSED SITE PLAN, ARLINGTON STREET & COOLIDGE AVENUE WATERTOWN, MASSACHUSETTS. PROJECT #: 09-27801, DATED AUGUST 5, 2022, LAST REVISED 2/22/23; SCALE 1" = 40'. PREPARED BY ENGINEERING ALLIANCE INC. CIVIL ENGINEERING & LAND PLANNING CONSULTANTS, 194 CENTRAL STREET, SAUGUS MA, 01906, 1950 LAFAYETTE ROAD, PORTSMOUTH NH, 03801.

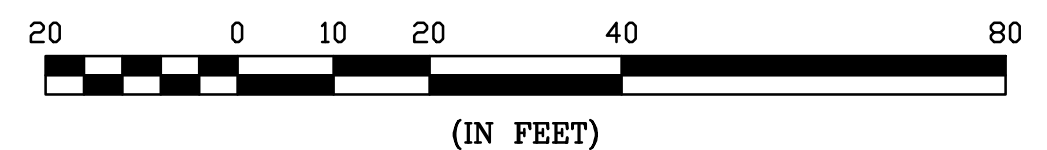
**NOTES:**

- 1.) OWNER OF RECORD: 1510 / 5A RED COAT REALTY LLC 25-51 CLARENDON STREET WATERTOWN, MA 02474 M.S.C.R.D. VOLUME 69562, PAGE 465
- 2.) 1510 / 5A - DENOTES TAX MAP AND PARCEL NUMBER.
- 3.) PARCEL AREA = 29,750± S.F. / 0.68 Ac.
- 4.) THE INTENT OF THIS PLAN IS TO SHOW A LIMITED EXISTING CONDITIONS SKETCH OF THE SITE AS OF AUGUST 21, 2025. THIS PLAN DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE SUBJECT PARCEL. BOUNDARY LINES SHOWN HEREON ARE FOR REFERENCE ONLY AND HAVE BEEN COMPILED FROM PLANS OF RECORD AS CITED.
- 5.) ZONING DISTRICT: INDUSTRIAL 2 (I-2)
- 6.) THE SUBJECT PARCEL IS OUTSIDE OF THE 0.2 PERCENT ANNUAL CHANCE FLOODPLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP #25017C0557F, WITH A REVISED DATE OF JULY 8, 2025.
- 7.) BASIS OF BEARING IS NH STATE PLANE (NAD83) BASED ON GPS OBSERVATION DATED AUGUST 21, 2025. VERTICAL DATUM IS NAVD88 BASED ON GPS OBSERVATION DATED AUGUST 21, 2025.
- 8.) ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AS SHOWN. THE CONTRACTOR SHALL VERIFY THEIR EXACT LOCATIONS WITH THE RESPECTIVE UTILITY OWNERS PRIOR TO ANY WORK BEING PERFORMED. CALL DIGSAFE AT 1-888-344-7233.
- 9.) THIS PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON THE DATE OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. FROM THIS PLAN, BUT IN EXISTENCE, IS NOT INTENDED OR IMPLIED.
- 10.) WETLAND DELINEATION, SUBSEQUENT BUFFER ZONES, AND RIVER FRONT OFFSET LINES ARE SHOWN HEREON PER REFERENCE PLAN #2.
- 11.) APPROXIMATE LOCATION OF ARLINGTON STREET RIGHT OF WAY IS SHOWN PER REFERENCE PLAN #2.
- 12.) RESOURCE PLAN FROM PLAN REFERENCE #3

**LEGEND**

- x 21.68' - SPOT GRADE ELEVATION
- CCB - ASPHALT CAPE COD BERM
- VGC - VERTICAL GRANITE CURB
- SMH - SEWER MANHOLE
- CB - CATCH BASIN
- OHU - OVERHEAD UTILITIES
- WV - WATER GATE VALVE
- ⊕ - MANHOLE
- ⊙ - GAS VALVE
- ⊗ - GAS VALVE
- ⊙ - WATER SHUTOFF VALVE
- △ TBM - TEMPORARY BENCHMARK
- S.F. - SQUARE FEET
- Ac. - ACRE
- (TYP.) - TYPICAL
- ± - MORE OR LESS
- ⌀ - DIAMETER
- M.S.C.R.D. - MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS
- UP #3-1 - UTILITY POLE W/ I.D. Nos.
- ⊙ - DECIDUOUS TREE

**GRAPHIC SCALE**



NOT FOR CONSTRUCTION FOR PERMIT USE ONLY

GAE CIVILWORKS NEW ENGLAND  
181 Watson Road, PO Box 1166  
Dover, New Hampshire 03821  
603.749.0443

DATE	REVISION	APP'D	DATE

09-17-25

**SITE PLAN**

**PREPARED FOR: COMCAST NEW ENGLAND REGION 5 OMNI WAY CHELMSFORD MA**

**SITE LOCATION: 25 CLARENDON STREET WATERTOWN, MA**

**1**