



# Conservation Commission Meeting

Wednesday, September 3, 2025 at 7:00 PM  
Remote Participation Only

## Agenda

Pursuant to Chapter 2 of the Acts of 2023, the meeting and public hearing will be conducted with remote opportunities for participation. Remote participation and access methods include:

### **ACCESS INFORMATION:**

- A. This meeting will be held on September 3, 2025 at 7 pm. Location: Remote Participation Only
  - B. The meeting will be televised through WCATV (Watertown Cable Access Television): <http://vodwcatv.org/CablecastPublicSite/watch-now?site=3>
  - C. The Public may join the virtual meeting online: <https://watertown-ma.zoom.us/j/99597080710>
  - D. Public may join the virtual meeting audio only by phone: (877) 853-5257 or (888) 475-4499 (Toll Free) and enter Webinar ID: 995 9708 0710
  - E. Public may comment through email: [sjenness@watertown-ma.gov](mailto:sjenness@watertown-ma.gov)
  - F. Please Visit the Conservation Commission Website here: <https://www.watertown-ma.gov/199/Conservation-Commission>
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1. Roll Call
2. Call to Order
3. Wetland Decision
  - A. 485-615 Arsenal Street: (MassDEP #: 321-0165) - Request for Certificate of Compliance. Boylston Properties (Property Owner and Representative).
  - B. 64 Pleasant Street: (MassDEP #: 321-0178) - Request for Certificate of Compliance. Berkley Pleasant Street, LLC (Property Owner) and Bohler Engineering (Representative).
  - C. 2026 Filing and Meeting Dates Review
4. Public Hearings
  - A. 138 Pleasant Street - Dealtry Memorial Pool: (MassDEP #: 321-0190) - Notice of Intent submitted for the 114 Pleasant Street (Dealtry Memorial Pool), Watertown, MA 02472 for renovating the existing pool, concrete pool area, and the adjacent deck, within the Bordering Land Subject to Flooding and Riverfront Area. Department of Conservation and Recreation (Property Owner) and Coneco Engineers and Scientists (Representative).
5. Updates
  - A. Chair updates
  - B. CPC updates

- C. Agent's report
  - i. MACC Fall Conference, October 25th
  - ii. Ongoing site monitoring
  - iii. Commissioner description
- 6. Acceptance of Minutes
  - A. June 4, 2025, Conservation Commission Meeting
- 7. Adjourn

August 22, 2025

Ms. Katherine Swan  
Environmental Planner/Conservation Agent  
City of Watertown  
149 Main Street, 3<sup>rd</sup> Floor  
Watertown, MA 02472

Re: 485 – 615 Arsenal Street  
DEP #: 321-0165, WWO #: 17-02  
Orders of Conditions DEP File# 321-0165

Dear Ms. Swan,

I am writing to formally request that the Watertown Conservation Commission close out the existing Order of Conditions (OOC) for the project known collectively as Arsenal Yards. The order of conditions was initially issued in June 2017 and amended on the following dates:

- June, 2020
- April, 2023

Attached please find the following documentation relative to our formal request to close out the Arsenal Yards Order of Conditions:

- A *Certificate of Compliance* completed by RJ O’Connell and Associates, Civil Engineer for the project
- A plan of the existing conditions
- An as-built plan of the existing landscaping completed by our landscape contractor, Outdoor Perspectives
- A list of the replacement plants that have been installed over the past two (2) growing seasons
- A letter and a plant list marked up by Chris Jones, landscape Architect for the project
- Special Condition #27 states:  
*Plantings shall be installed during the growing season, April 15th through October 15th. The plantings shall be monitored for not less than two growing*

*seasons. If, after the monitoring period, 75% of the approved shrub species or 80% cover for herb species have not established themselves, the area shall be replanted and monitored for an additional period of not less than two years.*

**We comply with condition #27 as less than 2% of the existing plants did not establish themselves within the two (2) year timeframe and were subsequently replaced**

We look forward to our discussion with the Conservation Commission on Wednesday, September 3, 2025, to discuss this request. Please do not hesitate to contact me if you have any questions.

Thank you,



Andrew Copelotti  
Principal  
Boylston Properties

Cc: Steve Magoon – City of Watertown  
Alex Gleason – Boylston Properties  
Mark Deschenes – Boylston Properties  
Chris Jones – IBI Group  
Roy Smith – RJOC  
Brandon Feldhouse – Wilder Companies

August 22, 2025

Ms. Katherine Swan  
Environmental Planner/Conservation Agent  
City of Watertown  
149 Main Street, 3<sup>rd</sup> Floor  
Watertown, MA 02472

Re: 485 – 615 Arsenal Street  
Letter of Responsibility

Dear Ms. Swan,

As stated in WPA OOC, section 19c, Boylston Properties ***agrees that the landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance.*** As a condition of requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) has executed and submitted an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: i.) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and ii.) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

Please do not hesitate to contact me if you have any questions.

Thank you,



Andrew Copelotti  
Principal  
Boylston Properties

Cc: Steve Magoon – City of Watertown  
Alex Gleason – Boylston Properties  
Mark Deschenes – Boylston Properties  
Chris Jones – IBI Group



BOYLSTON  
PROPERTIES

Roy Smith – RJOC  
Brandon Feldhouse – Wilder Companies



**WPA Form 8A – Request for Certificate of Compliance**

321-0165

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

**A. Project Information**

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

Andrew Copelotti c/o Boylston Properties

Name

800 Boylston Street, Suite 1390

Mailing Address

Boston

City/Town

MA

State

02199

Zip Code

617-262-4646

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

BP Watertown Retail, LLC c/o Boylston Properties

Applicant

August 13, 2025

Dated

321-0165

DEP File Number

3. The project site is located at:

485 & 617 Arsenal Street

Street Address

100441-2D

Assessors Map/Plat Number

Watertown

City/Town

1301-2D-2

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Property Owner (if different)

Southern Middlesex

County

77583

Book

241

Page

Certificate (if registered land)

5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



**WPA Form 8A – Request for Certificate of Compliance**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**A. Project Information (cont.)**

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes      If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

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**B. Submittal Requirements**

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).



CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS

80 Montvale Ave., Suite 201

Stoneham, MA 02180

781-279-0180

www.rjoconnell.com

August 21, 2025

Ms. Katie Swan, Conservation Agent  
Town of Watertown Conservation Commission  
Administration Building  
149 Main Street  
Watertown, MA 02472

Regarding: Request for Certificate of Compliance  
100 & 500 Forge Road  
Watertown, MA 02472  
DEP File No. 321-0165  
WVO-17-02 485 & 615 Arsenal Street

Dear Ms. Swan:

RJ O'Connell & Associates, Inc. on behalf of Boylston Properties (the Applicant), requests a Certificate of Compliance be issued to release the work regulated by the above referenced Amended Order of Conditions relating to 485 & 615 Arsenal Street issued on April 25, 2017 and amended on February 3, 2021.

Based on periodic site visits and the attached *Existing Conditions/ As-Built Plan of Land* as prepared by Feldman Geospatial, each condition of the Order has been complied with and the portions of the work regulated by the amended Order of Conditions have been satisfactorily completed in accordance with the approved plans. As such RJ O'Connell and Associates certifies that the project is in substantial compliance with the amended Order of Conditions.

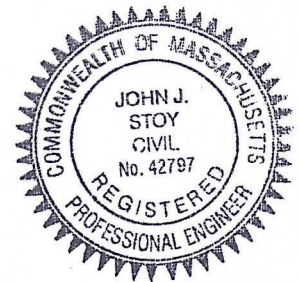
If you have any questions or require additional information, please do not hesitate to call us at 781-279-0180.

Sincerely,

RJO'CONNELL & ASSOCIATES

Roy W. Smith  
Vice President

John Stoy, PE  
Senior Civil Engineer



cc: Andrew Copelotti, Alex Gleason, Maria Rose

Ms. Katie Swan, Conservation Agent  
Town of Watertown Conservation Commission  
Administration Building  
149 Main Street  
Watertown, MA 02472

1 Federal Street  
Suite 3800  
Boston, MA 02110  
United States  
Phone: +1 617 896 2500  
[www.arcadis.com](http://www.arcadis.com)

Date: August 21, 2025  
Subject: 100 & 500 Forge Road  
Substantial Completion of Landscape & Plantings

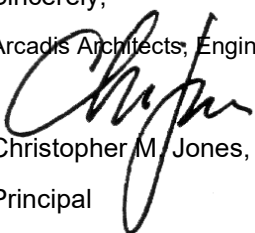
Dear Ms. Swan:

We have completed a site review of the landscape and plantings following the one-year establishment period and confirm that the installed (as-built) conditions align with the submitted and approved design plans. As such Arcadis certifies that the landscape site improvements are substantially complete and in compliance with the amended Order of Conditions.

Please let me know if you have any questions or comments.

Sincerely,

Arcadis Architects, Engineers, and Landscape Architects, a NY General Partnership

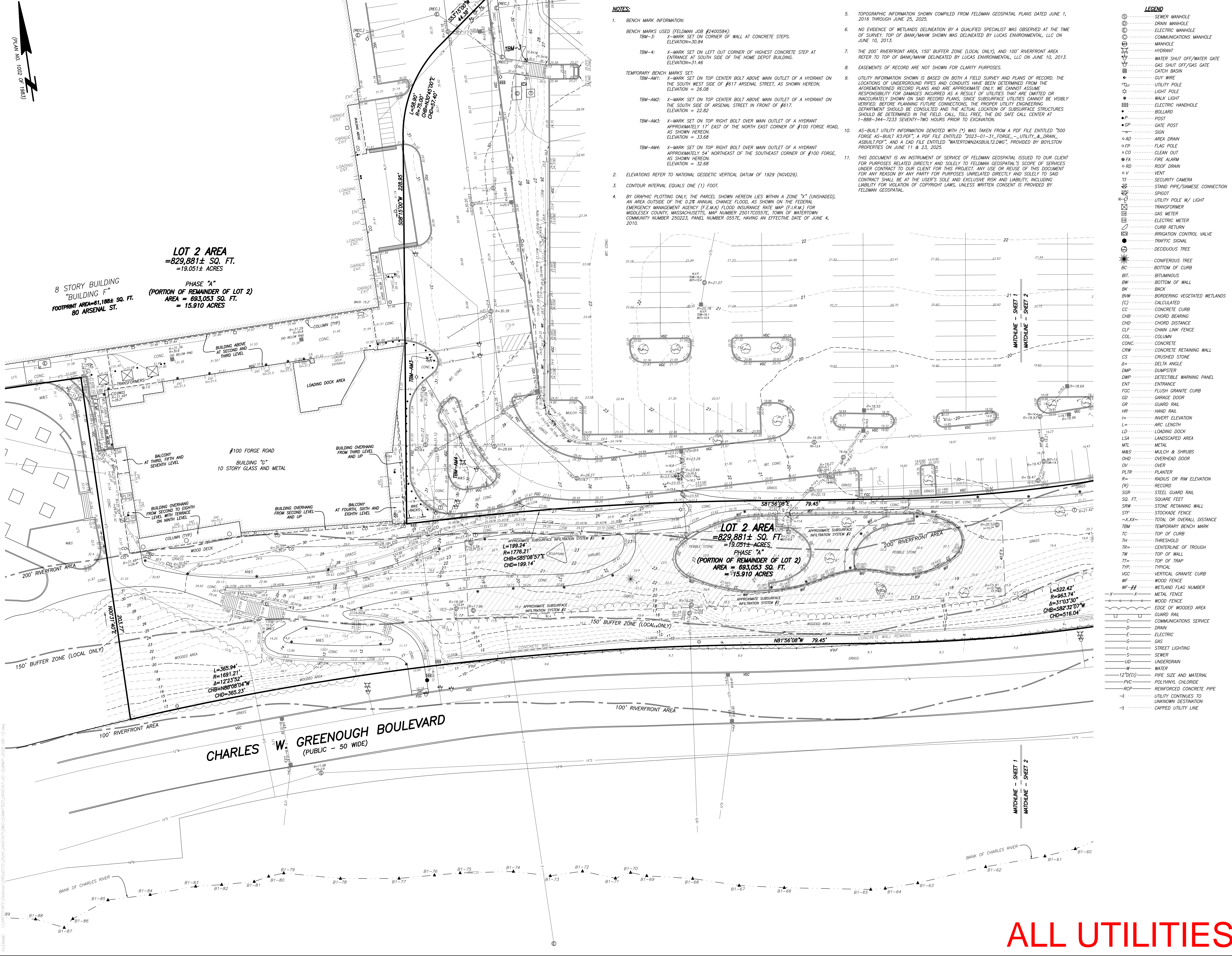
  
Christopher M. Jones, ASLA

Principal

Email: [chris.jones@arcadis.com](mailto:chris.jones@arcadis.com)

Mobile: 617.905.8511





- NOTES:**
- BENCH MARK INFORMATION:  
BENCH MARKS USED (FELDMAN JOB #2400584):  
TBM-3: X-MARK SET ON CORNER OF WALL AT CONCRETE STEPS. ELEVATION=30.84  
TBM-4: X-MARK SET ON LEFT OUT CORNER OF HIGHEST CONCRETE STEP AT ENTRANCE AT SOUTH SIDE OF THE HOME DEPOT BUILDING. ELEVATION=31.46  
TEMPORARY BENCH MARKS SET:  
TBM-AM1: X-MARK SET ON TOP CENTER BOLT ABOVE MAIN OUTLET OF A HYDRANT ON THE SOUTH WEST SIDE OF #617 ARSENAL STREET, AS SHOWN HEREON. ELEVATION = 26.08  
TBM-AM2: X-MARK SET ON TOP CENTER BOLT ABOVE MAIN OUTLET OF A HYDRANT ON THE SOUTH SIDE OF ARSENAL STREET IN FRONT OF #617. ELEVATION = 22.82  
TBM-AM3: X-MARK SET ON TOP RIGHT BOLT OVER MAIN OUTLET OF A HYDRANT APPROXIMATELY 17' EAST OF THE NORTH EAST CORNER OF #100 FORGE ROAD, AS SHOWN HEREON. ELEVATION = 33.68  
TBM-AM4: X-MARK SET ON TOP RIGHT BOLT OVER MAIN OUTLET OF A HYDRANT APPROXIMATELY 54' NORTHEAST OF THE SOUTHEAST CORNER OF #100 FORGE, AS SHOWN HEREON. ELEVATION = 32.69
  - ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
  - CONTOUR INTERVAL EQUALS ONE (1) FOOT.
  - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0557E, TOWN OF WATERTOWN COMMUNITY NUMBER 2502E3, PANEL NUMBER 0557E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
  - TOPOGRAPHIC INFORMATION SHOWN COMPILED FROM FELDMAN GEOSPATIAL PLANS DATED JUNE 1, 2016 THROUGH JUNE 25, 2025.
  - NO EVIDENCE OF WETLANDS DELINEATED BY A QUALIFIED SPECIALIST WAS OBSERVED AT THE TIME OF SURVEY. TOP OF BANK/MAHW SHOWN WAS DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON JUNE 10, 2013.
  - THE 200' RIVERFRONT AREA, 150' BUFFER ZONE (LOCAL ONLY), AND 100' RIVERFRONT AREA REFER TO TOP OF BANK/MAHW SHOWN BY LUCAS ENVIRONMENTAL, LLC ON JUNE 10, 2013.
  - EASEMENTS OF RECORD ARE NOT SHOWN FOR CLARITY PURPOSES.
  - UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED BEFORE PLANNING FUTURE CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
  - AS-BUILT UTILITY INFORMATION DENOTED WITH (\*) WAS TAKEN FROM A PDF FILE ENTITLED "300 FORGE AS-BUILT R3.PDF", A PDF FILE ENTITLED "2023-01-31\_FORGE\_-\_UTILITY\_&\_DRAIN\_AS-BUILT.PDF", AND A CAD FILE ENTITLED "WATERTOWN2ASBUILT2.DWG", PROVIDED BY BOYLSTON PROPERTIES ON JUNE 11 & 23, 2025.
  - THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

- LEGEND**
- SEWER MANHOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - COMMUNICATIONS MANHOLE
  - MANHOLE
  - HYDRANT
  - WATER SHUT OFF/WATER GATE
  - GAS SHUT OFF/GAS GATE
  - CATCH BASIN
  - GUY WIRE
  - UTILITY POLE
  - LIGHT POLE
  - WALK LIGHT
  - ELECTRIC HANDHOLE
  - BOLLARD
  - POST
  - GATE POST
  - SIGN
  - AREA DRAIN
  - FLAG POLE
  - CLEAN OUT
  - FIRE ALARM
  - ROOF DRAIN
  - VENT
  - SECURITY CAMERA
  - STAND PIPE/SIAMESE CONNECTION
  - SPIGOT
  - UTILITY POLE W/ LIGHT
  - ELECTRIC METER
  - CURB RETURN
  - IRRIGATION CONTROL VALVE
  - TRAFFIC SIGNAL
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BOTTOM OF CURB
  - BOTTOM OF CURB
  - BITUMINOUS
  - BOTTOM OF WALL
  - BANK
  - BORDERING VEGETATED WETLANDS
  - CALCULATED
  - CONCRETE CURB
  - CHORD BEARING
  - CHORD DISTANCE
  - CHAIN LINK FENCE
  - COLUMN
  - CONCRETE
  - CONCRETE RETAINING WALL
  - CRUSHED STONE
  - DELTA ANGLE
  - DUMPSTER
  - DETECTIBLE WARNING PANEL
  - ENTRANCE
  - FLUSH GRANITE CURB
  - GARAGE DOOR
  - GUARD RAIL
  - HAND RAIL
  - INVERT ELEVATION
  - ARC LENGTH
  - LOADING DOCK
  - LANDSCAPED AREA
  - METAL
  - MULCH & SHRUBS
  - OVERHEAD DOOR
  - OVER
  - PLANTER
  - RADIUS OR RIM ELEVATION
  - RECORD
  - STEEL GUARD RAIL
  - SQUARE FEET
  - STONE RETAINING WALL
  - STOCKADE FENCE
  - TOTAL OR OVERALL DISTANCE
  - TEMPORARY BENCH MARK
  - TOP OF CURB
  - THRESHOLD
  - CENTLINE OF TROUGH
  - TOP OF WALL
  - TOP OF TRAP
  - TYPICAL
  - VERTICAL GRANITE CURB
  - WOOD FENCE
  - WETLAND FLAG NUMBER
  - METAL FENCE
  - WOOD FENCE
  - EDGE OF WOODED AREA
  - GUARD RAIL
  - COMMUNICATIONS SERVICE
  - DRAIN
  - ELECTRIC
  - GAS
  - STREET LIGHTING
  - SEWER
  - UNDERDRAIN
  - WATER
  - PIPE SIZE AND MATERIAL
  - POLYETHYLENE CHLORIDE
  - REINFORCED CONCRETE PIPE
  - UTILITY CONTINUES TO UNKNOWN DESTINATION
  - CAPPED UTILITY LINE

**FELDMAN GEOSPATIAL**

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

WORCESTER OFFICE  
27 MECHANIC STREET  
WORCESTER, MA 01608  
(617)357-9740  
www.feldmangeo.com

Right. From the Ground Up

LOCUS MAP NOT TO SCALE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

JOSEPH R. ZAMBUTO, PLS  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM

8/12/2025  
DATE



DRAWING NAME:  
**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE: JULY 9, 2024

REVISIONS:  
06/25/2025 ADDED TOPO AT 100 FORGE ROAD

FILENAME: 2400747-EC-SUBMIT-2025-08-12.dwg  
RESEARCH: SMD FIELD CHIEF: AM  
PROJ MGR: JRZ APPROVED: CEM  
CALC: GD CADD: CEM  
FIELD CHK: CRD FILE: 2400747

20 0 10 20 40  
SCALE: 1"=20'

SHEET NO. 1 OF 3

**ALL UTILITIES**

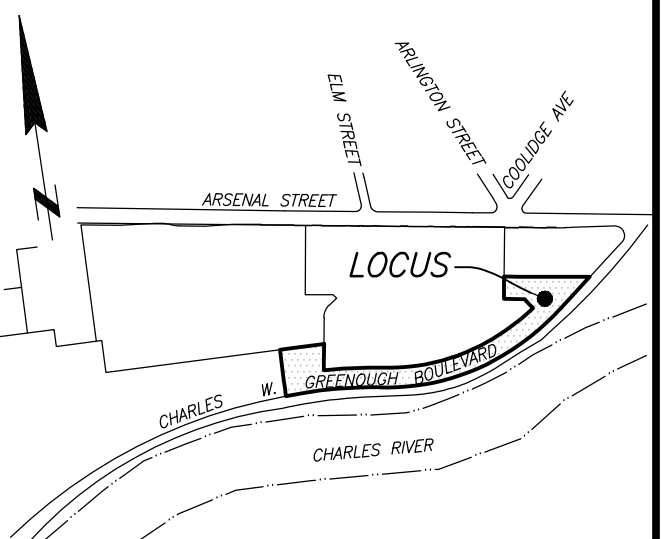
(PLAN NO. 1002 OF 198)

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

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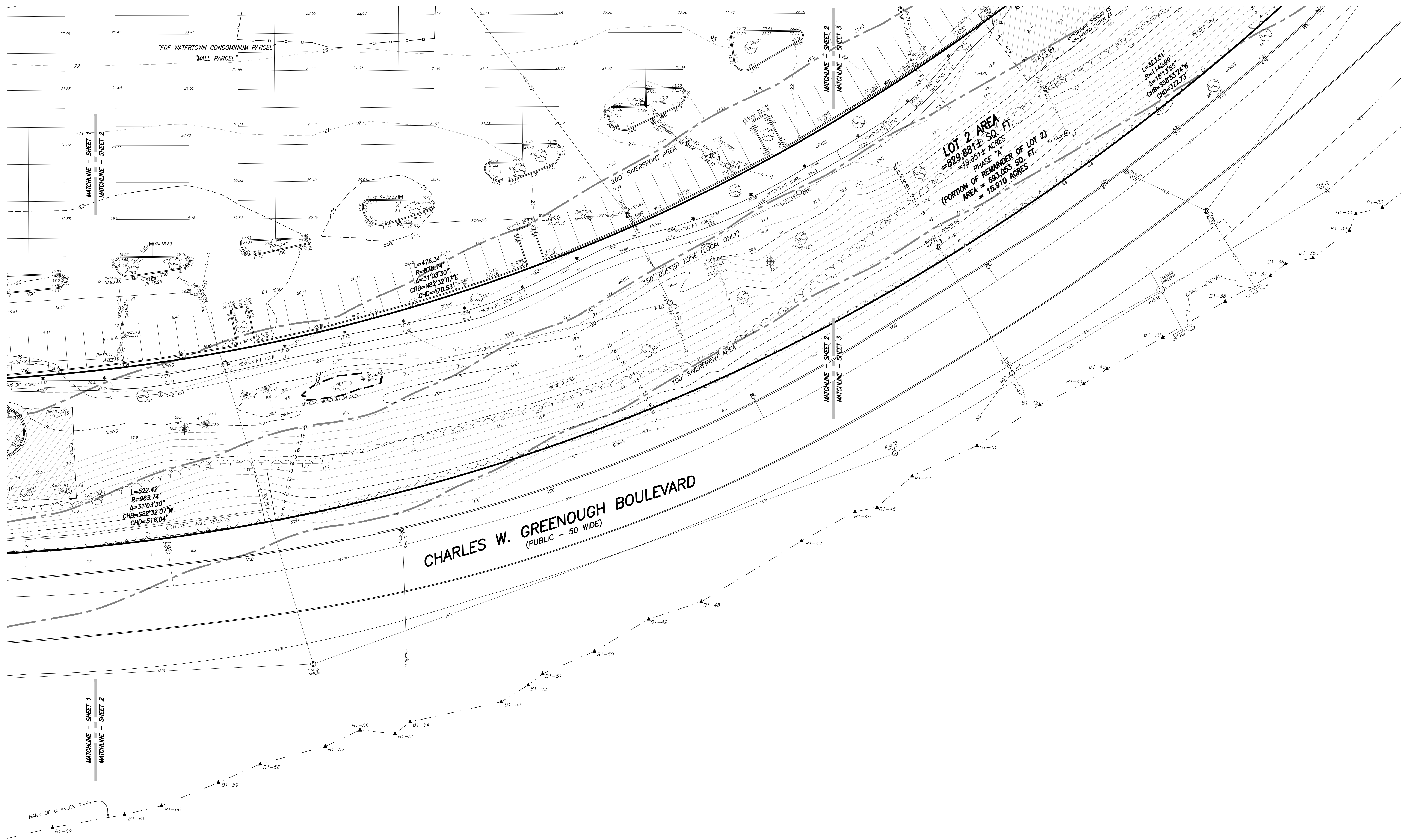
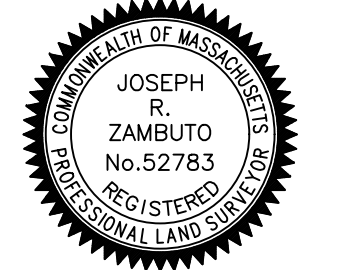
Right. From the Ground Up



LOCUS MAP NOT TO SCALE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*[Signature]* 8/12/2025  
JOSEPH R. ZAMBUTO, PLS DATE  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM



**CHARLES W. GREENOUGH BOULEVARD**  
(PUBLIC - 50 WIDE)

**LOT 2 AREA**  
= 829,881± SQ. FT.  
= 19.051± ACRES  
PHASE 'A'  
(PORTION OF REMAINDER OF LOT 2)  
AREA = 683,263± SQ. FT.  
= 15.910± ACRES

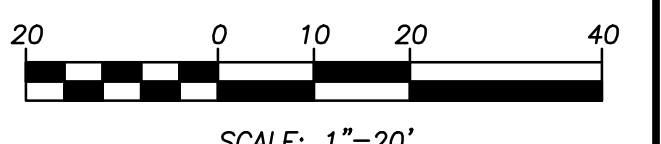
L=522.42'  
R=963.74'  
A=31°03'30"  
CHB=582°32'07"W  
CHD=516.04'

L=476.34'  
R=678.74'  
A=31°03'30"  
CHB=N84°32'07"E  
CHD=470.53'

L=325.81'  
R=1142.98'  
A=18°13'58"  
CHB=S85°53'27"W  
CHD=322.73'

DRAWING NAME:  
**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE:	JULY 9, 2024
REVISIONS:	
06/25/2025	ADDED TOPO AT 100 FORGE ROAD
FILENAME:	2400747-EC-SUBMIT-2025-08-12.dwg
RESEARCH:	SMD FIELD CHIEF: AM
PROJ MGR:	JRZ APPROVED:
CALC:	GD CADD: CEM
FIELD CHK:	CRD FILE: 2400747



SHEET NO. 2 OF 3

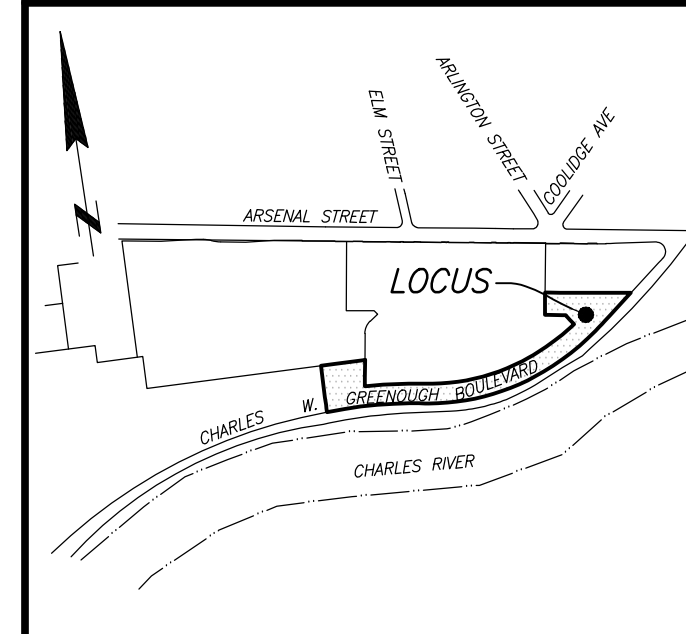
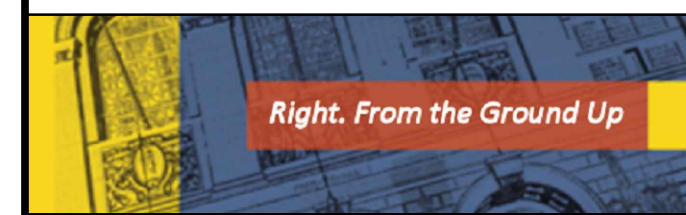
**ALL UTILITIES**

(PLAN NO. 1002 OF 198)

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

WORCESTER OFFICE  
27 MECHANIC STREET  
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(617)357-9740  
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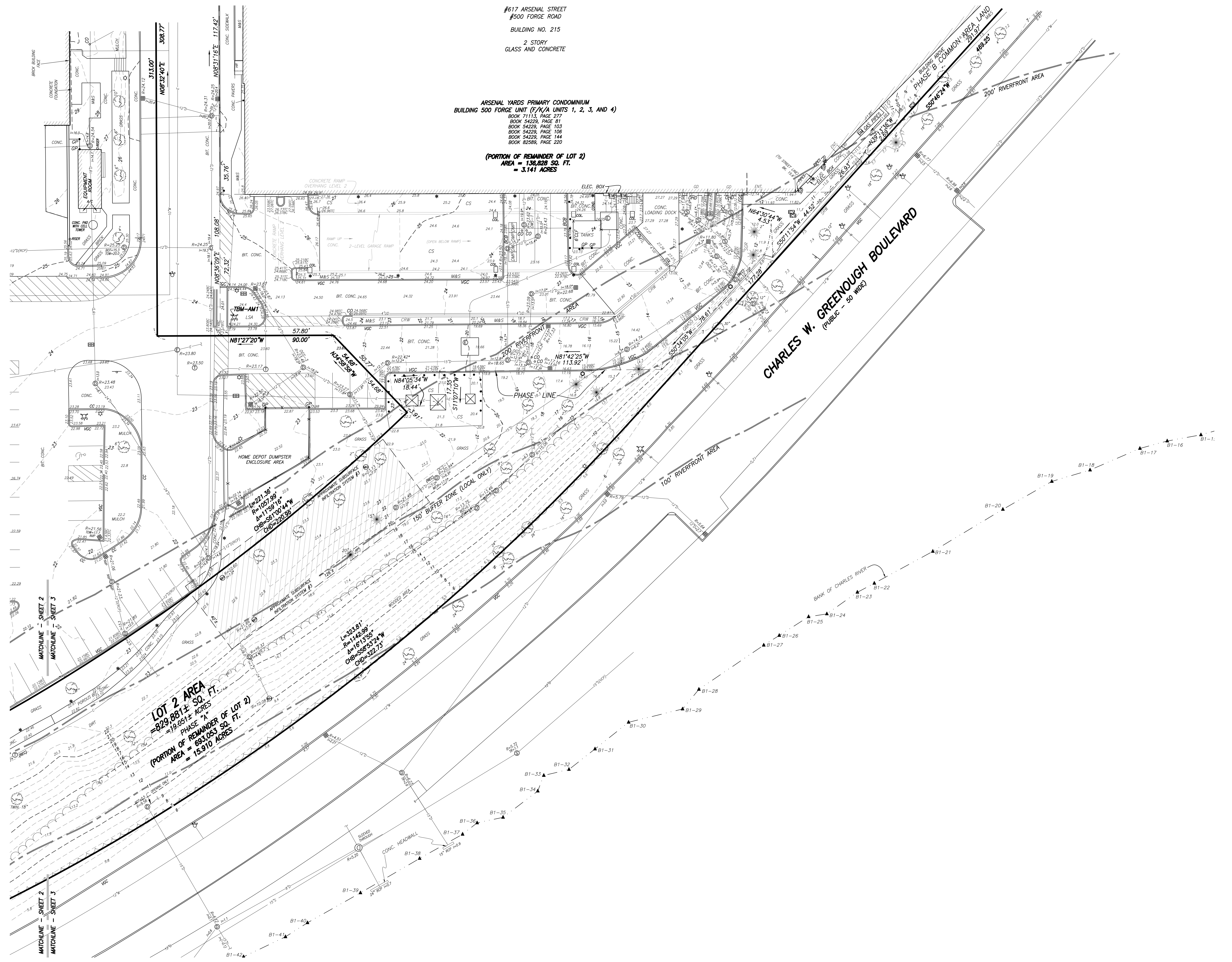
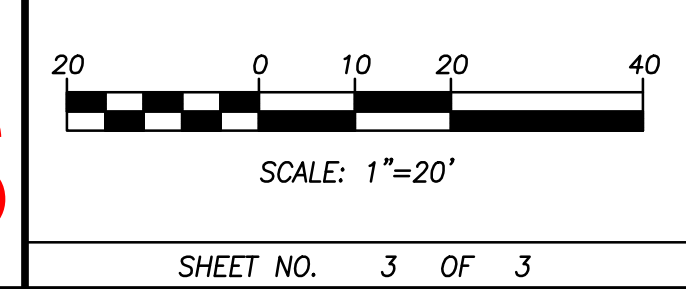
I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*JRZ*  
JOSEPH R. ZAMBUTO, PLS  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM  
8/12/2025  
DATE

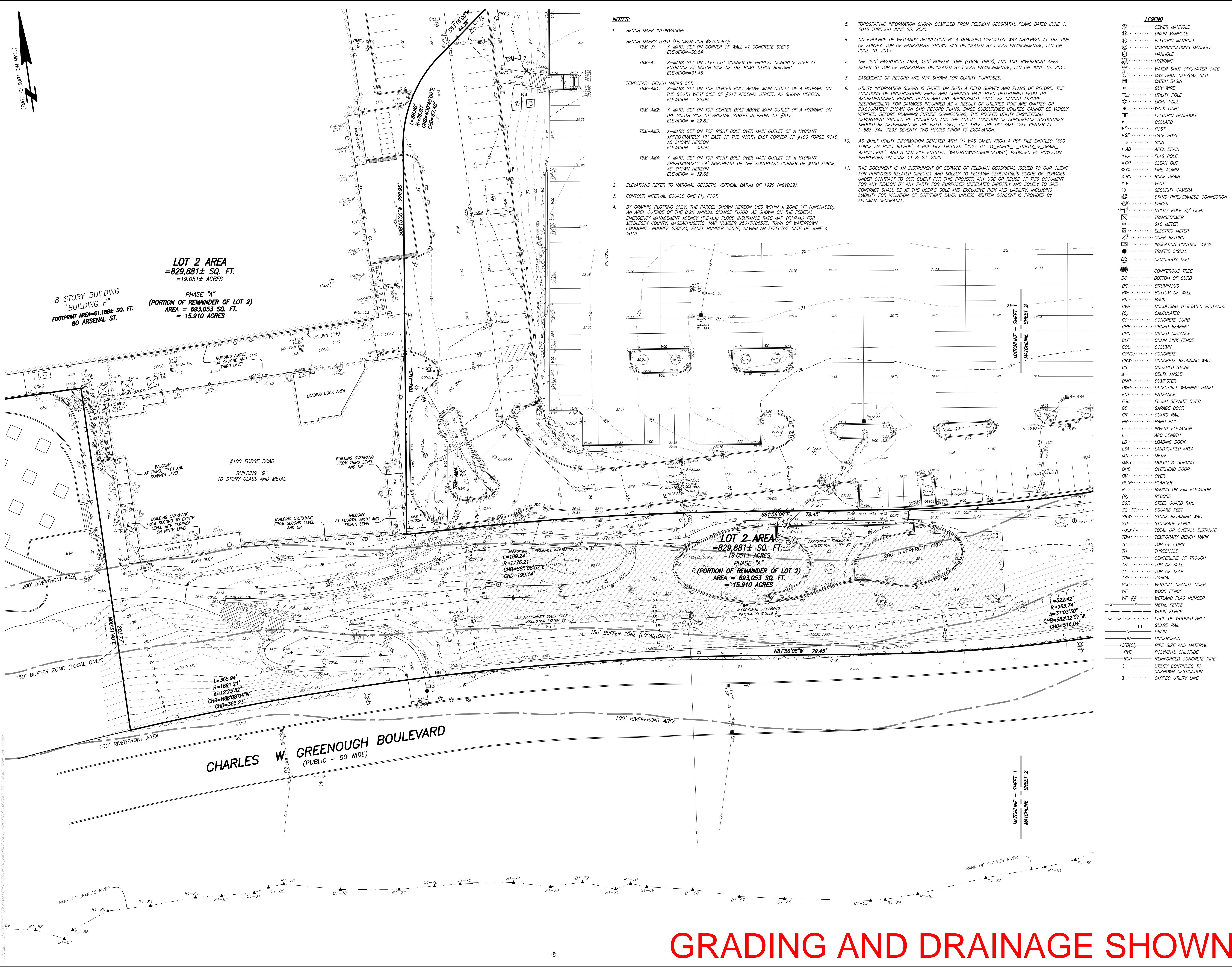
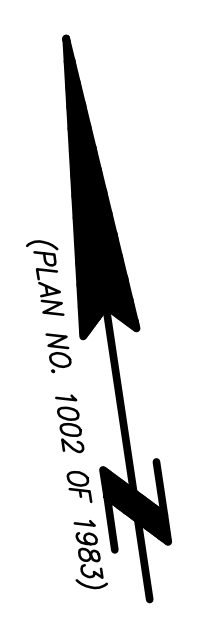


DRAWING NAME:  
**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE:	JULY 9, 2024
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FILENAME:	2400747-EC-SUBMIT-2025-08-12.dwg
RESEARCH:	SMD FIELD CHIEF: AM
PROJ MGR:	JRZ APPROVED:
CALC:	GD CADD: CEM
FIELD CHK:	CRD FILE: 2400747



**ALL UTILITIES**



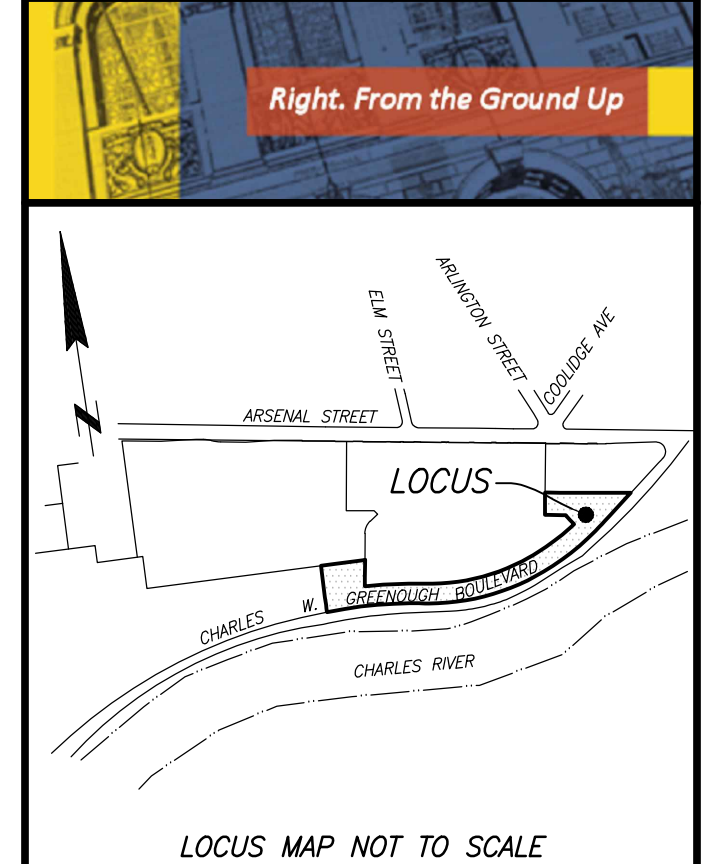
- NOTES:**
- BENCH MARK INFORMATION:  
BENCH MARKS USED (FELDMAN JOB #2400584):  
TBM-3: X-MARK SET ON CORNER OF WALL AT CONCRETE STEPS. ELEVATION=30.84  
TBM-4: X-MARK SET ON LEFT OUT CORNER OF HIGHEST CONCRETE STEP AT ENTRANCE AT SOUTH SIDE OF THE HOME DEPOT BUILDING. ELEVATION=31.46  
TEMPORARY BENCH MARKS SET:  
TBM-AM1: X-MARK SET ON TOP CENTER BOLT ABOVE MAIN OUTLET OF A HYDRANT ON THE SOUTH WEST SIDE OF #617 ARSENAL STREET, AS SHOWN HEREON. ELEVATION = 26.08  
TBM-AM2: X-MARK SET ON TOP CENTER BOLT ABOVE MAIN OUTLET OF A HYDRANT ON THE SOUTH SIDE OF ARSENAL STREET IN FRONT OF #617. ELEVATION = 22.82  
TBM-AM3: X-MARK SET ON TOP RIGHT BOLT OVER MAIN OUTLET OF A HYDRANT APPROXIMATELY 17' EAST OF THE NORTH EAST CORNER OF #100 FORGE ROAD, AS SHOWN HEREON. ELEVATION = 33.68  
TBM-AM4: X-MARK SET ON TOP RIGHT BOLT OVER MAIN OUTLET OF A HYDRANT APPROXIMATELY 54' NORTHEAST OF THE SOUTHEAST CORNER OF #100 FORGE, AS SHOWN HEREON. ELEVATION = 33.68
  - ELEVATIONS REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
  - CONTOUR INTERVAL EQUALS ONE (1) FOOT.
  - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 2501700557E, TOWN OF WATERTOWN, COMMUNITY NUMBER 2902E3, PANEL NUMBER 0557E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.
  - TOPOGRAPHIC INFORMATION SHOWN COMPILED FROM FELDMAN GEOSPATIAL PLANS DATED JUNE 1, 2016 THROUGH JUNE 25, 2025.
  - NO EVIDENCE OF WETLANDS DELINEATION BY A QUALIFIED SPECIALIST WAS OBSERVED AT THE TIME OF SURVEY. TOP OF BANK/MAHW SHOWN AS DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON JUNE 10, 2013.
  - THE 200' RIVERFRONT AREA, 150' BUFFER ZONE (LOCAL ONLY), AND 100' RIVERFRONT AREA REFER TO TOP OF BANK/MAHW DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON JUNE 10, 2013.
  - EASEMENTS OF RECORD ARE NOT SHOWN FOR CLARITY PURPOSES.
  - UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFORESAID RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED BEFORE PLANNING FUTURE CONNECTIONS. THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
  - AS-BUILT UTILITY INFORMATION DENOTED WITH (\*) WAS TAKEN FROM A PDF FILE ENTITLED "300 FORGE AS-BUILT R3.PDF", A PDF FILE ENTITLED "2023-01-31\_FORGE\_-\_UTILITY\_&\_DRAIN\_&\_ASBUILT.PDF", AND A CAD FILE ENTITLED "WATERTOWN2ASBUILT2.DWG", PROVIDED BY BOYLSTON PROPERTIES ON JUNE 11 & 23, 2025.
  - THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

- LEGEND**
- SM SEWER MANHOLE
  - DM DRAIN MANHOLE
  - EM ELECTRIC MANHOLE
  - CM COMMUNICATIONS MANHOLE
  - MANHOLE
  - HYDRANT
  - WATER SHUT OFF/WATER GATE
  - GAS SHUT OFF/GAS GATE
  - CATCH BASIN
  - GUY WIRE
  - UTILITY POLE
  - LIGHT POLE
  - WALK LIGHT
  - ELECTRIC HANDHOLE
  - ROLLARD
  - POST
  - GATE POST
  - SIGN
  - AREA DRAIN
  - FLAG POLE
  - CLEAN OUT
  - FIRE ALARM
  - ROOF DRAIN
  - VENT
  - SECURITY CAMERA
  - STAND PIPE/SIAMESE CONNECTION
  - SPIGOT
  - UTILITY POLE W/ LIGHT
  - CURB RETURN
  - GAS METER
  - ELECTRIC METER
  - IRIGATION CONTROL VALVE
  - TRAFFIC SIGNAL
  - DECIDUOUS TREE
  - CONIFEROUS TREE
  - BOTTOM OF CURB
  - BOTTOM OF CURB
  - BITUMINOUS
  - BOTTOM OF WALL
  - BK BORDERING VEGETATED WETLANDS
  - CALCULATED
  - CONCRETE CURB
  - CHB CHORD BEARING
  - CHD CHORD DISTANCE
  - CHAIN LINK FENCE
  - COLUMN
  - CONCRETE
  - CONCRETE RETAINING WALL
  - CRUSHED STONE
  - DELTA ANGLE
  - DMP DUMPSITE
  - DWP DETECTIBLE WARNING PANEL
  - ENTRANCE
  - FLUSH GRANITE CURB
  - GD GARAGE DOOR
  - GRD GUARD RAIL
  - HR HAND RAIL
  - INVERT ELEVATION
  - ARC LENGTH
  - LOADING DOCK
  - LANDSCAPED AREA
  - METAL
  - M&S MULCH & SHRUBS
  - OHD OVERHEAD DOOR
  - OVER
  - PLTR PLANTER
  - R RADIUS OR RIM ELEVATION
  - RECORD
  - SGR STEEL GUARD RAIL
  - SQ. FT. SQUARE FEET
  - SRW STONE RETAINING WALL
  - STP STOCKADE FENCE
  - TOTAL OR OVERALL DISTANCE
  - TBM TEMPORARY BENCH MARK
  - TC TOP OF CURB
  - TH THRESHOLD
  - TR CENTERLINE OF TROUGH
  - TW TOP OF WALL
  - TT TOP OF TRAP
  - TYP. TYPICAL
  - VF VERTICAL GRANITE CURB
  - WF WOOD FENCE
  - WF# WETLAND FLAG NUMBER
  - METAL FENCE
  - WOOD FENCE
  - EDGE OF WOODED AREA
  - GUARD RAIL
  - DRAIN
  - UNDERDRAIN
  - PIPE SIZE AND MATERIAL
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - UTILITY CONTINUES TO UNKNOWN DESTINATION
  - CAPPED UTILITY LINE

**FELDMAN GEOSPATIAL**

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

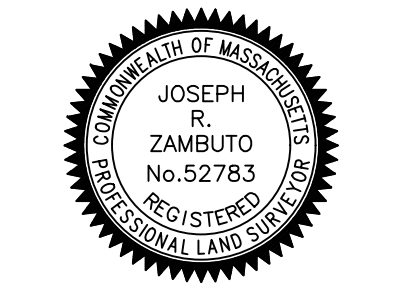
WORCESTER OFFICE  
27 MECHANIC STREET  
WORCESTER, MA 01608  
(617)357-9740  
www.feldmangeo.com



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

JOSEPH R. ZAMBUTO, PLS  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM

8/12/2025  
DATE



DRAWING NAME:  
**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE: JULY 9, 2024

REVISIONS:	DATE	DESCRIPTION
06/25/2025		ADDED TOPO AT 100 FORGE ROAD

FILENAME: 2400747-EC-SUBMIT-2025-08-12.dwg

RESEARCH: SMD	FIELD CHIEF: AM
PROJ MGR: JRZ	APPROVED: [Signature]
CALC: GD	CADD: CEM
FIELD CHK: [Signature]	CRD FILE: 2400747

20 0 10 20 40  
SCALE: 1"=20'

SHEET NO. 1 OF 3

**GRADING AND DRAINAGE SHOWN**

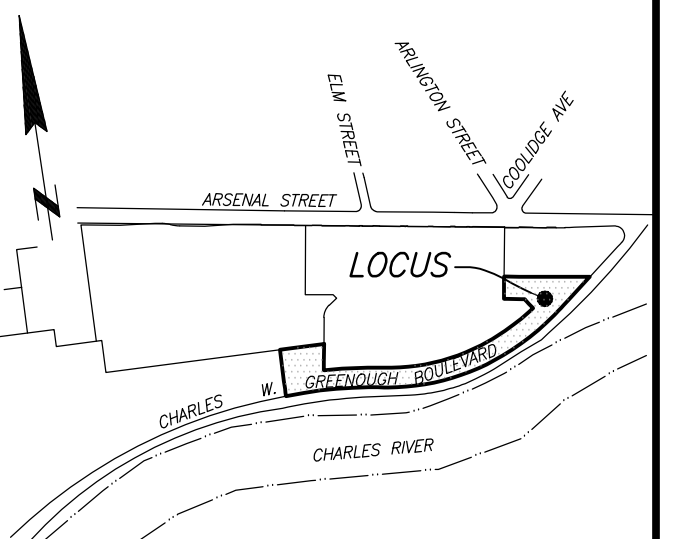
PLAN NO. 1002 OF 1983

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

WORCESTER OFFICE  
27 MECHANIC STREET  
WORCESTER, MA 01608

(617)357-9740  
www.feldmangeo.com

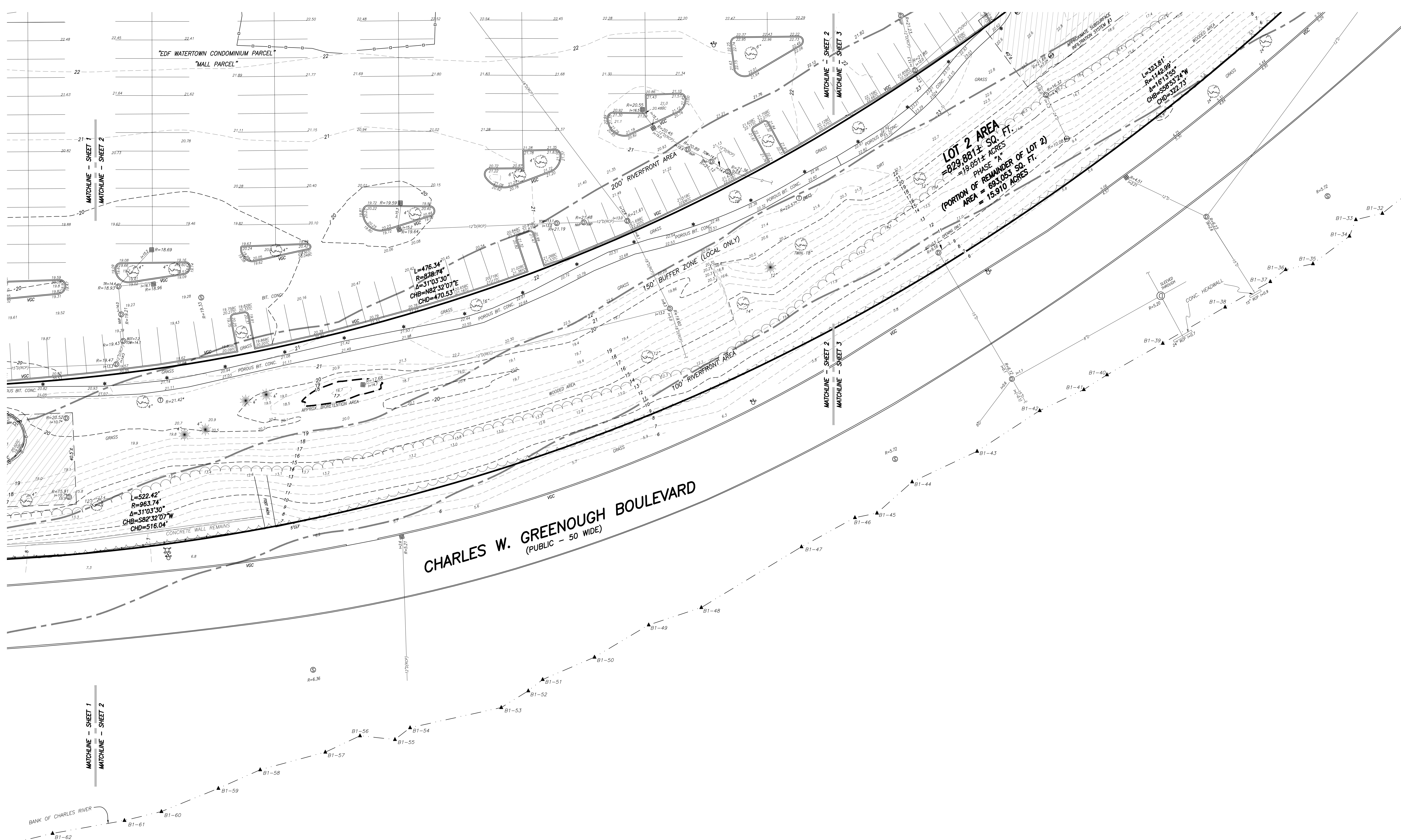
Right. From the Ground Up



LOCUS MAP NOT TO SCALE

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

JOSEPH R. ZAMBUTO, PLS  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM  
8/12/2025  
DATE



**CHARLES W. GREENOUGH BOULEVARD**  
(PUBLIC - 50 WIDE)

**LOT 2 AREA**  
= 829,881 ± SQ. FT.  
= 19.051 ± ACRES  
PHASE "A"  
(PORTION OF REMAINDER OF LOT 2)  
AREA = 683,263 ± SQ. FT.  
= 15.910 ± ACRES

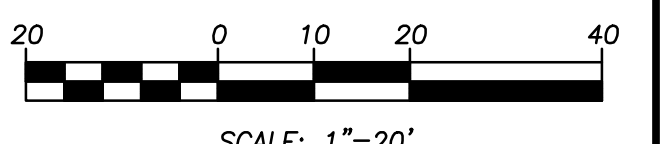
MATCHLINE - SHEET 1  
MATCHLINE - SHEET 2

MATCHLINE - SHEET 2  
MATCHLINE - SHEET 3

**GRADING AND DRAINAGE SHOWN**

DRAWING NAME:  
**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE:	JULY 9, 2024
REVISIONS:	
06/25/2025	ADDED TOPO AT 100 FORGE ROAD
FILENAME:	2400747-EC-SUBMIT-2025-08-12.dwg
RESEARCH:	SMD FIELD CHIEF: AM
PROJ MGR:	JRZ APPROVED:
CALC:	GD CADD: CEM
FIELD CHK:	CRD FILE: 2400747



SCALE: 1"=20'

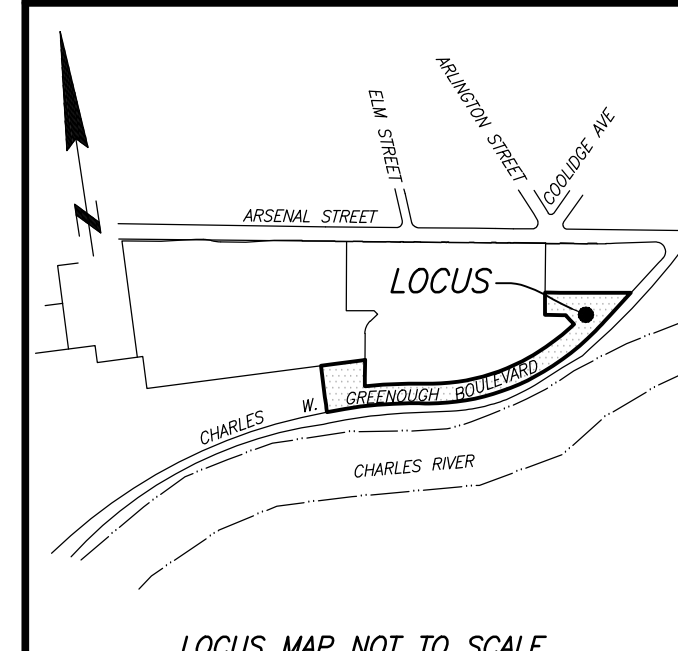
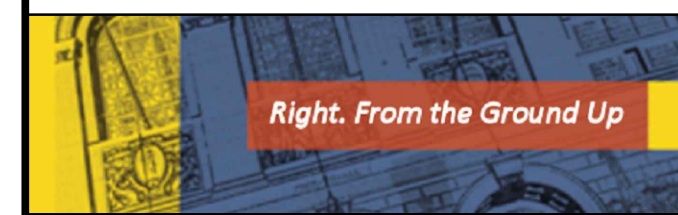
SHEET NO. 2 OF 3

(PLAN NO. 1002 OF 198)

BOSTON HEADQUARTERS  
152 HAMPDEN STREET  
BOSTON, MA 02119

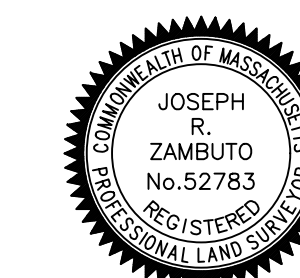
WORCESTER OFFICE  
27 MECHANIC STREET  
WORCESTER, MA 01608

(617)357-9740  
www.feldmangeo.com



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST PLANS AND DEEDS OF RECORD.

*JRH* 8/12/2025  
JOSEPH R. ZAMBUTO, PLS DATE  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM



DRAWING NAME:

**EXISTING CONDITIONS/  
AS-BUILT  
PLAN OF LAND  
500 FORGE ROAD  
WATERTOWN, MASS.**

DATE: JULY 9, 2024

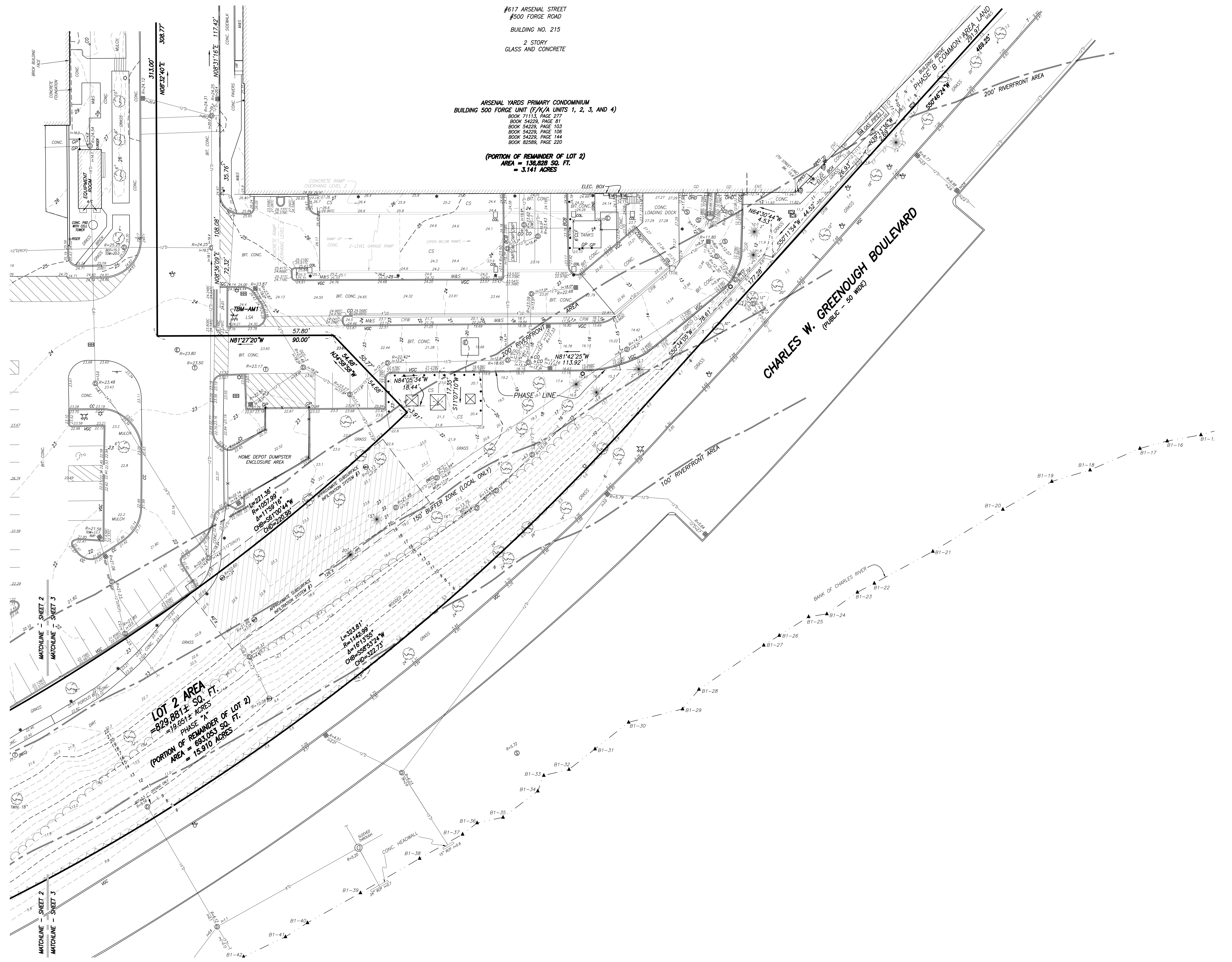
REVISIONS:  
06/25/2025 ADDED TOPO AT 100 FORGE ROAD

FILENAME: 2400747-EC-SUBMIT-2025-08-12.dwg  
RESEARCH: SMD FIELD CHIEF: AM  
PROJ MGR: JRZ APPROVED:  
CALC: GD CADD: CEM  
FIELD CHK: CRD FILE: 2400747

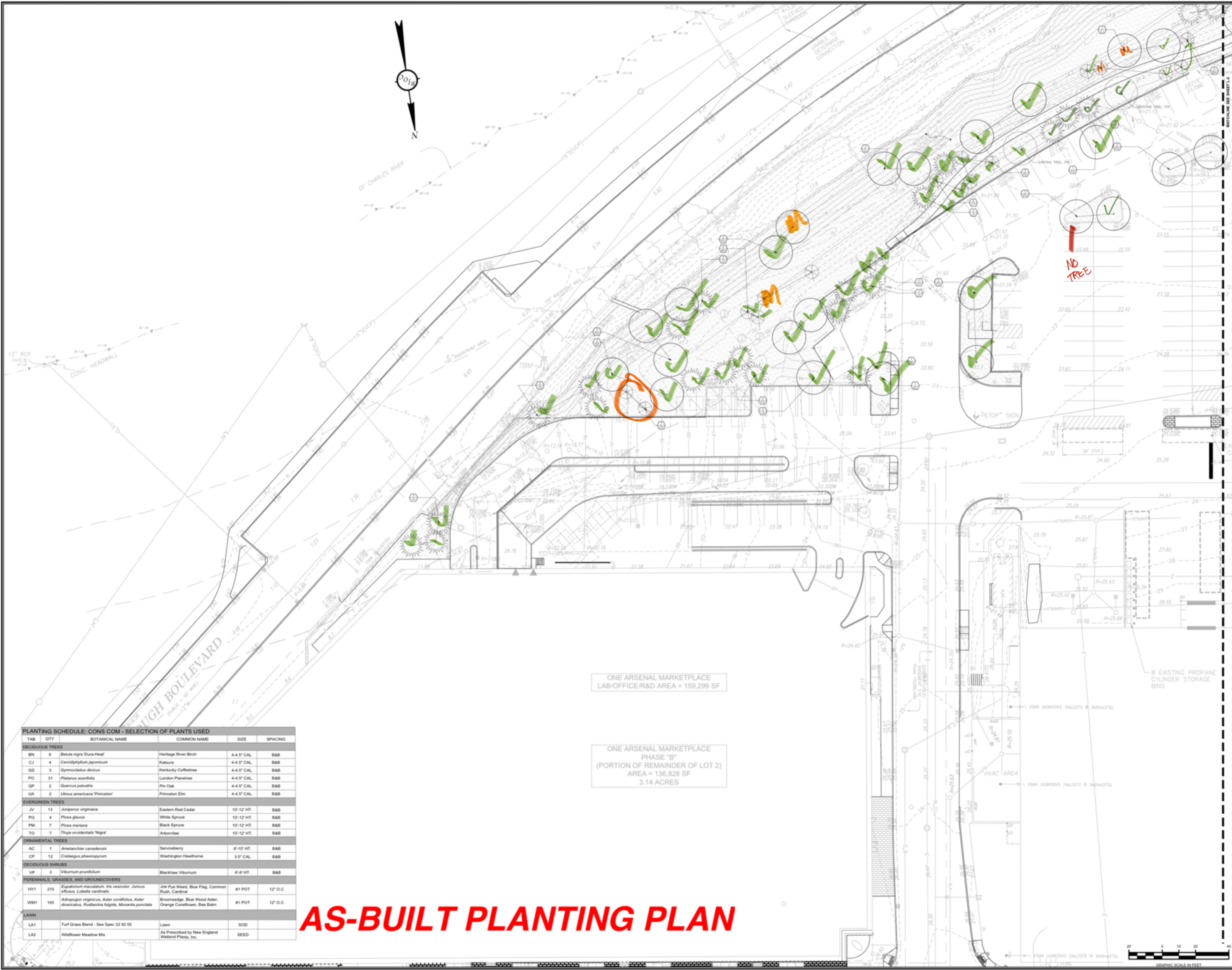


SCALE: 1"=20'

SHEET NO. 3 OF 3



**GRADING AND DRAINAGE SHOWN**



**AS-BUILT PLANTING PLAN**

TAB	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>DECIDUOUS TREES</b>					
BN	9	Betula nigra 'Dura-Heat'	Heritage River Birch	4-4.5" CAL	8x8
CJ	4	Cerciphyllum japonicum	Katsura	4-4.5" CAL	8x8
GO	3	Gymnocladus dioica	Kentucky Coffeetree	4-4.5" CAL	8x8
PO	31	Platanus acerifolia	London Planetree	4-4.5" CAL	8x8
QP	2	Quercus palustris	Pin Oak	4-4.5" CAL	8x8
UA	2	Ulmus americana 'Princeton'	Princeton Elm	4-4.5" CAL	8x8
<b>EVERGREEN TREES</b>					
ZV	13	Juniperus virginiana	Eastern Red Cedar	10'-12' HT.	8x8
PG	4	Picea glauca	White Spruce	10'-12' HT.	8x8
PM	7	Picea mariana	Black Spruce	10'-12' HT.	8x8
TD	7	Thuja occidentalis 'Nigra'	Arbutus	10'-12' HT.	8x8
<b>ORNAMENTAL TREES</b>					
AC	1	Amelanchier canadensis	Servicberry	8'-10' HT.	8x8
CP	12	Cotoneaster phaeocaryum	Washington Hawthorne	3.5" CAL	8x8
<b>DECIDUOUS SHRUBS</b>					
VP	3	Viburnum prunifolium	Blackhaw Viburnum	6'-8' HT.	8x8
<b>PERENNIALS, GRASSES, AND GROUNDCOVERS</b>					
HY1	215	Eupatorium maculatum, Iris versicolor, Juncea effusa, Lobelia cardinalis	Jay Phe Weed, Blue Flag, Common Rush, Cardinal	#1 POT	12" O.C
WM1	193	Achillea millefolium, Aster cordifolius, Aster divaricatus, Rudbeckia fulgida, Monarda punctata	Broomsedge, Blue Wood Aster, Orange Coneflower, Bee Balm	#1 POT	12" O.C
<b>LAWN</b>					
LA1		Turf Grass Blend - See Spec 32 92 00	Lawn	SOD	
LA2		Wildflower Meadow Mix	As Prescribed by New England Wetland Plants, Inc.	SEED	

NO.	DATE	REVISION
1		

Issued to Conservation Commission

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 85 NEWVILLE AVENUE, SUITE 201 BOSTON, MA 02116  
 PHONE: 781.279.0189 RJOCONNELL.COM

PREPARED FOR:  
**BOYLSTON PROPERTIES**  
 800 BOYLSTON STREET, SUITE 1390  
 BOSTON, MA 02199

PROJECT NAME:  
**ARSENAL YARDS**  
**ONE ARSENAL MARKETPLACE**  
 617 ARSENAL STREET  
 WATERTOWN, MA

DESIGNED BY: AAA  
 DRAWN BY: WH  
 REVIEWED BY: AAA  
 SCALE: 1" = 20'  
 DATE: 11/24/2020  
 DRAWING NAME:

**PLANTING PLAN**

DRAWING NUMBER:  
**L-1**

PROJECT NUMBER:  
**20159**

Drawing name: \usasset\bigrep.com\JBO\2016-089\_Arsenal5.9 Drawings\59\loc\current\210113\_L-1 Planting Plan.dwg  
 Jan 21, 2021 - 16:07pm



MATCHLINE SEE SHEET L-1

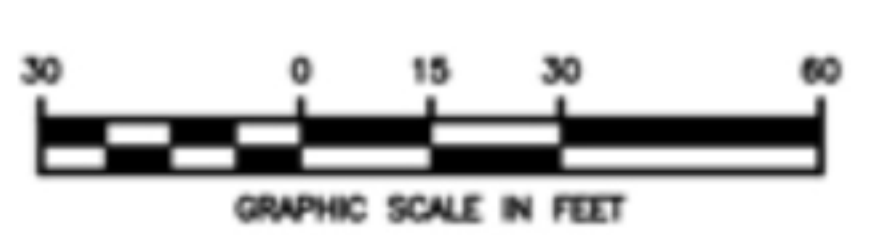
EXISTING HOME DEPOT

ARSENAL STREET  
(PUBLIC - VARIABLE WIDTH)

**PLANTING SCHEDULE: CONS COM - SELECTION OF PLANTS USED**

TAB	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>DECIDUOUS TREES</b>					
BN	9	Betula nigra 'Dura-Heat'	Heritage River Birch	4-4.5" CAL.	S&B
CJ	4	Cercidiphyllum japonicum	Katsura	4-4.5" CAL.	S&B
GD	3	Gymnocladia dioica	Kentucky Coffeetree	4-4.5" CAL.	S&B
PO	31	Platanus acerifolia	London Planetree	4-4.5" CAL.	S&B
QP	2	Quercus palustris	Pin Oak	4-4.5" CAL.	S&B
UA	2	Ulmus americana 'Princeton'	Princeton Elm	4-4.5" CAL.	S&B
<b>EVERGREEN TREES</b>					
JV	13	Juniperus virginiana	Eastern Red Cedar	10'-12" HT.	S&B
PG	4	Picea glauca	White Spruce	10'-12" HT.	S&B
PM	7	Picea mariana	Black Spruce	10'-12" HT.	S&B
TO	7	Thuja occidentalis 'Nigra'	Arborvitae	10'-12" HT.	S&B
<b>ORNAMENTAL TREES</b>					
AC	1	Amelanchier canadensis	Serviceberry	6-10' HT.	S&B
CP	12	Crataegus phaenocaryum	Washington Hawthorne	3.5" CAL.	S&B
<b>DECIDUOUS SHRUBS</b>					
VP	3	Viburnum prunifolium	Blackhaw Viburnum	6'-8" HT.	S&B
<b>PERENNIALS, GRASSES, AND GROUNDCOVERS</b>					
HY1	215	Eupatorium maculatum, Iris vesicolor, Juncus effusus, Lobelia cardinalis	Joe Pye Weed, Blue Flag, Common Rush, Cardinal	#1 POT	12" O.C.
WM1	193	Achillea millefolium, Aster cordifolius, Aster divaricatus, Rudbeckia hirta, Monarda punctata	Broomsedge, Blue Wood Aster, Orange Coneflower, Bee Balm	#1 POT	12" O.C.
<b>LAWN</b>					
LA1		Turf Grass Blend - See Spec 32 92 00	Lawn	SOD	
LA2		Willflower Meadow Mix	As Prescribed by New England Wetland Plants, Inc.	SEED	

# AS-BUILT PLANTING PLAN



No.	Date	Revision
10	11/07/2017	ISSUED FOR BUILDING PERMIT
9	09/12/2017	ISSUED FOR PHASE 3 BUILDING 3 SPECIAL PERMIT
8	07/17/2017	ISSUED FOR PHASE 3 BUILDING 3 SITE PLAN REVIEW
7	06/22/2017	ISSUED FOR PHASE 3 BUILDING 3 DEVELOPMENT
6	04/11/2017	ISSUED FOR PHASE 1 SPECIAL PERMIT
5	03/14/2017	ISSUED FOR SITE PLAN REVIEW
4	02/02/2017	ISSUED FOR NOISE AT MIT
3	01/20/2017	RESUBMITTED FOR MPP
2	10/12/2016	RESUBMITTED FOR MPP
1	09/13/2016	RESUBMITTED FOR MPP
10	07/17/2016	ISSUED FOR MASTER PLAN SPECIAL PERMIT
9	07/17/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 SPECIAL PERMIT
8	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
7	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
6	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
5	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
4	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
3	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
2	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW
1	06/06/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 PLAN REVIEW

Designed by: RWS/JUS  
Drawn by: RJK  
Checked by: JUS/RWS  
Scale: 1"=30'  
Date: 07/11/2016

Prepared for:

**BOYLSTON PROPERTIES**  
80 BOYLSTON STREET, SUITE 1300  
BOSTON, MA 02109  
PHONE: 617-262-4646

Prepared by:

**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
80 MONTVALE AVENUE  
STONEHAM, MA 02180  
PHONE: 781-279-0180  
FAX: 781-279-0173

Project Name:

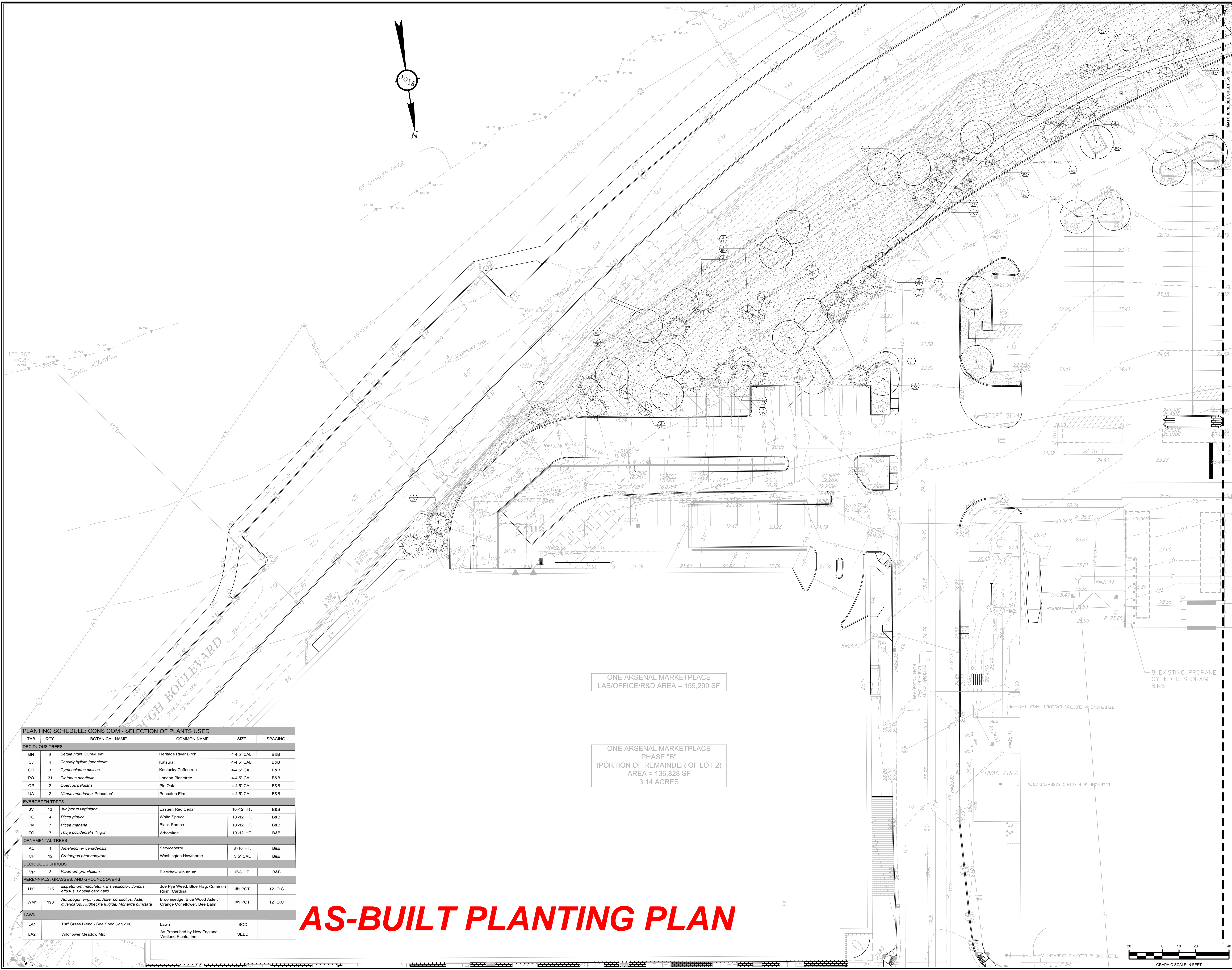
**ARSENAL YARDS**  
ONE ARSENAL MARKETPLACE

Drawing Name:

PLANTING PLAN

Drawing No.:

L-2  
Project No.: 20159



**PLANTING SCHEDULE: CONS COM - SELECTION OF PLANTS USED**

TAB	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>DECIDUOUS TREES</b>					
BN	9	<i>Betula nigra</i> 'Dura-Heat'	Heritage River Birch	4-4.5" CAL.	8x8
CJ	4	<i>Cercidiphyllum japonicum</i>	Katsura	4-4.5" CAL.	8x8
GD	3	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	4-4.5" CAL.	8x8
PO	31	<i>Platanus acerifolia</i>	London Planetree	4-4.5" CAL.	8x8
QP	2	<i>Quercus palustris</i>	Pin Oak	4-4.5" CAL.	8x8
UA	2	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	4-4.5" CAL.	8x8
<b>EVERGREEN TREES</b>					
JV	13	<i>Juniperus virginiana</i>	Eastern Red Cedar	10'-12" HT.	8x8
PG	4	<i>Picea glauca</i>	White Spruce	10'-12" HT.	8x8
PM	7	<i>Picea mariana</i>	Black Spruce	10'-12" HT.	8x8
TO	7	<i>Thuja occidentalis</i> 'Nigra'	Arborvitae	10'-12" HT.	8x8
<b>ORNAMENTAL TREES</b>					
AC	1	<i>Amelanchier canadensis</i>	Servicberry	8'-10" HT.	8x8
CP	12	<i>Crataegus phaenopyrum</i>	Washington Hawthorne	3.5" CAL.	8x8
<b>DECIDUOUS SHRUBS</b>					
VP	3	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	6'-8" HT.	8x8
<b>PERENNIALS, GRASSES, AND GROUNDCOVERS</b>					
HY1	215	<i>Eupatorium maculatum</i> , <i>Iris vesicolor</i> , <i>Juncus effusus</i> , <i>Lobelia cardinalis</i>	Joe Pye Weed, Blue Flag, Common Rush, Cardinal	#1 POT	12" O.C.
WM1	193	<i>Achillea millefolium</i> , <i>Aster cordifolius</i> , <i>Aster divaricatus</i> , <i>Rudbeckia fulgida</i> , <i>Monarda punctata</i>	Broomsedge, Blue Wood Aster, Orange Coneflower, Bee Balm	#1 POT	12" O.C.
<b>LAWN</b>					
LA1		Turf Grass Blend - See Spec 32 92 00	Lawn		SOD
LA2		Wildflower Meadow Mix	As Prescribed by New England Wetland Plants, Inc.		SEED

## AS-BUILT PLANTING PLAN

NO.	DATE	REVISION
1	11/24/2020	ISSUED TO CONSERVATION COMMISSION

Issued to Conservation Commission

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 80 MONTELEONE AVENUE, SUITE 201, BOSTON, MA 02109  
 PHONE: 781.279.0180 RJOCONNELL.COM

PROJECT NAME:  
**ARSENAL YARDS**  
**ONE ARSENAL MARKETPLACE**  
 617 ARSENAL STREET  
 WATERTOWN, MA

8 EXISTING PROPANE CYLINDER STORAGE BINS

HVAC AREA

TELEPHONE & ELECTRIC EASEMENT AREA 1

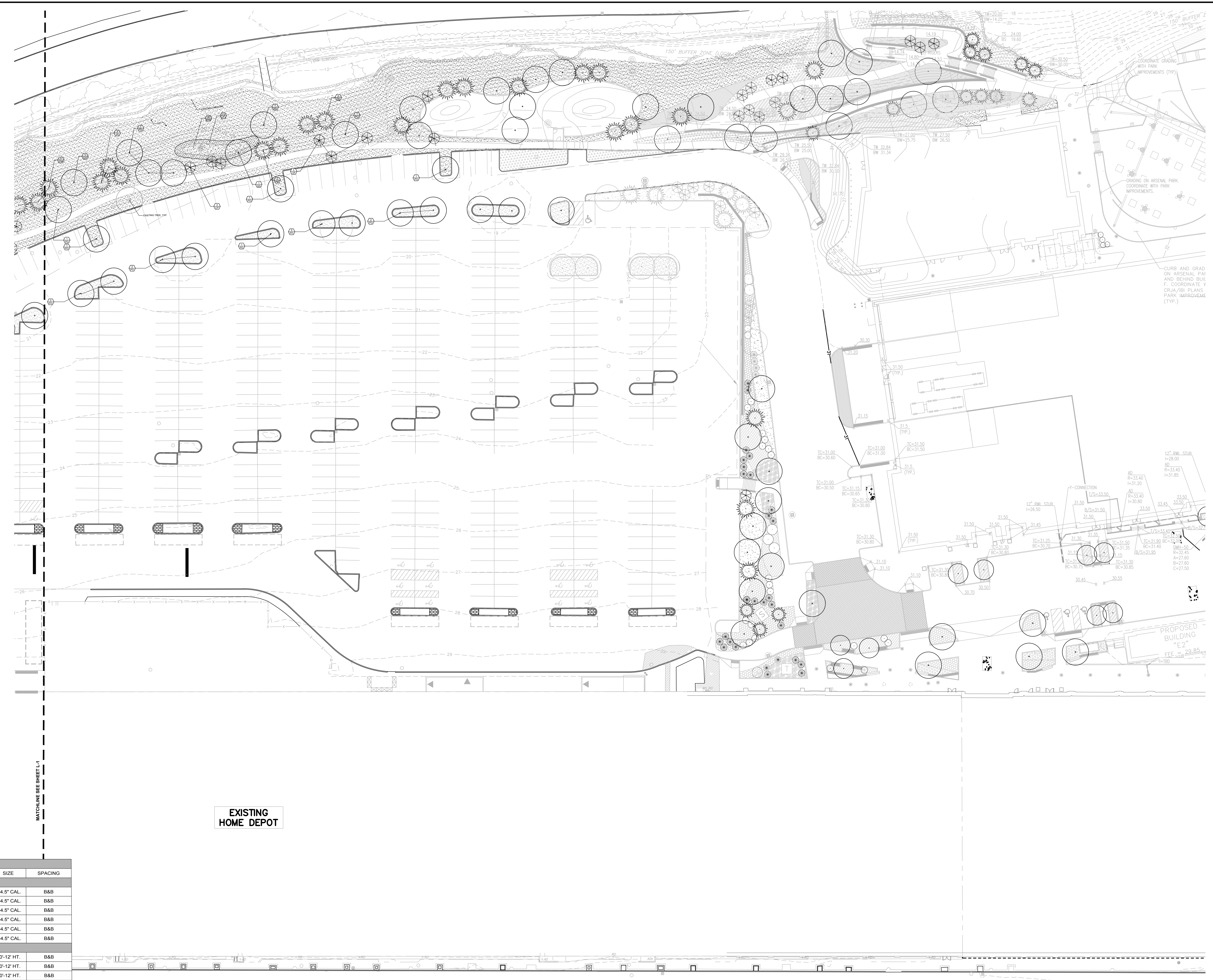
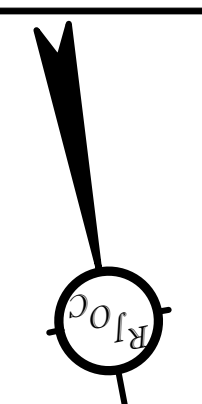
TELEPHONE & ELECTRIC EASEMENT AREA 1

DESIGNED BY: AAA  
 DRAWN BY: WJH  
 REVIEWED BY: AAA  
 SCALE: 1" = 20'  
 DATE: 11/24/2020  
 DRAWING NAME:

DRAWING NUMBER:  
**L-1**

PROJECT NUMBER:  
**20159**

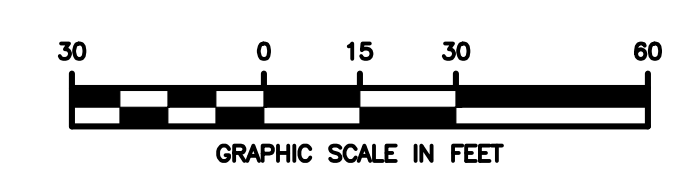
Page 19 of 183



MATCHLINE SEE SHEET L-1

EXISTING HOME DEPOT

ARSENAL STREET  
(PUBLIC - VARIABLE WIDTH)



# AS-BUILT PLANTING PLAN

**PLANTING SCHEDULE: CONS COM - SELECTION OF PLANTS USED**

TAB	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>DECIDUOUS TREES</b>					
BN	9	<i>Betula nigra</i> 'Dura-Heat'	Heritage River Birch	4-4.5" CAL.	B&B
CJ	4	<i>Cercidiphyllum japonicum</i>	Katsura	4-4.5" CAL.	B&B
GD	3	<i>Gymnocladus dioica</i>	Kentucky Coffeetree	4-4.5" CAL.	B&B
PO	31	<i>Platanus acerifolia</i>	London Planetree	4-4.5" CAL.	B&B
QP	2	<i>Quercus palustris</i>	Pin Oak	4-4.5" CAL.	B&B
UA	2	<i>Ulmus americana</i> 'Princeton'	Princeton Elm	4-4.5" CAL.	B&B
<b>EVERGREEN TREES</b>					
JV	13	<i>Juniperus virginiana</i>	Eastern Red Cedar	10'-12" HT.	B&B
PG	4	<i>Picea glauca</i>	White Spruce	10'-12" HT.	B&B
PM	7	<i>Picea mariana</i>	Black Spruce	10'-12" HT.	B&B
TO	7	<i>Thuja occidentalis</i> 'Nigra'	Arborvitae	10'-12" HT.	B&B
<b>ORNAMENTAL TREES</b>					
AC	1	<i>Amelanchier canadensis</i>	Serviceberry	8'-10" HT.	B&B
CP	12	<i>Crataegus phaenopyrum</i>	Washington Hawthorne	3.5" CAL.	B&B
<b>DECIDUOUS SHRUBS</b>					
VP	3	<i>Viburnum prunifolium</i>	Blackhaw Viburnum	6'-8" HT.	B&B
<b>PERENNIALS, GRASSES, AND GROUNDCOVERS</b>					
HY1	215	<i>Eupatorium maculatum</i> , <i>Iris vesicaria</i> , <i>Juncus effusus</i> , <i>Lobelia cardinalis</i>	Joe Pye Weed, Blue Flag, Common Rush, Cardinal	#1 POT	12" O.C.
WM1	193	<i>Adiantum virginicum</i> , <i>Aster corifolius</i> , <i>Aster divaricatus</i> , <i>Rudbeckia fulgida</i> , <i>Monarda punctata</i>	Broomsedge, Blue Wood Aster, Orange Coneflower, Bee Balm	#1 POT	12" O.C.
<b>LAWN</b>					
LA1		Turf Grass Blend - See Spec 32 92 00	Lawn	SOD	
LA2		Wildflower Meadow Mix	As Prescribed by New England Wetland Plants, Inc.	SEED	

No.	Date	Revision
1.	07/17/2016	ISSUED FOR MASTER PLAN SPECIAL PERMIT
2.	09/13/2016	REVISED FOR MWSP
3.	07/29/2017	ISSUED FOR ENGINEERING DEPARTMENT REVIEW
4.	07/29/2017	ISSUED FOR PHASE 4 BUILDINGS A, M, AND N IMPROVEMENT
5.	03/14/2017	ISSUED FOR PHASE 4 BUILDING C
6.	03/14/2017	ISSUED FOR PHASE 4 BUILDING D
7.	06/23/2017	ISSUED FOR PHASE 4 BUILDING E
8.	06/23/2017	ISSUED FOR PHASE 4 BUILDING F
9.	06/23/2017	ISSUED FOR PHASE 4 BUILDING G
10.	07/13/2016	ISSUED FOR PHASE 4 BUILDINGS C, D, & E2 SITE PLAN REVIEW
11.	07/13/2016	ISSUED FOR PHASE 4 BUILDINGS C, D & E2 SITE PLAN REVIEW

Designed by: RWS/JJS  
 Drawn by: RJK  
 Checked by: JJS/RWS  
 Scale: 1"=30'  
 Date: 07/11/2016

Prepared for:  
  
**BOYLSTON PROPERTIES**  
 800 BOYLSTON STREET, SUITE 1390  
 BOSTON, MA 02199  
 PHONE: 617-262-4646

Prepared by:  
**RJO'CONNELL & ASSOCIATES, INC.**  
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
 80 MONTVALE AVENUE  
 STONEHAM, MA 02180  
 PHONE: 781-279-0180  
 FAX: 781-279-0173

Project Name:  
**ARSENAL YARDS**  
 ONE ARSENAL MARKETPLACE

Drawing Name:  
 PLANTING PLAN

Drawing No.:  
**L-2**  
 Project No.: 20159

### Replacement Plants

Plant Name	Size	Qty
Platanus Acerifolia	4-4.5"	2
Crataegus Phaenopyrum	3.5"	1
Juniperus Virginiana	10-12'	2
Picea Glauca	10-12'	2

Total Replacements: (x7)

Total Plantings: (x506)

Total Replacements (%): 1.40%

August 27, 2025

City of Watertown  
Conservation Commission  
Attn: Katie Swan, Environmental Planner/Conservation Agent  
149 Main Street, 3<sup>rd</sup> Floor  
Watertown, MA 02472

Re: Engineer's Certification  
OOC #321-0178  
64 Pleasant Street  
Watertown, MA 02472

Dear Members of the Commission:

On behalf of the owner/applicant, Berkley Investments Inc., Bohler is pleased to submit the the Final As-Built Plan and Engineer's Certification for the redevelopment at the above referenced property. Based on the completion of the site improvements as detailed on the provided plan, the applicant is seeking a Certificate of Compliance for the development. In support of this submission, enclosed, please find the following:

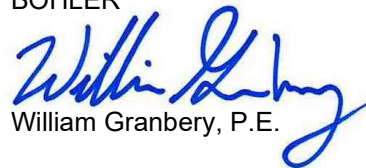
- As-Built Plan of Land for 64 Pleasant Street in Watertown, MA prepared by Feldman Geospatial dated March 21, 2024; and
- WPA Form 8A

Bohler has reviewed the As-Built Survey prepared by Feldman Geospatial for general conformance with the approved plan referenced in and the work regulated by the Order of Conditions issued on July 14, 2021 and Extension issued June 6, 2024 by the Conservation Commission.

To the best of our knowledge and belief, and given the scope of the above review of the enclosed as-built, the site plan area identified above is in general conformance with the recorded Order of Conditions and approved plans.

Should you have any questions regarding this letter or require additional information, please do not hesitate to contact me at 617-849-8040.

Sincerely,  
BOHLER



William Granbery, P.E.



Zachary Richards, P.E.



**WPA Form 8A – Request for Certificate of Compliance**

321-0178

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

**A. Project Information**

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:

Berkeley Investments Inc.

Name

125 High Street, Suite 531

Mailing Address

Boston

City/Town

MA

State

02110

Zip Code

617-456-3305

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Berkeley Investments Inc.

Applicant

07/14/2021

Dated

321-0178

DEP File Number

3. The project site is located at:

64 Pleasant Street

Street Address

Watertown

City/Town

1E

Assessors Map/Plat Number

202

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for:

Property Owner (if different)

Middlesex

County

78547

Book

306

Page

Certificate (if registered land)

5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



**WPA Form 8A – Request for Certificate of Compliance**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**A. Project Information (cont.)**

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes

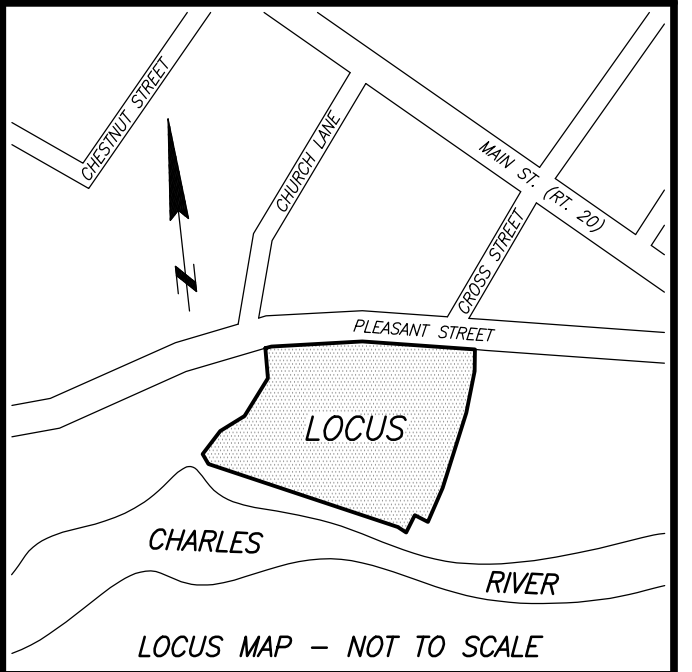
If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

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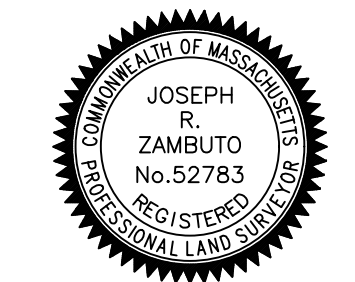
**B. Submittal Requirements**

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).



I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS, AND CERTIFICATES OF TITLE.

JOSEPH R. ZAMBUTO, PLS  
(MA# 52783)  
JZAMBUTO@FELDMANGEO.COM  
DATE: 7/2/2025



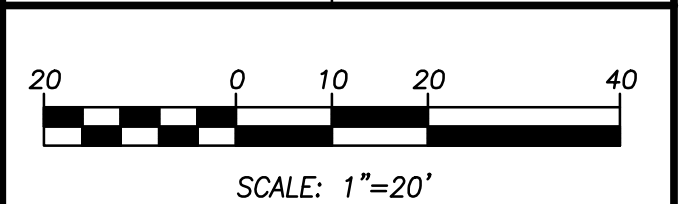
DRAWING NAME:

**AS-BUILT  
PLAN OF LAND  
64 PLEASANT STREET  
WATERTOWN, MASS.**

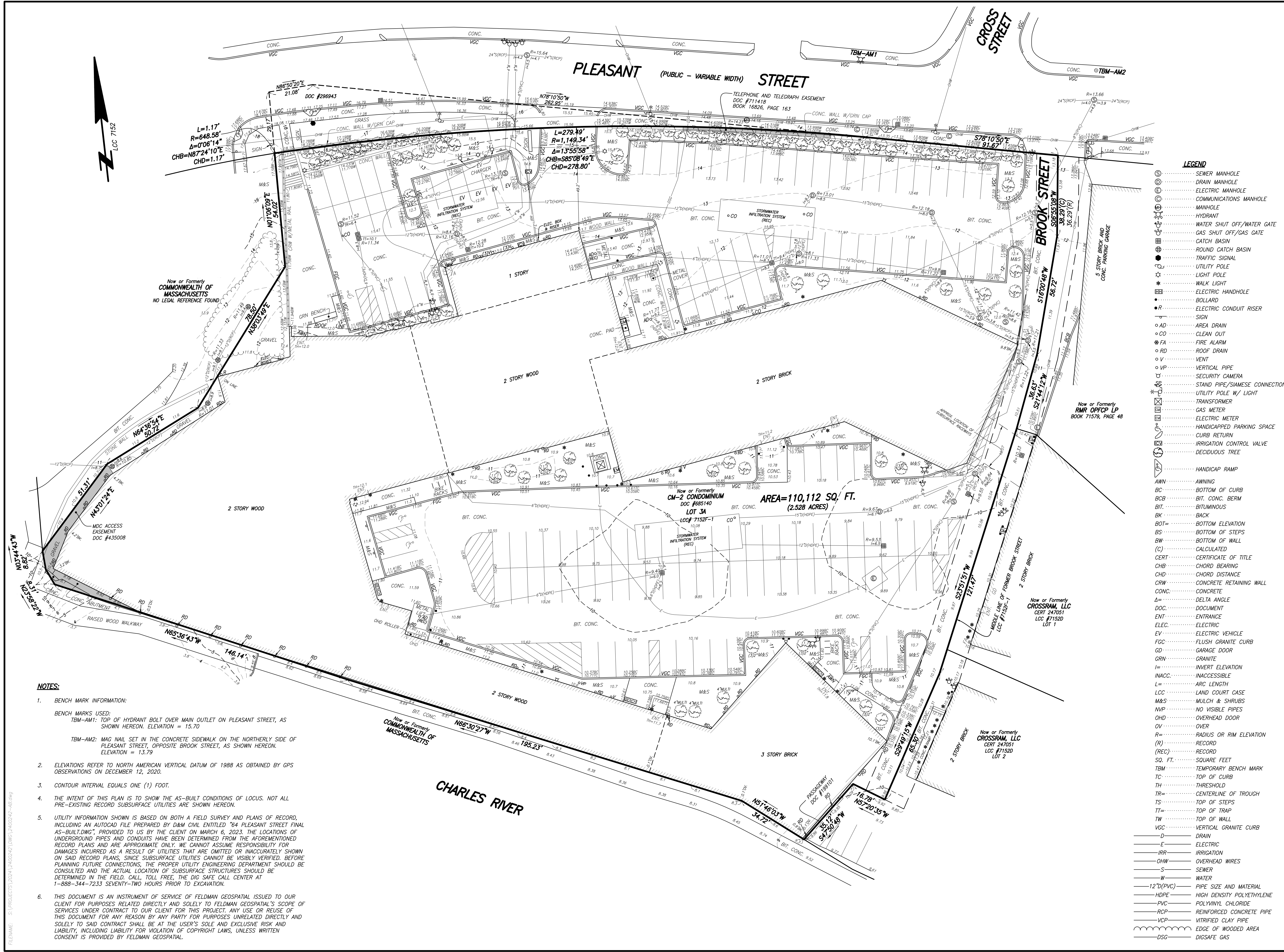
DATE: MARCH 21, 2024

REVISIONS:	

FILENAME: 2400242-AB.dwg	
RESEARCH: JD	FIELD CHIEF: AM
PROJ MGR: MJB	APPROVED: [Signature]
CALC: JD	CADD: MJB
FIELD CHK: [Signature]	CRD FILE: 2400242



SHEET NO. 1 OF 1



- LEGEND**
- SEWER MANHOLE
  - DRAIN MANHOLE
  - ELECTRIC MANHOLE
  - COMMUNICATIONS MANHOLE
  - MANHOLE
  - HYDRANT
  - WATER SHUT OFF/WATER GATE
  - GAS SHUT OFF/GAS GATE
  - CATCH BASIN
  - ROUND CATCH BASIN
  - TRAFFIC SIGNAL
  - UTILITY POLE
  - LIGHT POLE
  - WALK LIGHT
  - ELECTRIC HANDHOLE
  - BOLLARD
  - ELECTRIC CONDUIT RISER
  - SIGN
  - AD AREA DRAIN
  - CO CLEAN OUT
  - FA FIRE ALARM
  - RD ROOF DRAIN
  - V VENT
  - VP VERTICAL PIPE
  - SECURITY CAMERA
  - STAND PIPE/SIAMESE CONNECTION
  - UTILITY POLE W/ LIGHT
  - TRANSFORMER
  - GAS METER
  - ELECTRIC METER
  - HANDICAPPED PARKING SPACE
  - CURB RETURN
  - IRRIGATION CONTROL VALVE
  - DECIDUOUS TREE
  - HANDICAP RAMP
  - AWN AWNING
  - BC BOTTOM OF CURB
  - BCB BIT. CONC. BERM
  - BIT. BITUMINOUS
  - BK BACK
  - BOT= BOTTOM ELEVATION
  - BS= BOTTOM OF STEPS
  - BW= BOTTOM OF WALL
  - (C) CALCULATED
  - CERT CERTIFICATE OF TITLE
  - CHB CHORD BEARING
  - CHD CHORD DISTANCE
  - CRW CONCRETE RETAINING WALL
  - CONC. CONCRETE
  - Δ= DELTA ANGLE
  - DOC. DOCUMENT
  - ENT ENTRANCE
  - ELEC. ELECTRIC
  - EV ELECTRIC VEHICLE
  - FGC FLUSH GRANITE CURB
  - GD GARAGE DOOR
  - GRN GRANITE
  - I= INVERT ELEVATION
  - INACC. INACCESSIBLE
  - L= ARC LENGTH
  - LOC. LAND COURT CASE
  - M&S MULCH & SHRUBS
  - NVP NO VISIBLE PIPES
  - OHD OVERHEAD DOOR
  - OV OVER
  - R= RADIUS OR RIM ELEVATION
  - (R) RECORD
  - (REC) RECORD
  - SQ. FT. SQUARE FEET
  - TH THRESHOLD
  - TR= CENTERLINE OF TROUGH
  - TS TOP OF STEPS
  - TT= TOP OF TRAP
  - TW TOP OF WALL
  - VGC VERTICAL GRANITE CURB
  - D DRAIN
  - E ELECTRIC
  - IRR IRRIGATION
  - OHW OVERHEAD WIRES
  - S SEWER
  - W WATER
  - 12" D(PVC) PIPE SIZE AND MATERIAL
  - HDPE HIGH DENSITY POLYETHYLENE
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - VCP VITRIFIED CLAY PIPE
  - EOE EDGE OF WOODED AREA
  - DSG DIGSAFE GAS

**NOTES:**

- BENCH MARK INFORMATION:  
BENCH MARKS USED:  
TBM-AM1: TOP OF HYDRANT BOLT OVER MAIN OUTLET ON PLEASANT STREET, AS SHOWN HEREON. ELEVATION = 15.70  
TBM-AM2: MAG NAIL SET IN THE CONCRETE SIDEWALK ON THE NORTHERLY SIDE OF PLEASANT STREET, OPPOSITE BROOK STREET, AS SHOWN HEREON. ELEVATION = 13.79
- ELEVATIONS REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 AS OBTAINED BY GPS OBSERVATIONS ON DECEMBER 12, 2020.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- THE INTENT OF THIS PLAN IS TO SHOW THE AS-BUILT CONDITIONS OF LOCUS. NOT ALL PRE-EXISTING RECORD SUBSURFACE UTILITIES ARE SHOWN HEREON.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD, INCLUDING AN AUTOCAD FILE PREPARED BY DAM CIVIL ENTITLED "64 PLEASANT STREET FINAL AS-BUILT.DWG", PROVIDED TO US BY THE CLIENT ON MARCH 6, 2023. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF FELDMAN GEOSPATIAL ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO FELDMAN GEOSPATIAL'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY FELDMAN GEOSPATIAL.

FILENAME: S:\Projects\2024\2400242-AB.dwg

# Middlesex South Registry of Deeds

## Electronically Recorded Document

This is the first page of the document - Do not remove

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### Recording Information

Document Number	: 190157
Document Type	: ORD
Recorded Date	: August 25, 2021
Recorded Time	: 02:39:01 PM
Recorded Book and Page	: 78547 / 306
Number of Pages(including cover sheet)	: 19
Receipt Number	: 2708538
Recording Fee	: \$105.00

**Middlesex South Registry of Deeds**  
**Maria C. Curtatone, Register**  
208 Cambridge Street  
Cambridge, MA 02141  
617-679-6300  
[www.middlesexsouthregistry.com](http://www.middlesexsouthregistry.com)

\* Marginal Ref: Book 76882, Page 294  
 Current Deed Reference at MSROD

**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 - Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 MassDEP File #:321-0178  
 eDEP Transaction #:1298747  
 City/Town:WATERTOWN

**A. General Information**

1. Conservation Commission      WATERTOWN
2. Issuance                              a.  OOC                              b.  Amended OOC
3. Applicant Details
  - a. First Name      MORGAN                              b. Last Name                              PIERSON
  - c. Organization      BERKLEY INVESTMENTS INC.
  - d. Mailing Address      125 HIGH STREET, SUITE 531
  - e. City/Town      BOSTON                              f. State      MA                              g. Zip Code                              02110
4. Property Owner
  - a. First Name      MORGAN                              b. Last Name                              PIERSON
  - c. Organization      BERKLEY INVESTMENTS INC.
  - d. Mailing Address      125 HIGH STREET, SUITE 531
  - e. City/Town      BOSTON                              f. State      MA                              g. Zip Code                              02110
5. Project Location
  - a. Street Address      64 PLEASANT STREET
  - b. City/Town      WATERTOWN                              c. Zip Code                              02472
  - d. Assessors      1E                              e. Parcel/Lot#                              202
  - Map/Plat#
  - f. Latitude      42.36595N                              g. Longitude                              71.18801W
6. Property recorded at the Registry of Deed for: \*
 

a. County	b. Certificate	c. Book	d. Page
NORTHERN MIDDLESEX	C 107	00069	106
7. Dates
 

a. Date NOI Filed : 6/4/2021	b. Date Public Hearing Closed: 7/14/2021	c. Date Of Issuance: 7/14/2021
------------------------------	--	--------------------------------
8. Final Approved Plans and Other Documents
 

a. Plan Title:	b. Plan Prepared by:	c. Plan Signed/Stamped by:	d. Revised Final Date:	e. Scale:
GENERAL CONSTRUCTION NOTES C-102	WNG/ACL	ZACHARY RICHARDS	06/11/2021	
SITE LAYOUT-C-301	WNG/ACL	ZACHARY RICHARDS	06/11/2021	
GRADING AND DRAINAGE- C-401	WNG/ACL	ZACHARY RICHARDS	06/11/2021	
SOIL EROSION CONTROL AND SEDIMENT- C-601	WNG/ACL	ZACHARY RICHARDS	06/11/2021	
SOIL EROSION CONTROL AND DETAILS- C-602	WNG/ACL	ZACHARY RICHARDS	06/11/2021	

**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**WPA Form 5 - Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 MassDEP File #:321-0178  
 eDEP Transaction #:1298747  
 City/Town:WATERTOWN

DETAILS SHEET- C-901	WNG/ACL	ZACHARY RICHARDS	06/11/2021
DETAILS SHEET- C-901	WNG/ACL	ZACHARY RICHARDS	06/11/2021
LANDSCAPE MATERIALS L-301	CAROLINE BRAGA		06/11/2021
LANDSCAPE PLANTING PLANS L-401	CAROLINE BRAGA		06/11/2021

**B. Findings**

**1. Findings pursuant to the Massachusetts Wetlands Protection Act**

Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.

Check all that apply:

<input type="checkbox"/> a. Public Water Supply	<input type="checkbox"/> b. Land Containing Shellfish	<input type="checkbox"/> c. Prevention of Pollution
<input type="checkbox"/> d. Private Water Supply	<input type="checkbox"/> e. Fisheries	<input checked="" type="checkbox"/> f. Protection of Wildlife Habitat
<input type="checkbox"/> g. Ground Water Supply	<input type="checkbox"/> h. Storm Damage Prevention	<input type="checkbox"/> i. Flood Control

**2. Commission hereby finds the project, as proposed, is:**

**Approved subject to:**

- a.  The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

**Denied because:**

- b.  The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c.  The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act , and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

- 3.  **Buffer Zone Impacts:** Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a). 200  
a. linear feet

**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
**WPA Form 5 - Order of Conditions**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:  
 MassDEP File #:321-0178  
 eDEP Transaction #:1298747  
 City/Town:WATERTOWN

**Inland Resource Area Impacts:(For Approvals Only):**

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u>                    </u> a. linear feet	<u>                    </u> b. linear feet	<u>                    </u> c. linear feet	<u>                    </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
	<u>                    </u> e. c/y dredged	<u>                    </u> f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. square feet	<u>                    </u> d. square feet
Cubic Feet Flood Storage	<u>                    </u> e. cubic feet	<u>                    </u> f. cubic feet	<u>                    </u> g. cubic feet	<u>                    </u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
Cubic Feet Flood Storage	<u>                    </u> c. cubic feet	<u>                    </u> d. cubic feet	<u>                    </u> e. cubic feet	<u>                    </u> f. cubic feet
9. <input type="checkbox"/> Riverfront Area	<u>                    </u> a. total sq. feet	<u>                    </u> b. total sq. feet		
Sq ft within 100 ft	<u>                    </u> c. square feet	<u>                    </u> d. square feet	<u>                    </u> e. square feet	<u>                    </u> f. square feet
Sq ft between 100-200 ft	<u>                    </u> g. square feet	<u>                    </u> h. square feet	<u>                    </u> i. square feet	<u>                    </u> j. square feet

**Coastal Resource Area Impacts:**

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input type="checkbox"/> Land Under the Ocean	<u>                    </u> a. square feet	<u>                    </u> b. square feet		
	<u>                    </u> c. c/y dredged	<u>                    </u> d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. c/y nourishment	<u>                    </u> d. c/y nourishment
14. <input type="checkbox"/> Coastal Dunes	<u>                    </u> a. square feet	<u>                    </u> b. square feet	<u>                    </u> c. c/y nourishment	<u>                    </u> d. c/y nourishment

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

WPA Form 5 - Order of Conditions

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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- 15. Coastal Banks
16. Rocky Intertidal Shores
17. Salt Marshes
18. Land Under Salt Ponds
19. Land Containing Shellfish
20. Fish Runs
21. Land Subject to Coastal Storm Flowage

22. Restoration/Enhancement (For Approvals Only)
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c & d or B.17.c & d above, please entered the additional amount here.

a. square feet of BVW b. square feet of Salt Marsh

23. Streams Crossing(s)
If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

a. number of new stream crossings b. number of replacement stream crossings

- C. General Conditions Under Massachusetts Wetlands Protection Act
The following conditions are only applicable to Approved projects
1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:

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- a. the work is a maintenance dredging project as provided for in the Act; or
  - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
  6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not exceed the issuance date of the original Final Order of Conditions.
  7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
  8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
  9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..
  10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,
 

" Massachusetts Department of Environmental Protection"  
[or "MassDEP"]  
File Number : "321-0178"
  11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.
  12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
  13. The work shall conform to the plans and special conditions referenced in this order.
  14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
  15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
  16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
  17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
  18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During

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construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

**NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS**

19. The work associated with this Order(the "Project") is (1)  is not (2)  subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;
- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
  - b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.
  - c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.* the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.* the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
  - d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
  - e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the

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proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
  - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
  - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
  - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

**Special Conditions:**

**D. Findings Under Municipal Wetlands Bylaw or Ordinance**

1. Is a municipal wetlands bylaw or ordinance applicable?  Yes  No

2. The Conservation Commission hereby (check one that applies):

a.  DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw \_\_\_\_\_ 2. Citation \_\_\_\_\_

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order or Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b.  APPROVES the proposed work, subject to the

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following additional conditions.

- 1. Municipal Ordinance or Bylaw 2008
- 2. Citation 0067

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:  
SEE SPECIAL CONDITIONS ATTACHED



**Massachusetts Department of Environmental Protection**  
**Bureau of Resource Protection - Wetlands**  
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**E. Signatures**

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

Please indicate the number of members who will sign this form.

This Order must be signed by a majority of the Conservation Commission.

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

7/14/21

1. Date of Issuance

5

2. Number of Signers

*By Vote on September 9, 2020, the Conservation Commission authorized the Conservation Agent, Laurel Schwab, to sign on their behalf pursuant to the signature authorization recorded with the Middlesex South Registry of Deeds in Book 75782 Page 227. They also intend for their typed names below to serve their electronic signatures for any entity (MassDEP) that accepts electronic signatures.*

/Leo Martin/  
Signature

Leo Martin  
Printed Name

/Maria Rose/  
Signature

Maria Rose  
Printed Name

/Charles Bering/  
Signature

Charles Bering  
Printed Name

/Jamie O'Connell/  
Signature

Jamie O'Connell  
Printed Name

/Patrick Fairbairn/  
Signature

Patrick Fairbairn  
Printed Name

Signature

Printed Name

Signature  
*Laurel Schwab*  
Signature (Conservation Agent)

Printed Name  
Laurel Schwab  
Printed Name

by hand delivery on

by certified mail, return receipt requested, on

Date

Date  
7/29/21

**Massachusetts Department of Environmental Protection**  
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**E. Signatures**

This Order is valid for three years from the date of issuance, unless otherwise specified pursuant to General Condition #4. If this is an Amended Order of Conditions, the Amended Order expires on the same date as the original Order of Conditions.

7/14/2021  
1. Date of Original Order

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

5  
2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

Jamie O'Connell

Leo Martin

Patrick Fairbairn

Maria Rose

Charles Bering

by hand delivery on

by certified mail, return receipt requested, on

Date

Date

**F. Appeals**

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request for Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act



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Protection**  
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Signature of Applicant

Rev. 4/7/2010

**64 Pleasant Street  
Special Conditions  
321-0178 WWO-2021-05**

Special Conditions List

18. Prior to the commencement of work on site:

a. Or within 30 days of issuance of this Order of Conditions/Watertown Wetlands permit: the applicant shall record this Order/Permit at the Middlesex South District Registry of Deeds and shall provide to the Commission an attested copy of this Order/Permit showing either the instrument number or the Book and Page number evidencing recordation.

b. The applicant or its agent shall provide to the Commission written notification giving the name, title address and telephone numbers of the person or persons designated by the petitioner to be in compliance with the conditions of this Order/Permit on site.

c. Erosion controls, consistent with USDA Soil Conservation Service Guidelines, and as detailed on an approved plan submitted by the applicant, shall be installed by hand and maintained so as to prevent sedimentation of wetland resource areas for the duration of the project. These barriers shall be properly entrenched and secured as per manufacturers' instructions and reviewed by the Conservation Agent.

d. The applicant shall notify the Commission 48 hours prior to the commencement of activity on site for inspection of erosion and sedimentation controls.

19. A copy of all information concerning drainage on the site that was submitted to the Watertown Department of Public Works shall be submitted to the Conservation Commission prior to any activity on site.

20. A detailed contingency plan in the case of a sewer line break, or any other activity requiring de-watering, shall be submitted to the Conservation Commission prior to the start of construction.

21. A pre-construction meeting shall be held by the applicant with the applicant or the applicant's representative and the Conservation Agent.

22. Names and telephone numbers of a designated on-site supervisor to be responsible for compliance with this Order of Conditions/Permit shall be submitted to the Watertown Conservation Commission prior to any activity on site.

**64 Pleasant Street  
Special Conditions  
321-0178 WWO-2021-05**

23. Work shall conform in all respects to plans and supporting data cited herein, unless otherwise conditioned in this Order/Permit. No other changes shall be made without formal approval from the Conservation Commission. This Order of Conditions does not relieve the applicant from complying with all other federal, state, and local laws and regulations.

24. The applicant shall notify the Commission of any change required by other boards. Any change contemplated or required in the approved plans, cited herein, shall be submitted to the Conservation Commission for its review and approval prior to implementation. If the Conservation Commission deems that a proposed change is major or substantial, a new public hearing may be required, or the Commission may direct the Applicant to file a new Notice of Intent/Application for Permit.

25. No work within a resource area or within 150 feet of a resource area, other than as conditioned herein, shall be permitted without prior written approval of the Conservation Commission.

26. The members of the Watertown Conservation Commission shall have the right to enter the site to verify compliance with this Order/Permit and to require the submittal of additional data deemed necessary by the commission for that verification. If it is determined that the project is not in compliance with this Order/ Permit, the Commission may require corrective action or may order the petitioner to cease and desist.

27. Prior to any paving being done on site, the drainage system, detention/treatment and/or basins/swales, shall be constructed. The applicant shall submit to the Conservation Commission for its approval, an as-built plan of the detention basin with a Professional Engineer's or Land Surveyor's stamped calculations demonstrating that it is in conformity with the plans referenced herein.

28. Plantings shall be installed during the growing season, April 1st through November 15th. The plantings shall be monitored for not less than two growing seasons. If after the monitoring period, 75% of the approved shrub species or 80% cover for herb species have not established themselves, the area shall be replanted and monitored for an additional period of not less than two years.

29. All cuttings, debris and other disposables from the project shall be taken off site for appropriate disposal. No material shall be dumped within the wetlands or within 150 feet of the wetlands. The property owner shall be liable should any materials be dumped in these areas.

30. All catch basins shall be equipped with sumps and hoods to trap sand, grease, and other debris from paved areas. Sumps shall be a minimum of two and a half feet deep.

**64 Pleasant Street  
Special Conditions  
321-0178 WWO-2021-05**

These catch basins shall be cleaned at least once a year, in the spring. The applicant shall provide certification that said cleaning has been completed prior to the issuance of a Certificate of Compliance.

31. During and after work on this project, there shall be no discharge or spillage of fuel, oil, or other pollutants onto any part of the site. The owners and contractors shall take all reasonable precautions to prevent the release of pollutants by ignorance, accidents, or vandalism. If a discharge occurs, cleanup will commence immediately, problem equipment repaired or removed immediately, and the Conservation Commission shall be notified immediately.

32. This document shall be included in all construction contracts and subcontracts dealing with the work proposed and shall not conflict with other contract requirements relating to this project.

33. Any debris or other materials that fall into or enter the wetlands shall be immediately removed by hand.

34. The Conservation Commission reserves the right to require additional erosion controls if deemed necessary by the Commission or the Conservation Agent.

### **Certificate of Compliance**

35. Prior to requesting a Certificate of Compliance, the petitioner shall provide to the Commission the following:

a. The applicant shall arrange for a meeting at the site with the Conservation Agent and the applicant's representative to assess the stabilization of the disturbed area. If appropriate, the Conservation Agent shall approve removal of all siltation controls. If removal of siltation controls is done without this meeting and approval, this shall constitute a violation of the Order/permit, and this will result in enforcement action.

b. A written request that a Certificate of Compliance be issued, stating that the work has been satisfactorily completed.

c. An as-built plan based on an in-field survey, showing the as built grades shall be submitted with the request for the Certificate of Compliance. The plan shall be prepared, signed, and stamped by a registered Professional Engineer or Land Surveyor and certified by said engineer or surveyor. The plan shall illustrate that the project is within substantial compliance with the plans approved in this Order/Permit, and shall set forth what deviations, if any, exist from the plans approved in this Order/Permit. This as-built plan shall include all areas and

**64 Pleasant Street  
Special Conditions  
321-0178 WWO-2021-05**

structures within 150 feet of any wetland resource area, as well as all other information shown on the plan approved in this Order/Permit.

36. Proof of recording of the O&M Plan as approved by the Conservation Commission at the Middlesex Registry of Deeds must be filed in the Conservation Office prior to the issuing of a Certificate of Compliance. O&M Plan shall be complied with for the duration of the life cycle of the development.

**FINDINGS OF FACT****DEP File #: 321-0178****WWO #: 2021-05****Address: 64 Pleasant Street****Applicant: Zach Richards, Bohler Engineering****Date: July 15, 2021****1. Identification of Resource Areas**

The following resource areas are delineated on page C-301 of Updated plans package dated June 24, 2021:

**Buffer Zones**

Under the WPA, a 100-foot Buffer Zone extends from the limit of the wetland resource. Under the Watertown Wetlands Ordinance there is also a 50-foot no build zone and a 150-foot Buffer Zone from the limit of the wetland resource area. Approximately 8,444 sf (0.19 ac) of the proposed parking lot layout work falls within the 100-foot Wetland Buffer Zone. Approximately 21,060 sf (0.48 ac) of the site falls within the local 150-foot Wetland Buffer Zone.

**100-Year Floodplain**

The majority of the site is located in an area with a 0.2% annual chance of flood (Zone X) per FEMA map panel 25017C0552E, published June 4th, 2010. A small portion of the site (the southwest corner of the building) is located within Zone AE based on FEMA mapping. Based on FEMA flood elevations and existing topography, the majority of the site area in Zone AE has a Base Flood Elevation (BFE) of El 3.75. However, due to the Watertown Dam at the southwest corner of the property, the BFE above the Dam is at El. 11.25. Based on existing site topography and site observations, the Zone AE extends up to the building.

**Riverfront Area- EXEMPT**

The WPA provides for an exemption for historic mill complexes from provisions pertaining to the riverfront area. The exemption, which is codified in the Regulations as well, requires that historic mill complexes be in existence prior to 1946 and remain after August 7, 1996 (the effective date of the Rivers Protection Act). Per record documents obtained by Bohler, the Subject Property formerly served the Hollingsworth and Whitney, paper Mills, both of which operated on the site as "mills". Historic maps of Watertown from 1864 and 1879 show these buildings on site, which remain in existence to this day. The Conservation Commission requested documentation of this historic mill designation at their June 2<sup>nd</sup> meeting, and it was provided in advance of the July 14<sup>th</sup> meeting.

## 2. Description of approved work

The project involves the interior renovation of the existing building to convert it from office use to office and lab use. Other improvements to the site include:

- Simplifying the vehicular entrance and exit points from Pleasant Street
- Minor changes in the parking layout
- New utilities that will feed onto Pleasant St., away from the Buffer Zone
- Two stormwater infiltration systems that will remove TSS and phosphorous and meet the Mass Stormwater Standards
- New glassed entry into the building
- Minor landscape improvements

No work is proposed along the façade of the building that abuts the Charles River.

## 3. All other important matters

A member noted that the plans show a snow storage area within the buffer zone, but members agreed it was allowable in this instance because of the presence of part of the building between it and the Charles River.

## 4. List of documents reviewed during the hearings

- 64 Pleasant NOI Package, May 5 2021
- 64 Pleasant Drainage Report, May 6 2021
- Plan set, May 5 2021
- Supplemental materials, June 29 2021
  - Historic mill complex documentation
  - Wetland delineation summary memo, May 24 2021
  - Updated plans, June 24 2021

# BERKELEY

August 21, 2025

City of Watertown  
Conservation Commission  
Attn: Katie Swan, Environmental Planner/Conservation Agent  
149 Main Street, 3rd Floor  
Watertown, MA 02472

**Re: 64 Pleasant Street – Letter of Responsibility**

Dear Members of the Commission:

Berkeley Pleasant St. Owner, LLC, the current owner for 64 Pleasant Street in Watertown, MA, acknowledges that as the property owner we are legally obligated to follow the Operation and Maintenance Plan and maintain the stormwater systems in accordance with said plan in perpetuity. This legal obligation will transfer to the future property owner if the property were conveyed in the future.

Regards,



Young K. Park



August 13, 2025

City of Watertown  
Watertown Conservation Commission  
Attn: Katie Swan, Environmental Planner/Conservation Agent  
149 Main Street  
Watertown, MA 02472-4410

**Re: NOTICE OF INTENT FOR THE DEALTRY MEMORIAL POOL PROJECT AT  
138 PLEASANT STREET  
WATERTOWN, MASSACHUSETTS (Coneco File # 8440.B)**

Dear Ms. Swan and Conservation Commissioners:

In accordance with the Massachusetts Wetland Protection Act (MA WPA) (M.G.L., c. 131, s 40) and its implementing Regulations (310 CMR 10.00 et seq.), Coneco Engineers and Scientists Inc. (Coneco), on behalf of the Massachusetts Department of Conservation and Recreation (DCR), is submitting this Notice of Intent (NOI) for the proposed Dealtry Memorial Pool Project located at 138 Pleasant Street in Watertown, Massachusetts.

The project includes the renovation of the existing pool, concrete deck, and adjacent spray deck area. The current facilities are deteriorating and provide a limited recreational space for pool users. The proposed improvements involve constructing a new concrete pool floor and walls, along with a new surrounding deck, walkways, and landings. Additional upgrades include the installation of stainless-steel gutters, steps, retaining walls, gates, fencing, safety rails, and a new shade structure. The spray deck will also be upgraded with new benches, walkways, soft surfacing, and interactive features designed for children. Once completed, the renovated pool area will offer a cleaner, safer, and more enjoyable environment for all visitors.

Enclosed is one full application, two (2) copies of the Notice of Intent application and supporting information, two (2) half size sets of plans, and a check for \$362.50 to cover the City of Watertown's portion of the filing fee under the Wetlands Protection Act. All abutters required by the WPA and City of Watertown's Wetland Ordinance have been notified via certified mail. A copy of the NOI has been forwarded to the MassDEP Northeast Regional Office.

On behalf of the DCR, we request that this NOI be heard at your next available public hearing. Please don't hesitate to contact me at 978-656-8684 x221 should you have any questions and/or comments.

Sincerely,

A handwritten signature in black ink that reads "Nicholas Hebel".

Nicholas Hebel, Wetland Scientist  
Coneco Engineers & Scientists

cc: MA DEP NERO w/Attachments  
Raul Silva and Pricilla Geigis, DCR  
Kevin McHugh, PE, Sr. Project Manager—Coneco

**NOTICE OF INTENT**

**FILED UNDER:  
MASSACHUSETTS WETLANDS PROTECTION ACT MGL c131 §40  
AND IMPLEMENTING REGULATIONS AT 310 CMR 10.00  
AND  
CITY OF WATERTOWN WETLAND PROTECTION ORDINANCE CHAPTER XV**

**PROJECT:  
DEALTRY MEMORIAL POOL PROJECT  
138 PLEASANT STREET  
WATERTOWN, MASSACHUSETTS**

**PREPARED FOR:  
MASSACHUSETTS DEPARTMENT OF CONSERVATION AND RECREATION  
STATE TRANSPORTATION BUILDING  
10 PARK PLAZA, SUITE 6620  
BOSTON, MASSACHUSETTS 02116**

**PREPARED BY:**



*238 Littleton Rd • Westford, Massachusetts 01886*

Phone: 978-656-8684

**August 13, 2025**

**Coneco Project No. 08440.B**

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August 13, 2025

City of Watertown  
Watertown Conservation Commission  
Attn: Katie Swan, Environmental Planner/Conservation Agent  
149 Main Street  
Watertown, MA 02472-4410

**Re: NOTICE OF INTENT FOR THE DEALTRY MEMORIAL POOL PROJECT AT  
138 PLEASANT STREET  
WATERTOWN, MASSACHUSETTS (Coneco File # 8440.B)**

Dear Ms. Swan and Conservation Commissioners:

In accordance with the Massachusetts Wetland Protection Act (MA WPA) (M.G.L., c. 131, s 40) and its implementing Regulations (310 CMR 10.00 et seq.), Coneco Engineers and Scientists Inc. (Coneco), on behalf of the Massachusetts Department of Conservation and Recreation (DCR), is submitting this Notice of Intent (NOI) for the proposed Dealtry Memorial Pool Project located at 138 Pleasant Street in Watertown, Massachusetts.

The project includes the renovation of the existing pool, concrete deck, and adjacent spray deck area. The current facilities are deteriorating and provide a limited recreational space for pool users. The proposed improvements involve constructing a new concrete pool floor and walls, along with a new surrounding deck, walkways, and landings. Additional upgrades include the installation of stainless-steel gutters, steps, retaining walls, gates, fencing, safety rails, and a new shade structure. The spray deck will also be upgraded with new benches, walkways, soft surfacing, and interactive features designed for children. Once completed, the renovated pool area will offer a cleaner, safer, and more enjoyable environment for all visitors.

Enclosed is one full application, two (2) copies of the Notice of Intent application and supporting information, two (2) half size sets of plans, and a check for \$362.50 to cover the City of Watertown's portion of the filing fee under the Wetlands Protection Act. All abutters required by the WPA and City of Watertown's Wetland Ordinance have been notified via certified mail. A copy of the NOI has been forwarded to the MassDEP Northeast Regional Office.

On behalf of the DCR, we request that this NOI be heard at your next available public hearing. Please don't hesitate to contact me at 978-656-8684 x221 should you have any questions and/or comments.

Sincerely,

A handwritten signature in black ink that reads "Nicholas Hebel".

Nicholas Hebel, Wetland Scientist  
Coneco Engineers & Scientists

cc: MA DEP NERO w/Attachments  
Raul Silva and Pricilla Geigis, DCR  
Kevin McHugh, PE, Sr. Project Manager—Coneco

# WPA FORM 3 AND FILING FEE CHECKS

DEALTRY MEMORIAL POOL PROJECT

138 Pleasant Street

Watertown, Massachusetts

NOI



**City of Watertown**  
 Administration Building  
 149 Main Street  
 Watertown, Massachusetts 02472  
**Conservation Commission**  
 Tel: (617) 972-6426 • Fax: (617) 972-6484

## WATERTOWN WETLANDS ORDINANCE

### Application for Permit/Determination

**Application for:**

- Request for Determination of Applicability   
  Notice of Intent  
 Other

Owner*		Applicant	
Name	Comm. of MA - Priscilla Geigis	Name	DCR - Raul Silva
Street	10 Park Plaza, Suite 6620	Street	10 Park Plaza, Suite 6620
City	Boston	City	Boston
State	MA	State	MA
Zip	02116	Zip	02116
Phone	617-626-4986	Phone	617-719-1897
e-mail	priscilla.geigis@state.ma.us	e-mail	raul.silva@mass.gov

*\*Name(s) and address(s) under which title of property is recorded at Registry of Deeds.*

1. Location of site where work is proposed: \_\_\_\_\_  
 138 Pleasant Street, Watertown
- 

Town of Watertown Assessor's Information:

Map: 201 Lot: 1 Block: 1136

2. Briefly describe the proposed work:

Renovation of existing pool, concrete deck area, and adjacent spray deck.

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3. Are there any impediments to accessing the site?   
 No   
 Yes

If yes, what are they (fence, dog, topography, etc.):

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If yes, what arrangements have been or will be made to ensure that the Conservation Commission members and designated representatives have safe and easy access to the site?

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6. Do you understand that notification of this application and the Public Hearing will be published in a newspaper of local circulation at your expense? Please check-off appropriate box:  Yes  No
7. How much is the filing fee, for this project, under the local ordinance? And under the Wetlands Protection Act?
- \$ 500.00  
(See Fee Schedule). Make check payable to the Town of Watertown.
- \$ 387.50  
(See NOI Wetland Fee Transmittal Form wpaform3.doc) Make check payable to the Watertown Conservation Commission)

I hereby certify, under the pains and penalties of perjury, that the contents of this application are true and complete.

Signature of Applicant:

Kevin McHugh (Representative)

Date: 8/13/25

By signing this application the owner grants permission to the Conservation Commission for its members and designated representative to enter upon the premises of the site.

Signature of Owner:

Kevin McHugh (Representative on behalf of Owner)

Date: 8/13/25

**Waiver**

If the next regular meeting of the Conservation Commission is not within 21 days of submission of this filing, or if the agenda for the next regular meeting is full, I waive the 21 day requirement and agree to a later date for this Hearing no later than the next regular scheduled meeting or 30 days from the date of the filing a complete application (whichever is less).

Signature of Applicant:

Kevin McHugh (Representative on behalf of DCR)

Date: 8/13/25



**City of Watertown**  
 Administration Building  
 149 Main Street  
 Watertown, Massachusetts 02472  
**Conservation Commission**  
 Tel: (617) 972-6426 • Fax: (617) 972-6484

## WATERTOWN WETLANDS ORDINANCE Fee Calculation and Transmittal Form

Owner		Applicant	
Name	Commonwealth of Massachusetts - Priscilla Geigis	Name	DCR - Raul Silva
Street	10 Park Plaza, Suite 6620	Street	10 Park Plaza, Suite 6620
City	Boston	City	Boston
State	MA	State	MA
Zip	02116	Zip	02116
Phone	617-626-4986	Phone	617-719-1897
e-mail	priscilla.geigis@state.ma.us	e-mail	raul.silva@mass.gov

**Project Location:**

**138 Pleasant Street, Watertown**

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Any person filing an Application for Permit/RDA/NOI pursuant to the Ordinance shall, at the same time, pay a filing fee in accordance with the Filing Fee Schedule contained in the *Rules and Regulations for the Administration of the Watertown Wetlands Ordinance of 2008*. Municipal agencies are exempt from this requirement.

**A. Fee Schedule:**

Project Size	Fees
Less than 1,000 sq. ft	\$50.00
1,000 sq. ft. to less than 2,000 sq. ft.	\$100.00
2,000 sq. ft. to less than 3,000 sq. ft.	\$150.00
3,000 sq. ft. to less than 4,000 sq. ft.	\$200.00
4,000 sq. ft. to less than 5,000 sq. ft.	\$250.00
5,000 sq. ft. to less than 6,000 sq. ft.	\$300.00
6,000 sq. ft. to less than 10,000 sq. ft.	\$400.00
10,000 sq. ft. to less than 15,000 sq. ft.	\$500.00
15,000 sq. ft. to less than 20,000 sq. ft.	\$650.00
20,000 sq. ft. to less than 30,000 sq. ft.	\$750.00
30,000 sq. ft. to less than 50,000 sq. ft.	\$850.00
50,000 sq. ft. or greater	\$1000.00

**Project Fee**

**\$500.00**

**Fee Exemption**

The Commission may waive the filing fee for an Application or Request for Determination filed by a government agency, for an RDA filed by a person having no financial connection with the subject property, for any projects whose sole effect is to substantially enhance a Resource Area, or for other reasonable grounds a determined by the Commission at its discretion.

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Grounds for Exemption (to be filled out by CC staff)

**Signature of Owner or Applicant:** \_\_\_\_\_

**Date:** \_\_\_\_\_

Enclose this form with a check or money order for the calculated amount payable to the Town of Watertown with the Application for Permit or Request for Determination of Applicability. These fees are non-refundable.

Please note this payment does not relieve the Applicant from the further fee requirements as stated in the Wetlands Protection Act Regulations MGL Chapter 44, Section 53G.



**Massachusetts Department of Environmental Protection**  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Watertown

City/Town

**Important:**

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

**A. General Information**

1. Project Location (**Note:** electronic filers will click on button to locate project site):

138 Pleasant Street  
a. Street Address

Watertown  
b. City/Town

02472  
c. Zip Code

Latitude and Longitude:  
42.365417  
d. Latitude

-71.191361  
e. Longitude

Parcel ID: 201 1 1136  
f. Assessors Map/Plat Number

g. Parcel /Lot Number

2. Applicant:

Raul  
a. First Name

Silva  
b. Last Name

Department of Conservation & Recreation  
c. Organization

10 Park Plaza, Suite 6620  
d. Street Address

Boston  
e. City/Town

MA  
f. State

02116  
g. Zip Code

617-719-1897  
h. Phone Number

i. Fax Number

raul.silva@mass.gov  
j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

Priscilla  
a. First Name

Geigis  
b. Last Name

Commonwealth of Massachusetts  
c. Organization

10 Park Plaza, Suite 6620  
d. Street Address

Boston  
e. City/Town

MA  
f. State

02116  
g. Zip Code

617-626-4986  
h. Phone Number

i. Fax Number

priscilla.geigis@state.ma.us  
j. Email address

4. Representative (if any):

Nicholas  
a. First Name

Hebel  
b. Last Name

Coneco Engineers & Scientists, Inc.  
c. Company

238 Littleton Road, Suite 105  
d. Street Address

Westford  
e. City/Town

MA  
f. State

01886  
g. Zip Code

978-656-8684 x201  
h. Phone Number

i. Fax Number

nhebel@coneco.com  
j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

750.00  
a. Total Fee Paid

362.50  
b. State Fee Paid

387.50  
c. City/Town Fee Paid



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File Number
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Watertown
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## A. General Information (continued)

6. General Project Description:

Renovation of existing pool, concrete deck area, and spray deck.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Southern Middlesex

a. County

MCP 130

c. Book

b. Certificate # (if registered land)

MCP 1152

d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	209	101
	1. square feet	2. square feet
	0	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input checked="" type="checkbox"/> Riverfront Area	Charles River - Inland	
	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 36,403 square feet

4. Proposed alteration of the Riverfront Area:

19,312 a. total square feet      16,530 b. square feet within 100 ft.      2,782 c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI?       Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?       Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

**WPA Form 3 – Notice of Intent**

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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**B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)**

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4.  Restoration/Enhancement  
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

\_\_\_\_\_

a. square feet of BVW

\_\_\_\_\_

b. square feet of Salt Marsh

5.  Project Involves Stream Crossings

\_\_\_\_\_

a. number of new stream crossings

\_\_\_\_\_

b. number of replacement stream crossings



Massachusetts Department of Environmental Protection  
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# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:	
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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

- a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

- August 1, 2021  
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review\*

- Percentage/acreage of property to be altered:
  - (a) within wetland Resource Area \_\_\_\_\_ percentage/acreage
  - (b) outside Resource Area \_\_\_\_\_ percentage/acreage
- Assessor's Map or right-of-way plan of site

- Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*
  - (a)  Project description (including description of impacts outside of wetland resource area & buffer zone)
  - (b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

## WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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### C. Other Applicable Standards and Requirements (cont'd)

- (c)  MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

- (d)  Vegetation cover type map of site
- (e)  Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1.  Project is exempt from MESA review.  
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed.  
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a.  Not applicable – project is in inland resource area only b.  Yes  No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and  
the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
836 South Rodney French Blvd.  
New Bedford, MA 02744  
Email: [dmf.envreview-south@mass.gov](mailto:dmf.envreview-south@mass.gov)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [dmf.envreview-north@mass.gov](mailto:dmf.envreview-north@mass.gov)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c.  Is this an aquaculture project? d.  Yes  No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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**WPA Form 3 – Notice of Intent**

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**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

**C. Other Applicable Standards and Requirements (cont'd)**

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?  
 a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.  
 b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?  
 a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?  
 a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?  
 a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:  
 1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)  
 2.  A portion of the site constitutes redevelopment  
 3.  Proprietary BMPs are included in the Stormwater Management System.  
 b.  No. Check why the project is exempt:  
 1.  Single-family house  
 2.  Emergency road repair  
 3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

**D. Additional Information**

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



**Massachusetts Department of Environmental Protection**  
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**D. Additional Information (cont'd)**

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

<u>Dealtry Memorial Pool</u>	
a. Plan Title	
<u>Coneco Engineers and Scientists, Inc.</u>	<u>Kevin McHugh</u>
b. Prepared By	c. Signed and Stamped by
	<u>varies (as shown)</u>
d. Final Revision Date	e. Scale
f. Additional Plan or Document Title	g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

**E. Fees**

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>009586</u>	<u>8/13/25</u>
2. Municipal Check Number	3. Check date
<u>009585</u>	<u>8/13/25</u>
4. State Check Number	5. Check date
<u>Coneco Engineers &amp; Scientists, Inc.</u>	<u>N/A</u>
6. Payor name on check: First Name	7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

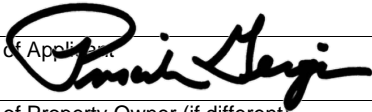
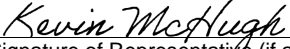
Watertown

City/Town

## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant 	2. Date 8/13/25
3. Signature of Property Owner (if different) 	4. Date 8/13/25
5. Signature of Representative (if any)	6. Date

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



**A. Applicant Information**

1. Location of Project:

138 Pleasant Street  
 a. Street Address  
 Watertown  
 b. City/Town  
 \_\_\_\_\_  
 c. Check number  
 \_\_\_\_\_  
 d. Fee amount

2. Applicant Mailing Address:

Raul  
 a. First Name  
 Silva  
 b. Last Name  
 Department of Conservation and Recreation  
 c. Organization  
 10 Park Plaza, Suite 6620  
 d. Mailing Address  
 Boston  
 e. City/Town  
 MA  
 f. State  
 02116  
 g. Zip Code  
 617-719-1897  
 h. Phone Number  
 \_\_\_\_\_  
 i. Fax Number  
 raul.silva@mass.gov  
 j. Email Address

3. Property Owner (if different):

Priscilla  
 a. First Name  
 Geigis  
 b. Last Name  
 Commonwealth of Massachusetts  
 c. Organization  
 10 Park Plaza, Suite 6620  
 d. Mailing Address  
 Boston  
 e. City/Town  
 MA  
 f. State  
 02116  
 g. Zip Code  
 617-626-4986  
 h. Phone Number  
 \_\_\_\_\_  
 i. Fax Number  
 priscilla.geigis@state.ma.us  
 j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

**B. Fees**

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

**Step 1/Type of Activity:** Describe each type of activity that will occur in wetland resource area and buffer zone.

**Step 2/Number of Activities:** Identify the number of each type of activity.

**Step 3/Individual Activity Fee:** Identify each activity fee from the six project categories listed in the instructions.

**Step 4/Subtotal Activity Fee:** Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

**Step 5/Total Project Fee:** Determine the total project fee by adding the subtotal amounts from Step 4.

**Step 6/Fee Payments:** To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



**Massachusetts Department of Environmental Protection**  
 Bureau of Resource Protection - Wetlands  
**NOI Wetland Fee Transmittal Form**  
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

**B. Fees** (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
2j	1	500.00	500.00
Riverfront	0.5	250.00	250.00
<b>Step 5/Total Project Fee:</b>			750.00
<b>Step 6/Fee Payments:</b>			
Total Project Fee:			750.00
State share of filing Fee:			362.50
City/Town share of filing Fee:			387.50
			a. Total Fee from Step 5
			b. 1/2 Total Fee <b>less</b> \$12.50
			c. 1/2 Total Fee <b>plus</b> \$12.50

**C. Submittal Requirements**

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection  
 Box 4062  
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

**To MassDEP Regional Office** (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

PAY Three Hundred + Eighty Seven —  $\frac{50}{100}$  AMOUNT 387.50

TO Watertown Conservation Commission

# 8440.B

*R R Dinn* MP  
AUTHORIZED SIGNATURE

Security Check features included. Details on back.

⑈009586⑈ ⑆211371285⑆ 018 51751 6⑈

PAY ~~Three~~ Three Hundred + Sixty Two —  $\frac{50}{100}$  AMOUNT 367.50

TO Commonwealth of Massachusetts

Proj. 8440.B

*R R Dinn* MP  
AUTHORIZED SIGNATURE

Security Check features included. Details on back.

⑈009585⑈ ⑆211371285⑆ 018 51751 6⑈

PAY Five Hundred —  $\frac{00}{100}$  AMOUNT 500.00

TO Town of Watertown

# 8440.B

*R R Dinn* MP  
AUTHORIZED SIGNATURE

Security Check features included. Details on back.

⑈009588⑈ ⑆211371285⑆ 018 51751 6⑈

# ATTACHMENT A

## NARRATIVE

DEALTRY MEMORIAL POOL PROJECT

138 Pleasant Street

Watertown, Massachusetts

NOI

# NOTICE OF INTENT NARRATIVE

## INTRODUCTION

In accordance with the Massachusetts Wetland Protection Act (MA WPA) (M.G.L., c. 131, s 40) and its implementing Regulations (310 CMR 10.00 et seq.) and the City of Watertown Wetlands Ordinance and Regulations, Coneco Engineers and Scientists Inc. (Coneco), on behalf of the Massachusetts Department of Conservation and Recreation (DCR), is submitting this Notice of Intent for the proposed Dealtry Memorial Pool Project located at 138 Pleasant Street, Watertown, Massachusetts. (Attachment A: Figure 1 & 2). The project consists of renovating the existing pool, concrete deck area, and the adjacent spray deck within Bordering Land Subject to Flooding and Riverfront Area.

## EXISTING SITE CONDITIONS

The property containing the proposed project consists of a pool, facilities building, parking lot, and an access drive within a residential area on Pleasant Street (Map 201-1-1136). The majority of the project area consists of previously disturbed ground that is primarily concrete decking, a pool, and a spray deck. Resource areas nearby consist of Bordering Land Subject to Flooding, Bank, and Riverfront Area.

## HYDROLOGY

The site is located within the Charles River Watershed. There are no streams within the project area, but the Charles River is adjacent to the project area. Site runoff flows generally from north to south, toward the Charles River.

## SOILS

According to the Natural Resource Conservation Service (NRCS) Soil Survey, soil mapped within the project area is listed as Urban Land, (Attachment C: Figure 4). There are no other soils data listed in the surrounding areas.

## FEMA 100-YEAR FLOODPLAIN AND REGULATORY FLOODWAY

A portion of the project will be located within Bordering Land Subject to Flooding as identified in the FEMA Firmette. This area is located in the southwestern corner of the project and consists of a small portion of the pool deck, a portion of proposed gravel pathway, and a portion of the spray deck. This area is designated as an AE Zone according to the Firmette.

## NATURAL HERITAGE AND ENDANGERED SPECIES

A review of the current MassGIS data layer for the Natural Heritage Endangered Species Program's (NHESP) Massachusetts Natural Heritage Atlas (15<sup>th</sup> Edition, August 1, 2021) indicates

that the site is not located within a Priority Habitat of Rare Species or an Estimated Habitat of Rare Wildlife. There are no vernal pools located on or within 300 feet of the property (Attachment C: Figure 6).

#### OUTSTANDING RESOURCE WATERS, CLASS A WATERS AND ZONE A

The project is not located within an Outstanding Resource Waters (ORW), or a Critical Area as defined by the MA WPA Regulations (Attachment C: Figures 7).

#### ACECS AND OTHER CRITICAL AREAS

The project is not located within an Area of Critical Environmental Concern (ACEC). There are no Interim Wellhead Protection Areas for Groundwater, Zone I, Zone II – DEP Approved Wellhead Protection Areas, Cold Water Fisheries or Shellfish Growing Areas (Attachment C: Figure 7).

### MA WPA RESOURCE AREAS AND BUFFER ZONE

On July 28 of 2025, a Coneco wetland scientist conducted a site visit to delineate wetland resources within the project area. Coneco performed the wetland delineation using a multiple parameter method approach following the Massachusetts Wetlands Protection Act (WPA) and its implementing regulations (310 CMR 10.00), the methodology described in Delineating Bordering Vegetated Wetlands Under the Wetlands Protection Act (MassDEP 1995), and the Corps of Engineers Wetland Delineation Manual (Environmental Laboratory 1987) and its supplement, the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0 (U.S. Army Corps of Engineers [USACE] 2012). Areas of Bank were flagged on site associated with the Charles River.

#### BORDERING LAND SUBJECT TO FLOODING

According to 310 CMR 10.57(1)(a), Bordering Land Subject to Flooding is *“is an area which floods from a rise in a bordering waterway or water body. Such areas are likely to be significant to flood control and storm damage prevention.”* BLSF provides storage area for flood waters during storm events or other “peak run-off” events. They can also serve as significant wildlife habitat.

The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM Panel 25017C0552E; effective date June 4, 2010) shows that a portion of the project will be located within the 100-year FEMA Zone (AE). A FEMA Firmette for the project area is included as Figure 5 in Attachment C. A limited amount of work within the FEMA Zone AE is proposed, and the work will be located in the southwestern portion of the project area.

#### RIVERFRONT AREA

According to 310 CMR 10.58 (a) *“Riverfront Area is the area of land between a river's mean annual highwater line and a parallel line measured horizontally. The riverfront area may include or*

*overlap other resource areas or their buffer zones. The riverfront area does not have a buffer zone.”*

*A river is defined as “any natural flowing body of water that empties to any ocean, lake, pond, or other river and which flows throughout the year. Rivers include streams (see 310 CMR 10.04: Stream) that are perennial because surface water flows within them throughout the year. Intermittent streams are not rivers as defined herein because surface water does not flow within them throughout the year.”*

The Charles River is a perennial feature as shown on the most recent USGS Quadrangle and therefore, according to 310 CMR 10.58 (2.) (a.) 1.a., meets the regulatory definition of a “river” with Riverfront Area. The Charles River Riverfront Area extends from the Inland Bank, horizontally 200 feet. The project area is entirely within the limits of the Riverfront Area.

### CITY OF WATERTOWN JURISDICTIONAL AREAS

Under the Watertown Wetland Ordinance, Buffer Zone is defined as *“any land within 150 feet of any wetland, marsh, wet meadow, bog, swamp, bank, lake, pond or non-perennial stream.”*

The City of Watertown further protects resource areas with the implementation of the 50-foot No-Build Zone. According to Section I.C(3) of the City of Watertown Wetland Regulations, the 50-foot No-Build Zone is an area where *“no person shall build or enlarge any structure, parking lot or impervious surface upon or within an area that extends fifty (50) feet from the outer limit of a wetland resource area, e.g. any marsh, meadow, bog, swamp or vernal pool; any bank; or any river, stream, creek or brook, lake, pond or spring.”* There will be permanent impacts, temporary impacts, and mitigation of the No-Build Zone.

## PROPOSED PROJECT

The project includes the renovation of the existing pool, concrete deck, and adjacent spray deck area. The current facilities are deteriorating and provide a limited recreational space for pool users. The proposed work consists of installing a new concrete pool floor, pool walls, surrounding deck, and other walks and landings. There will also be new stainless-steel gutters, steps, retaining walls, gates, fences, safety rails, and a new shade structure. The spray deck will also be revamped to include new benches, walkways, soft surfacing and other integrated features for children. Once completed, the renovated pool area will offer a cleaner, safer, and more enjoyable environment for all visitors.

A limited portion of the project will involve grading and reshaping the landscape to accommodate the updated features. As part of the improvements, the spray deck and pool area will be expanded. The existing pool is currently undersized and does not function effectively as a lap pool. By increasing its length to meet regulation standards, the pool will better support training and exercise for swimmers of all skill levels. A cantilever shade structure and associated concrete decking will be installed on the eastern end of the pool deck to provide pool users with a comfortable shaded area.

During construction there will be no casting of materials into any of the resource areas and all spoils will be removed from the site. Any areas that are temporarily disturbed during the project duration will be restored to pre-construction conditions. Any trees that need to be removed to accommodate new site features will be replaced at a 2:1 ratio with appropriate species, in a location approved by the Conservation Commission.

## PROJECT IMPACTS

A large portion of the project will take place within the footprint of existing site features such as the pool, pool deck, and spray deck. The majority of the project area already consists of concrete or similar impermeable surfaces. Through the renovation of existing site features and improving the use of the area, areas of Riverfront Area, Bordering Land Subject to Flooding, and the locally regulated 50-foot No-Build Zone will be impacted.

The entire working limits within the project area is encompassed by the 200-foot Riverfront Area. Most of the impacts will be temporary as the current pool, decking, and spray deck areas are all previously disturbed, impermeable surfaces and will be replaced with a similar feature. New impacts will consist of the expansion to the spray deck and associated gravel pathway, and the pool area expansion. The area where new impacts will occur currently exists as maintained lawn. The pool area expansion will require the removal of 4 trees. The trees will be replaced at a 2:1 ratio (8 new trees) in an area approved by the Conservation Commission.

Work within the BLSF will involve temporary impacts and will include some mitigation of previously disturbed BLSF. There will be no filling of the Zone AE as a result of the project and therefore, no loss of flood storage capacity will occur. The proposed pathway will be installed at grade and will utilize a porous gravel material that will allow for infiltration of floodwaters. A portion of the existing concrete pool deck will be removed and returned to natural conditions as a result of the new pool design.

A portion of the No-Build Zone impacts will be temporary as there is a current structure being replaced in kind. New impacts to the No-Build Zone will include the new gravel walkway for the spray deck, expansion of the pool, and the pool decking. There will be an area within the No-Build Zone that will be mitigated as part of the project. As part of the pool redesign, concrete decking will be removed, and the area will be restored. The net “new” disturbance within the No-Build Zone will be under 500 square feet when considering the mitigation area.

Impacts for the site are detailed on the plan sheets and are shown in the table below.

Resource Area/Buffer Zone	Temporary Impacts (sqft)	Permanent Impacts (sqft)	Proposed Mitigation (sqft)
BLSF	209	0	101
RFA	13,800	2,593	595
50-Foot No-Build Zone	2,750	990	595

## General Performance Standards

Adherence with performance standards will be in bullets and italicized.

### Bordering Land Subject to Flooding

#### **Local Regulations:**

#### (a) Bordering Land Subject to Flooding:

1. Compensatory storage shall be provided for all flood storage volume that will be lost as a result of a proposed project within Bordering Land Subject to Flooding, unless the Applicant can demonstrate with a preponderance of credible evidence that the loss will not contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows.
  - *There will be net positive change in the flood storage volume as a result of the project as impervious concrete decking will be replanted. No filling or installation of impervious material is proposed within areas of BLSF that were not previously impervious.*
2. Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same water body. Further, such compensatory volume shall be provided within the same reach of a river, stream or creek.
  - *There will be a net positive change in flood storage as a result of the project. An area of impervious decking will be removed, and the area will be vegetated.*
3. Work within Bordering Land Subject to Flooding, including work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood stage or velocity.
  - *There will be no loss in flood storage as a result of the project. The project will not restrict any flows more than the existing conditions of the site.*
4. Work in those portions of Bordering Land Subject to Flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions.
  - *The bulk of the project consists of the replacement of impermeable surfaces with new concrete. Additional impacted areas consist primarily of regularly maintained lawn, which do not provide or support wildlife habitat functions.*

**WPA Regulations:****(a) Bordering Land Subject to Flooding.**

1. Compensatory storage shall be provided for all flood storage volume that will be lost as the result of a proposed project within Bordering Land Subject to Flooding, when in the judgment of the issuing authority said loss will cause an increase or will contribute incrementally to an increase in the horizontal extent and level of flood waters during peak flows.

Compensatory storage shall mean a volume not previously used for flood storage and shall be incrementally equal to the theoretical volume of flood water at each elevation, up to and including the 100-year flood elevation, which would be displaced by the proposed project. Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body. Further, with respect to waterways, such compensatory volume shall be provided within the same reach of the river, stream or creek.

- *There will be no loss in flood storage as a result of the project.*
2. Work within Bordering Land Subject to Flooding, including that work required to provide the above-specified compensatory storage, shall not restrict flows so as to cause an increase in flood stage or velocity.
    - *There will be no loss in flood storage as a result of the project. The project will also not restrict any flows more than the existing conditions of the site.*
  3. Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions. Except for work which would adversely affect vernal pool habitat, a project or projects on a single lot, for which Notice(s) of Intent is filed on or after November 1, 1987, that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations beyond the above threshold, or altering vernal pool habitat, may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures contained in 310 CMR 10.60.
    - *The bulk of the project consists of the replacement of impermeable surfaces with new concrete. Additional impacted areas consist primarily of regularly maintained lawn, which do not provide or support wildlife habitat functions. Additionally, there are no vernal pools within 300 feet of the proposed project.*

**(c) Protection of Rare Wildlife Species.**

Notwithstanding the provisions of 310 CMR 10.57(4)(a) or (b), no project may be permitted which will have any adverse effect on specified wildlife habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.59.

- *The proposed project consists of the replacement of impermeable surfaces with new concrete. The area currently does not serve as habitat and does not inhibit wildlife habitat functions. There will be no impacts to land that is suitable habitat to native species.*

## **Riverfront Area**

### **Local Regulations**

- (a) No Permit issued hereunder shall approve any activities unless the Applicant, in addition to meeting the otherwise applicable requirements of this Ordinance, has proved by a preponderance of the evidence that:
1. There is no practicable alternative to the proposed project with less adverse effect, and
  2. Such activities, including proposed mitigation measures, will have no significant adverse impact on the areas or interests protected by this Ordinance.
    - *The only alternative that will have less adverse effects than the current plan would be to renovate the existing area, only within the existing footprint. The current work proposed will reduce adverse effects by implementing new gutters and replacing degrading concrete decking. A portion of existing decking will be converted to vegetated landscape on the southern edge of the project closest to the river. Currently areas outside the existing footprint consist of maintained lawn and existing pathways that serve minimal protection to the nearby resource areas.*
- (b) The Commission shall regard as practicable an alternative which is reasonably available and capable of being done after taking into consideration the proposed property use, overall project purpose (e.g., residential, institutional, commercial, or industrial), logistics, existing technology, costs of the alternatives, and overall project costs.
- *The proposed work serves an institutional property use as it will serve the community's health, educational, and social needs. Logistically this project works because it is a replacement of degrading features and improvement to the overall layout. Replacing the components now will reduce the overall costs if conditions were to worsen over time. It also allows for the features to be enlarged to better serve the public need.*
- (c) The Commission will apply the methods and criteria for alternatives analyses specified in the Massachusetts Wetlands Protection Act regulations at 310 CMR 10.58 (4) (c).
- *The project meets the Practicable and Sustainably Equivalent Economics Alternatives (as specified in 310 CMR 10.58 (4) (c)) because there is no alternative that will better serve the public and offer less degradation to the surrounding environment within reasonable cost.*

(d) The work must have no significant adverse impact on the capacity of the Riverfront Area to protect the interests protected by the Ordinance.

- *There will be no adverse impacts to the Riverfront Area as a result of the project. Areas to be developed currently consist of maintained lawn. New trees will be planted for any that need to be taken down as a result of the project.*

### **WPA Regulations**

Where the presumption set forth in 310 CMR 10.58(3) is not overcome, the applicant shall prove by a preponderance of the evidence that there are no practicable and substantially equivalent economic alternatives to the proposed project with less adverse effects on the interests identified in M.G.L. c.131 § 40 and that the work, including proposed mitigation, will have no significant adverse impact on the riverfront area to protect the interests identified in M.G.L. c. 131 § 40. In the event that the presumption is partially overcome, the issuing authority shall make a written determination setting forth its grounds in the Order of Conditions and the partial rebuttal shall be taken into account in the application of 310 CMR 10.58 (4)(d)1.a. and c.; the issuing authority shall impose conditions in the Order that contribute to the protection of interests for which the riverfront area is significant.

(a) Protection of Other Resource Areas. The work shall meet the performance standards for all other resource areas within the riverfront area, as identified in 310 CMR 10.30 (Coastal Bank), 10.32 (Salt Marsh), 10.55 (Bordering Vegetated Wetland), and 10.57 (Land Subject to Flooding). When work in the riverfront area is also within the buffer zone to another resource area, the performance standards for the riverfront area shall contribute to the protection of the interests of M.G.L. c. 131, § 40 in lieu of any additional requirements that might otherwise be imposed on work in the buffer zone within the riverfront area.

- *The work is also located within Bordering Land Subject to Flooding. The performance standards and how the project meets them is listed above. The project is not within any other notable buffer zone as defined by the WPA.*

(b) Protection of Rare Species. No project may be permitted within the riverfront area which will have any adverse effect on specified habitat sites of rare wetland or upland, vertebrate or invertebrate species, as identified by the procedures established under 310 CMR 10.59 or 10.37, or which will have any adverse effect on vernal pool habitat certified prior to the filing of the Notice of Intent.

- *There will be no adverse effect on any species or their habitats as a result of this project. There are no vernal pools within 300 feet of the proposed work.*

(c) Practicable and Substantially Equivalent Economic Alternatives. There must be no practicable and substantially equivalent economic alternative to the proposed project with less adverse effects on the interests identified in M.G.L. c. 131 § 40.

- *There is no alternative that will better serve the public and offer less degradation to the surrounding environment within reasonable cost.*

(d) No Significant Adverse Impact. The work, including proposed mitigation measures, must have no significant adverse impact on the riverfront area to protect the interests identified in M.G.L. c. 131, § 40.

1. Within 200 foot riverfront areas, the issuing authority may allow the alteration of up to 5000 square feet or 10% of the riverfront area within the lot, whichever is greater, on a lot recorded on or before October 6, 1997 or lots recorded after October 6, 1997 subject to the restrictions of 310 CMR 10.58(4)(c)2.b.vi., or up to 10% of the riverfront area within a lot recorded after October 6, 1997, provided that:

- a. At a minimum, a 100 foot wide area of undisturbed vegetation is provided. This area shall extend from mean annual high-water along the river unless another location would better protect the interests identified in M.G.L. c. 131 § 40. If there is not a 100 foot wide area of undisturbed vegetation within the riverfront area, existing vegetative cover shall be preserved or extended to the maximum extent feasible to approximate a 100 foot wide corridor of natural vegetation. Replication and compensatory storage required to meet other resource area performance standards are allowed within this area; structural stormwater management measures may be allowed only when there is no practicable alternative. Temporary impacts where necessary for installation of linear site-related utilities are allowed, provided the area is restored to its natural conditions. Proposed work which does not meet the requirement of 310 CMR 10.58(4)(d)1.a. may be allowed only if an applicant demonstrates by a preponderance of evidence from a competent source that an area of undisturbed vegetation with an overall average width of 100 feet will provide equivalent protection of the riverfront area, or that a partial rebuttal of the presumptions of significance is sufficient to justify a lesser area of undisturbed vegetation;
- b. Stormwater is managed according to standards established by the Department in its Stormwater Policy.
- c. Proposed work does not impair the capacity of the riverfront area to provide important wildlife habitat functions. Work shall not result in an impairment of the capacity to provide vernal pool habitat identified by evidence from a competent source, but not yet certified. For work within an undeveloped riverfront area which exceeds 5,000 square feet, the issuing authority may require a wildlife habitat evaluation study under 310 CMR 10.60.
- d. Proposed work shall not impair groundwater or surface water quality by incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution. The calculation of square footage of alteration shall exclude areas of replication or compensatory flood storage required to meet performance standards for other resource areas, or any area of restoration within the riverfront area. The

calculation also shall exclude areas used for structural stormwater management measures, provided there is no practicable alternative to siting these structures within the riverfront area and provided a wildlife corridor is maintained (e.g. detention basins shall not be fenced).

2. Within 25 foot riverfront areas, any proposed work shall cause no significant adverse impact by:
  - a. Limiting alteration to the maximum extent feasible, and at a minimum, preserving or establishing a corridor of undisturbed vegetation of a maximum feasible width. Replication and compensatory storage required to meet other resource area performance standards are allowed within this area; structural stormwater management measures shall be allowed only when there is no practicable alternative;
  - b. Providing stormwater management according to standards established by the Department;
  - c. Preserving the capacity of the riverfront area to provide important wildlife habitat functions. Work shall not result in an impairment of the capacity to provide vernal pool habitat when identified by evidence from a competent source but not yet certified; and
  - d. Proposed work shall not impair groundwater or surface water quality by incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution.
3. Notwithstanding the provisions of 310 CMR10.58(4)(d)1. or 2., the issuing authority shall allow the construction of a single family house, a septic system if no sewer is available, and a driveway, on a lot recorded before August 7, 1996 where the size or shape of the lot within the riverfront area prevents the construction from meeting the requirements of 310 CMR 10.58(4)(d)1. or 2., provided that:
  - a. The lot can be developed for such purposes under the applicable provisions of other municipal and state law; and
  - b. The performance standards of 310 CMR 10.58(4)(d) are met to the maximum extent feasible. In difficult siting situations, the maximum extent of yards around houses should be limited to the area necessary for construction. Except where the lot contains vernal pool habitat or specified habitat sites of rare species, a wildlife habitat evaluation study shall not be required.
4. Notwithstanding the provisions of 310 CMR 10.58(4)(d)1. or 2., the issuing authority may allow the construction of a commercial structure of minimum feasible dimension, on a lot recorded before August 7, 1996 where the size or shape of the lot within the riverfront area prevents the construction from meeting the requirements of 310 CMR 10.58(4)(d)1. or 2., only if:
  - a. The lot can be developed for such purposes and cannot be developed for any other purposes under the applicable provisions of other municipal and state law;
  - b. The work is not eligible for 310 CMR 10.58(5); and

- c. The performance standards of 310 CMR 10.58(4)(d)1. or 2. are met to the maximum extent feasible.
- *The only alternative that will have less adverse effects than the current plan would be to renovate the existing area, only within the existing footprint. The current work proposed will reduce adverse effects by implementing new gutters and replacing degrading concrete decking. The areas outside the existing footprint consist of maintained lawn and pathways that serve minimal protection to the nearby resource areas.*

## CONSTRUCTION BEST MANAGEMENT PRACTICES

Construction will be completed in a manner that avoids and minimizes impacts to resource areas. Impacts will be avoided and minimized by working within the existing footprint as much as possible in order to limit impacts to vegetation and soils.

Upon completion of construction, temporarily disturbed areas will be stabilized and restored to pre-construction conditions, and all construction materials, vehicles, excess soils, and nonbiodegradable sediment controls will be removed from the site upon completion of work.

The project will result in less than 1 acre of earth disturbance. A Construction Period Stormwater Pollution Prevention and Erosion and Sedimentation Control Plan (SWPPP) in accordance with the EPA National Pollution Discharge Elimination System Program (NPES), is not required.

Construction Best Management Practices will include but not be limited to the following:

- Prior to the start of construction sedimentation and erosion controls will be installed as necessary to control runoff and prevent unwanted erosion.
- Sedimentation and erosion controls will include but not be limited to the installation of straw wattles, straw bales, compost socks, and/or silt fencing and catch basin inserts.
- Erosion and sedimentation controls will be monitored and maintained until completion of construction and until the site is stabilized.
- To minimize impacts to vegetation and soil, construction equipment will work from within the disturbed areas as much as possible.
- The fueling of equipment will be completed as far from the resource areas as possible and in an upland area.
- No fueling or washing of vehicles will be allowed on site.
- Hazardous materials such as gas, oils, greases, and paint will be stored in an upland area under cover as far from resource areas as possible.
- Upon completion of construction, the work areas will be restored to previous conditions
- Any excess soil will be removed from the site and no side casting of materials into any resource areas will be allowed.

- All construction equipment and materials will be removed from the work area upon completion of construction.
- Non-biodegradable sedimentation and erosion will be removed from the work area once the area is stabilized.

## CONCLUSION

In conclusion, on behalf of the Massachusetts Department of Conservation and Recreation, Coneco requests the issuance of an Order of Conditions for the proposed Dealtry Memorial Pool Project located at 138 Pleasant Street, in Watertown, Massachusetts. The proposed work will occur within Riverfront Area, Bordering Land Subject to Flooding, and the locally regulated 50-Foot No-Build Zone. Once all construction is completed, any denude areas will be restored to preconstruction conditions to the greatest extent possible.

## REFERENCES

- Massachusetts Department of Environmental Protection (MassDEP). 1995. Delineating Bordering Vegetated Wetlands Under the Massachusetts Wetlands Protection Act, A Handbook. March 1995.
- Massachusetts Department of Fish and Game (MassDFG). 2018. Massachusetts River Crossings Handbook. 2nd Edition, June 2012. Reprinted May 2018.
- U.S. Army Corps of Engineers. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1. Vicksburg, Mississippi: U.S. Army Engineers Waterways Experiment Station Environmental Laboratory.
- U.S. Army Corps of Engineers. 2006. *Invasive Species Control / Management Plan (ISCP) Guidance*. New England District.
- U.S. Army Corps of Engineers. 2012. Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region (Version 2.0), ed. J. S. Wakeley, R. W. Lichvar, C. V. Noble, and J. F. Berkowitz. ERDC/EL TR-12. Vicksburg, MS: U.S. Army Engineer Research and Development Center.

**ATTACHMENT B**  
**NOTICE TO ABUTTERS**

DEALTRY MEMORIAL POOL PROJECT  
138 Pleasant Street  
Watertown, Massachusetts  
NOI

**AFFIDAVIT OF SERVICE**

**Under the Massachusetts Wetlands Protection Act**

I, Nicholas Hebel hereby certify under the pains

and penalties of perjury that on August 13, 2025 I will have given notification to abutters in compliance with the second paragraph of the Massachusetts General Laws Ch. 131 § 40, and the DEP Guide to Abutter Notification in connection with the following matter:

A(n) Notice of Intent application was filed under the Massachusetts Wetlands Protection Act

by Coneco Engineers and Scientists  
(name)

with the Watertown Conservation Commission on August 13, 2025 for a property located at 138 Pleasant Street, Watertown, Massachusetts.

The form of notification and the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Nicholas Hebel

signature

August 13, 2025

date

## NOTIFICATION TO ABUTTERS

### WATERTOWN WETLANDS ORDINANCE MASSACHUSETTS WETLANDS PROTECTION ACT M.G.L. C. 131.§40

An Application for Permit and a Notice of Intent has been filed with the Watertown Conservation Commission seeking permission to remove, fill, dredge or alter an area subject to protection under G.L. Ch. 131.§40 and/or the Watertown Wetlands Ordinance.

The name of the Applicant is Department of Conservation and Recreation (DCR).

The address of the land where the activity is proposed is 138 Pleasant Street (Property ID: 201-1-1136).

The work proposed consists of renovating the existing pool, pool deck, and spray deck.

Copies of the Application for Permit and Notice of Intent and accompanying plans may be examined at the office of the Watertown Conservation Commission, Town Hall (3<sup>rd</sup> floor), 149 Main Street, Watertown MA during regular business hours.

For more information, call 978-656-8684 ext. 221, [nhebel@coneco.com](mailto:nhebel@coneco.com)

Check one: This is the Applicant [  ], Applicant's representative [  ], or other [  ].

Copies of the Application for Permit and Notice of Intent may be obtained from either (check one) the Applicant [  ] or the Applicant's representative [  ], by calling 978-656-8684 ext. 221 from 9am to 5pm on Monday - Friday or [nhebel@coneco.com](mailto:nhebel@coneco.com).

Notice of the public hearing to be held September 3rd 2025, at 7:00 pm., held remotely, will be published in the *Watertown Tab* and will be posted outside the Town Clerk's office on the first floor of the Watertown Town Hall, at least five business days in advance of the hearing.

Contact the Watertown Conservation Commission of the MA Department of Environmental Protection (DEP) Northeast Region Office for information about this Application or the Wetlands Protection Act, and the Commission regarding the Watertown Wetlands Ordinance.

Watertown Conservation Commission  
(617) 972-6426  
<http://www.watertown-ma.gov/index.aspx?nid=103>

MassDEP Northeast Region Office  
(978) 694-3200  
<http://www.mass.gov/dep/>



**CITY OF WATERTOWN**  
**BOARD OF ASSESSORS**  
Administration Building  
149 Main Street  
Watertown, Massachusetts 02472-4410

EARL L. SMITH, CHAIR  
RICHARD V. MOYNIHAN  
KATHLEEN COLLEARY

TELEPHONE (617) 972-6410  
FAX (617) 972-6497

## ABUTTERS CERTIFICATION

In consideration of the request for a certified abutters list, the Watertown Board of Assessors hereby certifies for the property located at:

Location: 114 Pleasant Street, Watertown, MA


Parcel # 201 - 1 - 1136

That the record of owner and mailing addresses as outlined in this email attached hereto specifies the abutters to the subject locus property. This is for Watertown Properties only.

Per Massachusetts General Laws Chapter 40A, Section 11:

For purposes of notification, "Parties in interest" as used in this chapter shall mean the petitioner, abutters, owners of land directly opposite on any public or private street or way, and abutters to the abutters within three hundred feet of the property line of the petitioner as they appear on the most recent applicable tax list.

The above record is herein certified based upon an examination of the most recent list of property owners for the City of Watertown.

By:   
Sean M. DelRose  
Assistant Assessor

Date: 7/29/2025

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated Daily.

Abutters	Street Address	Owner Address
107 1 1041	50 WATERTOWN ST 313	LEMOINE CAROLINE A 50 WATERTOWN ST U-313 WATERTOWN, MA 02472
205 23 1004	111 PLEASANT ST #14	MALHOTRA RAJAT 111 PLEASANT ST U14 WATERTOWN, MA 02472
205 42 2	18 CONANT RD	18 CONANT ROAD REALTY TRUST 18 CONANT RD WATERTOWN, MA 02472
205 25B 1009	99 PLEASANT ST 1-4	ZURABYAN ZAREH 99 PLEASANT ST U1-4 WATERTOWN, MA 02472
205 9 1	74 GREEN ST 76	LOGAKIS EMMANUEL 76 GREEN ST WATERTOWN, MA 02472
107 1 1030	50 WATERTOWN ST 302	KEUSSEYAN KRIKOR 50 WATERTOWN ST U302 WATERTOWN, MA 02472
214 20 27AC	79 MYRTLE ST 3	VON LAUDERMANN KARL 79 MYRTLE ST U3 WATERTOWN, MA 02472
205 1A 95	95 PLEASANT ST	CANELLOS ANDREW P 95 PLEASANT ST WATERTOWN, MA 02472

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107 1 1012	50 WATERTOWN ST #110	ISHKANIAN ELLEN S 5 LILAC CR WELLESLEY, MA 02181
205 46A 0U23	23 CONANT RD	MCGRAIL, MICHAEL JAMES 23 CONANT RD WATERTOWN, MA 02472
205 25B 1	99 PLEASANT ST A-1	SALI MARGARET A 574 QUADDICK TOWN FARM RD THOMPSON, CT 06277
107 1 1062	50 WATERTOWN ST 506	VANPEE TRUSTEE MARTINE A 50 WATERTOWN ST U506 WATERTOWN, MA 02472
107 1 1029	50 WATERTOWN ST 301	LI DARREN 50 WATERTOWN ST- U301 WATERTOWN, MA 02472
205 40 ATAX	26 CHESTNUT ST	ROMAN CATHOLIC ARCHBISHOP OF B 25 CHESTNUT ST WATERTOWN, MA 02472
201 21 2E	188 PLEASANT ST UNIT 5	DANG LENNY L 188 PLEASANT STREET UNIT 5 WATERTOWN, MA 02472
107 1 1073	50 WATERTOWN ST 608	LIU TE-CHUN 50 WATERTOWN ST U608 WATERTOWN, MA 02472
125 4A 1P	CALIFORNIA ST	PHILIP A RAND CO., INC 139 CALIFORNIA ST NEWTON, MA 02458

## City of Watertown, MA Abutters Report

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at 114 PLEASANT ST REAR**

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202 1E 0	64 PLEASANT ST	BERKELEY PLEASANT ST OWNER, LLC 125 HIGH STREET SUITE 531 BOSTON, MA 02110
205 8B 0	78 GREEN ST 80	PORTNOY NICHOLAS B 25 CHANNING RD WATERTOWN, MA 02472
201 3A A	172 PLEASANT ST	YERUKHIMOV ALEKSEY 73 FREEMAN ST ARLINGTON, MA 02474
214 27C B	195 PLEASANT ST	MOLODOWITCH CHRISTINA 195 PLEASANT ST WATERTOWN, MA 02472
205 25B 1013	99 PLEASANT ST #2-4	YILDIZ EVRIM 99 PLEASANT ST UNIT 2-4 WATERTOWN, MA 02472
107 1 1053	50 WATERTOWN ST 411	RARDIN ROBERT LYNN 50 WATERTOWN ST U-411 WATERTOWN, MA 02472
107 1 1017	50 WATERTOWN ST #202	PORGES DONALD F 50 WATERTOWN ST U202 WATERTOWN, MA 02472
107 1 1021	50 WATERTOWN ST #207	DYMKOVA GALINA 65 WOODCLIFF ROAD CHESTNUT HILL, MA 02467
107 1A 1	20 WATERTOWN ST 30	ASN WATERTOWN LLC P O BOX 87407 CHICAGO, IL 60680

## City of Watertown, MA Abutters Report

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at 114 PLEASANT ST REAR

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107 1 1071	50 WATERTOWN ST 605	CARR JEAN A TRUSTEE 50 WATERTOWN ST U605 WATERTOWN, MA 02472
209 1 3	69 GREEN ST 71	TSIEN LOUIS L/E 71 GREEN ST REALTY TRUST 71 GREEN ST WATERTOWN, MA 02472
205 1A 91	91 PLEASANT ST	OZASLAN BASAK 91 PLEASANT ST WATERTOWN, MA 02472
107 1 1025	50 WATERTOWN ST 211	KAHN ROBIN 50 WATERTOWN ST - U211 WATERTOWN, MA 02472
107 1 1040	50 WATERTOWN ST #312	HILL SHAWN TRUSTEE 58 MYRTLE ST. APT 2 SOMERVILLE, MA 02145
107 1 1067	50 WATERTOWN ST 601	BARSOUMIAN ARMENOUHIE 50 WATERTOWN ST #601 WATERTOWN, MA 02472
205 23 1009	111 PLEASANT ST 22	DEGEORGE GEORGE TRUSTEE G DEGEORGE & D CHAMBERLAND REV TR 111 PLEASANT ST U-22 WATERTOWN, MA 02472
205 54A 0	137 PLEASANT ST 139	VISCOMI LILIA, TRUSTEE 10 CONANT RD WATERTOWN, MA 02472
205 23 1015	111 PLEASANT ST 31	THE ADAMSON SOKOLOFF TRUST 111 PLEASANT ST UNIT 31 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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107 1 1074	50 WATERTOWN ST 609	GROSSO JAMES F. 50 WATERTOWN ST #609 WATERTOWN, MA 02472
201 6B A	150 PLEASANT ST	VICIDOMINO JOHN A 150 PLEASANT STREET UNIT 3 WATERTOWN, MA 02472
201 23 10A	108 PLEASANT ST 110	DARVIRIS NICHOLAS ET GEORGIA TRS 31 HOLT ST BELMONT, MA 02478
107 1 1063	50 WATERTOWN ST 507	KOMINS LAUREN JILL 193 OAK ST UNIT #206E NEWTON, MA 02464
107 1 1075	50 WATERTOWN ST 610	HALLAM STEPHANIE 3301 206TH PL SW LYNNWOOD, WA 98036
107 1 1035	50 WATERTOWN ST 307	NEMATALLAH NADER Y 50 WATERTOWN ST U307 WATERTOWN, MA 02472
201 21 2C	192 PLEASANT ST #UNIT 3	HU JINGMING 192 PLEASANT STREET UNIT 3 WATERTOWN, MA 02472
124 2A 0	68 CALIFORNIA ST 70	GEBEYAN ROBERT 136 PLEASANT ST LEXINGTON, MA 02421
214 20 27AA	79 MYRTLE ST #1	MURPHY SIOBHAN 79 MYRTLE ST UNIT#1 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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107 1 1038	50 WATERTOWN ST #310	KHOREVA YELENA 50 WATERTOWN ST U 310 WATERTOWN, MA 02472
205 23 1008	111 PLEASANT ST 21	GREENE LAURA L 111 PLEASANT ST UNIT 21 WATERTOWN, MA 02472
205 51A 0	125 PLEASANT ST	BASTIANELLI, SR DAVID A TRUSTEE 18 CONANT ROAD WATERTOWN, MA 02472
205 23 1007	111 PLEASANT ST 17	JONES TRUSTEE JESSICA N 111 PLEASANT ST #17 WATERTOWN, MA 02472
107 1 1036	50 WATERTOWN ST 308	ZHOU LILI 50 WATERTOWN ST U-308 WATERTOWN, MA 02472
107 1 1054	50 WATERTOWN ST #412	SPARROW, LINDA S 801 CENTRE ST #1C JAMAICA PLAIN, MA 02130
214 18A 0	65 MYRTLE ST	HOPTON MEGAN T 65 MYRTLE STREET WATERTOWN, MA 02472
124 24D 0	51 WATERTOWN ST	DESALVO CHARLES J TRUSTEE C/O CENTURY TIRE 53 WALNUT ST. PEABODY, MA 01960
107 1 1033	50 WATERTOWN ST 305	WAGH ADITI M 50 WATERTOWN ST U-305 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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201 25 0	106 PLEASANT ST	DARVIRIS NICHOLAS ET GEORGIA TRS 31 HOLT ST BELMONT, MA 02478
205 6A 0	159 PLEASANT ST	159 PLEASANT STREET LLC 19 TECH CIRCLE NATICK, MA 01760
107 1 1011	50 WATERTOWN ST 109	ENGLAND ROBERT 50 WATERTOWN ST U-109 WATERTOWN, MA 02472
107 1 1028	50 WATERTOWN ST #214	GU JOANN Z 50 WATERTOWN ST #214 WATERTOWN, MA 02472
107 1 1068	50 WATERTOWN ST 602	ADOMAT RACHEL N 50 WATERTOWN STU602 WATERTOWN, MA 02472
201 12 3	100 PLEASANT ST	O `DETTE DAVID & LINDA J L/E O `DETTE IRREV TRUST 2017 100 PLEASANT ST WATERTOWN, MA 02472
107 1 1042	50 WATERTOWN ST 314	MAYSTROVSKAYA MARIA 50 WATERTOWN ST #314 WATERTOWN, MA 02472
217 2 0	65 BACON ST	65 BACON STREET REALTY LLC 479 MAIN ST WATERTOWN, MA 02472
201 21 2G	184 PLEASANT ST #UNIT 7	EISENHAUER, JANE ELIZABETH 184 PLEASANT ST, UNIT 7 WATERTOWN, MA 02472

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201 21 2F	186 PLEASANT ST UNIT 6	SOBLE DAVID 186 PLEASANT ST WATERTOWN, MA 02472
107 1 1039	50 WATERTOWN ST 311	MELAMED YURY & RADA TRUSTEES 50 WATERTOWN ST U-311 WATERTOWN, MA 02472
205 40 A	CHESTNUT ST LOT A	ROMAN CATHOLIC ARCHBISHOP OF B 25 CHESTNUT ST WATERTOWN, MA 02472
201 21 2B	194 PLEASANT ST #UNIT 2	SURAPANENI, SEKHAR 194 PLEASANT ST, UNIT 2 WATERTOWN, MA 02472
107 1 1031	50 WATERTOWN ST #303	MAYUR TRUSTEE RANJANA 50 WATERTOWN ST U303 WATERTOWN, MA 02472
107 1 1055	50 WATERTOWN ST 413	LAI ANDY 50 WATERTOWN ST U 413 WATERTOWN, MA 02472
205 23 1001	111 PLEASANT ST 11	O`BRIEN JOAN A 111 PLEASANT ST #11 WATERTOWN, MA 02472
214 26B 0B	191 PLEASANT ST	AHN THOMAS 191 PLEASANT ST U-2 WATERTOWN, MA 02472
205 1A 87	87 PLEASANT ST	KONDA KRISHNA 87 PLEASANT ST WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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202 5 1	1 BROOK ST	CROSSRAM LLC 315 FRANKLIN ST NEWTON, MA 02458
124 13E 0	52 CALIFORNIA ST 54	ANTONELLIS DOMENICO TRUSTEES ANTONELLIS REALTY TRUST 95 ALBERMARLE RD NEWTONVILLE, MA 02160
201 13 2	98 PLEASANT ST	LEE HSUEH-TZE 98 PLEASANT ST WATERTOWN, MA 02472
107 1 1006	50 WATERTOWN ST 105	TRAN SOFIA 50 WATERTOWN ST-UNIT 105 WATERTOWN, MA 02472
205 31 0	27 CHURCH LN	KOTRC BENJAMIN 27 CHURCH LN WATERTOWN, MA 02472
107 1 1013	50 WATERTOWN ST 111	MONCRIEFF BROOKE 75 CAPTIOL ST WATERTOWN, MA 02472
217 8A B	45 BACON ST	CHAUNCY PLACE CORPORATION 60 HOWARD ST #511 WATERTOWN, MA 02472
215 1 0	PLEASANT ST	WATERTOWN, TOWN OF HOWE PARK 149 MAIN ST WATERTOWN, MA 02472
217 1 0	219 PLEASANT ST	ESHKAGHI SHAHROKH 219 PLEASANT ST WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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205 30A 1	33 CHURCH LN	VALMANIFO 33 CHURCH LLC 106 LINCOLN ST BRIGHTON, MA 02135
107 1 1020	50 WATERTOWN ST 206	SITTHICHAIRANGSUN 50 WATERTOWN ST U206 WATERTOWN, MA 02472
107 1 1056	50 WATERTOWN ST #414	PISTOFTZIAN ANGELO 50 WATERTOWN ST #414 WATERTOWN, MA 02472
201 20 3	202 PLEASANT ST 204	KEYS MATTHEW 202 PLEASANT ST WATERTOWN, MA 02472
107 1 1072	50 WATERTOWN ST #607	SUN, RUI 50 WATERTOWN ST #607 WATERTOWN, MA 02472
201 21 2	196 PLEASANT ST #UNIT 1	IQBAL SHEIKH USMAN 196 PLEASANT STREET UNIT 1 WATERTOWN, MA 02472
205 49 9	11 CONANT RD	BASTIANELLI, JR , DAVID & GILLIES, CHELSEA 11 CONANT RD WATERTOWN, MA 02472
107 1 1051	50 WATERTOWN ST #409	FARKAS GEORGE TRUSTEE 50 WATERTOWN ST-UNIT 409 WATERTOWN, MA 02472
107 1 1050	50 WATERTOWN ST #408	MAWN-MAHLAU, CATHERINE 50 WATERTOWN ST #408 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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214 28D 0	197 PLEASANT ST 199	SAMPSON STEVEN A. 199 PLEASANT ST WATERTOWN, MA 02472
124 11D 0	56 CALIFORNIA ST	PISELLI POMPEO & PAULINE L/E 56 CALIFORNIA ST WATERTOWN, MA 02472
201 11A 0	102 PLEASANT ST	RAZIS VALERIE 88 ADENA RD NEWTON, MA 02465
205 25B 1004	99 PLEASANT ST A-5	CAIN DAVID K 20 TAFT AVE WEST NEWTON, MA 02165
107 1 1019	50 WATERTOWN ST #205	CHOW CHOK WING 50 WATERTOWN ST #205 WATERTOWN, MA 02472
205 25B 1008	99 PLEASANT ST 1-3	GILMAN SIMONA 99 PLEASANT ST - UNIT 1-3 WATERTOWN, MA 02472
205 23 1011	111 PLEASANT ST 24	JOHNSTON DONNA KAY TRUSTEE 111 PLEASANT ST UNIT 24 WATERTOWN, MA 02472
107 1 1058	50 WATERTOWN ST #502	FARKAS ERIC 50 WATERTOWN ST #502 WATERTOWN, MA 02472
205 23 1020	111 PLEASANT ST 36	LANGENHAGEN III CHARLES F 111 PLEASANT ST U-36 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

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107 1 1007	50 WATERTOWN ST 106	BHALERAO TRUSTEE RISHIKESH B 50 WATERTOWN ST U-106 WATERTOWN, MA 02472
205 10 2	70 GREEN ST	POPAS PAULA 70 GREEN ST WATERTOWN, MA 02472
205 25B 1003	99 PLEASANT ST A-4	WINDSOR PARTNERS 53 JORDAN RD BROOKLINE, MA 02446
205 46A 0U21	21 CONANT RD	YU, JING 21 CONANT RD UNIT 21 WATERTOWN, MA 02472
107 1 1052	50 WATERTOWN ST 410	CHAN LIN JOYCE 140 WISWALL RD NEWTON, MA 02459
205 48 0	17 CONANT RD	FAHEY CHARLENE A 17 CONANT RD WATERTOWN, MA 02472
205 23 1010	111 PLEASANT ST 23	LEE SANDRA M 111 PLEASANT ST UNIT 23 WATERTOWN, MA 02472
201 4 2	162 PLEASANT ST	GAETA JOSEPH A 162 PLEASANT ST WATERTOWN, MA 02472
107 1 1044	50 WATERTOWN ST #402	FONTAINE PAULINE 50 WATERTOWN ST U-402 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated Daily.

205 23 1006	111 PLEASANT ST 16	SCHEFFLER LAURIE F 111 PLEASANT ST #16 WATERTOWN, MA 02472
201 21 2D	190 PLEASANT ST UNIT 4	DONATIO CELIA A 190 PLEASANT STREET UNIT 4 WATERTOWN, MA 02472
214 26B 0	189 PLEASANT ST	HEMMATIYAN SHAYAN 189 PLEASANT ST UNIT 1 WATERTOWN, MA 02472
205 23 1014	111 PLEASANT ST 27	ALADJEM HENRIETTA 111 PLEASANT ST UNIT 27 WATERTOWN, MA 02472
107 1 1046	50 WATERTOWN ST 404	FIKSLER BORIS 50 WATERTOWN ST U-404 WATERTOWN, MA 02472
205 40 0	CHESTNUT ST LOT B	BOSTON CATHOLIC TELEVISION CTR 23 CHESTNUT ST WATERTOWN, MA 02472
124 1 17	2 FIFTH AV	BONILLA MAXIMILIANO A 2 FIFTH AV WATERTOWN, MA 02472
107 1 1043	50 WATERTOWN ST 401	SESNOVICH BRUCE A 50 WATERTOWN ST #401 WATERTOWN, MA 02472
107 1 1022	50 WATERTOWN ST 208	VAN CRISTINA M 50 WATERTOWN ST U208 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

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205 2B 1C	143 PLEASANT ST 145	PACIOUS FRANCIS L JR 145 PLEASANT ST WATERTOWN, MA 02472
205 23 1012	111 PLEASANT ST #25	VANETZIAN ELLIOT M & CHARLES R, TRS 111 PLEASANT ST U-25 WATERTOWN, MA 02472
202 2 6865	7 GALEN ST 9	RMR OPFCP LP 9 GALEN ST WATERTOWN, MA 02472
205 32 2	19 CHURCH LN 2	FROC RANDY 19 CHURCH HILL LANE - U 2 WATERTOWN, MA 02472
205 3D 0	141 PLEASANT ST	PACIOUS FRANCIS L JR 145 PLEASANT ST WATERTOWN, MA 02472
107 1 1049	50 WATERTOWN ST 407	BAGHDOYAN VALENTINE Y TRUSTEE 50 WATERTOWN ST U407 WATERTOWN, MA 02472
107 1 1010	50 WATERTOWN ST 108	DAVID MACRAE HOLMES REVOCABLE TRUST 50 WATERTOWN ST U-108 WATERTOWN, MA 02472
205 23 1002	111 PLEASANT ST 12	SOHIGIAN JASON A 111 PLEASANT STREET UNIT 12 WATERTOWN, MA 02472
205 64 5A	11 VIVIAN DR	MATHRUBUTHAM RAMANI 41538 CARMEN ST FREMONT, CA 94539

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated Daily.

201 2 0	182 PLEASANT ST	SANCHEZ MARIA PIA 182 PLEASANT ST WATERTOWN, MA 02472
205 32 4	15 CHURCH LN 4	NYGREN JAN M 15 CHURCH LN UNIT 4 WATERTOWN, MA 02472
204 10 10	2 CROSS ST	EWS RESIDENTIAL PROPERTY OWNER, LLC 535 MADISON AVE , 6TH FL NEW YORK, NY 10022
205 50B 0	121 PLEASANT ST 123	MELKONIAN ROBERT 19 WINNING FARM ROAD WOBURN, MA 01801
201 19 4	206 PLEASANT ST 208	RUSSO OLIVIA 208 PLEASANT ST WATERTOWN, MA 02472
205 23 1021	111 PLEASANT ST 37	USATIN EUGENE 111 PLEASANT ST UNIT 37 WATERTOWN, MA 02472
205 1A 85	85 PLEASANT ST	KATZ RALPH TRUSTEE 37 SUNSET WAY MEDFIELD, MA 02052
205 23 1013	111 PLEASANT ST 26	GROSS MERYL 111 PLEASANT ST UNIT 26 WATERTOWN, MA 02472
205 1A 81	81 PLEASANT ST	CAMERON MARIANNE GUGGINA 81 PLEASANT ST WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated Daily.

201 7 142	142 PLEASANT ST 1	PETERSON MICHAEL 142 PLEASANT ST U-1 WATERTOWN, MA 02472
205 25B 1007	99 PLEASANT ST 1-2	LUI NELSON 99 PLEASANT ST #1-2 WATERTOWN, MA 02472
107 1 1061	50 WATERTOWN ST 505	XIA ZHIYU 50 WATERTOWN ST U505 WATERTOWN, MA 02472
201 5 3	PLEASANT ST	COMMONWEALTH OF MASSACHUSETTS 251 CAUSEWAY ST. STE 600 BOSTON, MA 02114
205 25B 1011	99 PLEASANT ST 2-2	OLSEN ROBERT E 99 PLEASANT ST UNIT 2-2 WATERTOWN, MA 02472
205 23 1019	111 PLEASANT ST 35	WALKER GAIL M & DANIEL S TRUSTEE 111 PLEASANT ST U35 WATERTOWN, MA 02472
124 15 22	48 CALIFORNIA ST 50	MCDERMOTT MARY E L/E 50 CALIFORNIA ST WATERTOWN, MA 02472
214 20A 27B	75 MYRTLE ST 77	HUGHES WILLIAM T 97 DEPOT ROAD ASHBURNHAM, MA 01430-1041
204 22C A	55 PLEASANT ST 57 #A	LYONS JEFFERSON M TRUSTEE 167 GROVE STREET PROVIDENCE, RI 02909

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

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218 1 1	69 HOWARD ST	AACS REALTY LLC 320 WATERTOWN ST NEWTON, MA 02458
107 1 1014	50 WATERTOWN ST 112	WU HAO 50 WATERTOWN STREET #112 WATERTOWN, MA 02472
107 1 1064	50 WATERTOWN ST 508	KAYAL DANIELLE 50 WATERTOWN ST U508 WATERTOWN, MA 02472
107 1 1027	50 WATERTOWN ST 213	BARSHTEYN SVETLANA 342 GREEN ST NORTHBOROUGH, MA 01532
124 9A C	60 CALIFORNIA ST	BACCARI LUIGI TRUSTEE LMB REALTY TRUST 24 JENSEN RD WATERTOWN, MA 02472
124 25A 0	39 WATERTOWN ST	DECINA LIMITED PARTNERSHIP 73 DALBY ST NEWTON, MA 02158
205 23 1016	111 PLEASANT ST 32	COLON-COLLAZO JOSE E 111 PLEASANT ST #32 WATERTOWN, MA 02472
107 1 1069	50 WATERTOWN ST #603	ZOUKIS MARY LOUISE 50 WATERTOWN ST U-603 WATERTOWN, MA 02472
107 1 1066	50 WATERTOWN ST #510	ZHAO, YONG 50 WATERTOWN ST UNIT 510 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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219 6B 0	270 PLEASANT ST	RIVERBEND GARDEN LP, ET AL 999 WATERSIDE DRIVE SUITE 2300 NORFOLK, VA 23510
107 1 1026	50 WATERTOWN ST 212	CHARI RAJAGOPAL & SHOBHNA 50 WATERTOWN ST #212 WATERTOWN, MA 02472
205 5 1A	153 PLEASANT ST	FARHAT HASSAN T 153 PLEASANT ST U-153 WATERTOWN, MA 02472
205 12A 6A	7 VIVIAN DR	MEDEIROS JOSE 7 VIVIAN DR WATERTOWN, MA 02472
205 11 3	66 GREEN ST	BABALAS EMANUEL P. 354 PAYSON RD BELMONT, MA 02178
201 7 144	144 PLEASANT ST #2	AL-ROOMI MODAR Q. 144 PLEASANT ST WATERTOWN, MA 02472
204 22C B	55 PLEASANT ST 57 B	MCNAMARA MATTHEW J 57 PLEASANT ST - U-B WATERTOWN, MA 02472
107 1 1005	50 WATERTOWN ST #104	HAROUTUNIAN RICHARD A 50 WATERTOWN ST U-104 WATERTOWN, MA 02472
205 29 0	67 PLEASANT ST	VALMANIFO 67 PLEASANT, LLC 106 LINCOLN ST BRIGHTON, MA 02135

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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107 1 1037	50 WATERTOWN ST 309	ELVIN FRANK J & ANN TRUSTEES 2 PIN OAK ESTATES DR BELLAIRE, TX 77401
107 1 1059	50 WATERTOWN ST #503	KIDDER STEPHEN L 3740 MORRISON WAY DOYLESTOWN, PA 18902
205 5 1B	155 PLEASANT ST	WOODSON JOHN MICHAEL 153-155 PLEASANT ST - U155 WATERTOWN, MA 02472
107 1 1032	50 WATERTOWN ST 304	THUMITH EDWARD R 292 GOLDENROD DR ST. AUGUSTINE, FL 32092
107 1 1018	50 WATERTOWN ST #204	BARSOUMIAN ANNI 50 WATERTOWN ST-UNIT 204 WATERTOWN, MA 02472
205 25B 1005	99 PLEASANT ST A-6	STRAHAN WILLIAM D 99 PLEASANT ST UA-6 WATERTOWN, MA 02472
201 6A 0	146 PLEASANT ST	WEI JIE TRUSTEE 66 HIGH STREET U3 CHARLESTOWN, MA 02129
205 23 1005	111 PLEASANT ST 15	NOSRATIAN AZAR 111 PLEASANT ST UNIT 15 WATERTOWN, MA 02472
107 1 1015	50 WATERTOWN ST 113	BELSCHNER BRIANNE C. 50 WATERTOWN ST U-113 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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125 3 0	CALIFORNIA ST	COMMONWEALTH OF MASSACHUSETTS 251 CAUSEWAY ST. STE 600 BOSTON, MA 02114
214 29E 0	PLEASANT ST	WATERTOWN, TOWN OF HOWE PARK 149 MAIN ST WATERTOWN, MA 02472
107 1 1060	50 WATERTOWN ST 504	WONG JOAN LAI MING TRUSTEE 68 LOS ANGELES ST U 102 NEWTON, MA 02458
124 21C 0	30 CALIFORNIA ST	WON-BUDDHISM OF BOSTON 30 CALIFORNIA ST WATERTOWN, MA 02472
107 1 1016	50 WATERTOWN ST 201	RAJENDRAPRASAD SANU SREEJA 50 WATERTOWN ST U201 WATERTOWN, MA 02472
107 2 0	31 GALEN ST	MARIA VICTORIA LLC 11 DEXTER AVENUE WATERTOWN, MA 02472
205 25B 1012	99 PLEASANT ST 2-3	COFFEY JOCELYN 167B PUTNAM AVE CAMBRIDGE, MA 02139
205 4A 0	149 PLEASANT ST 151	HOWARD, ALEXANDER KLINGMAN, LAUREN 151 PLEASANT ST WATERTOWN, MA 02472
201 15 0	PLEASANT ST	COMMONWEALTH OF MASSACHUSETTS 251 CAUSEWAY ST. STE 600 BOSTON, MA 02114

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

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107 1 1024	50 WATERTOWN ST 210	WAN PHILIP TRUSTEE 50 WATERTOWN ST U210 TRUST 28 BURNHAM ST BELMONT, MA 02478
107 1 1008	50 WATERTOWN ST 107	SUN LIVING TRUST JULIANA SHAN-MIN 50 WATERTOWN ST U107 WATERTOWN, MA 02472
205 25B 1002	99 PLEASANT ST A-2	LEOPOLD AARON 206 SOUTH PINEHURST ST ABERDEEN, NC 20315
205 25B 1010	99 PLEASANT ST 2-1	DEMICHELE CAROL A 99 PLEASANT ST U-2-1 WATERTOWN, MA 02472
124 9B 0U64	64 CALIFORNIA ST	GUILMET STEPHANIE L 64 CALIFORNIA STREET WATERTOWN, MA 02472
217 3 0	233 PLEASANT ST	RIVERBEND GARDEN LP, ET AL 999 WATERSIDE DRIVE SUITE 2300 NORFOLK, VA 23510
205 41 0	14 CONANT RD	NELSON MARY JOAN L/E 14 CONANT RD WATERTOWN, MA 02472
201 16 8	120 PLEASANT ST	AIMCO PLEASANT STREET, LLC 13155 NOEL ROAD #100 LB73 DALLAS, TX 75240
205 28 0	75 PLEASANT ST	LE KEVIN H 75 PLEASANT ST WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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107 1 1070	50 WATERTOWN ST 604	TSUKAMOTO HIRONORI 50 WATERTOWN ST U604 WATERTOWN, MA 02472
205 1A 89	89 PLEASANT ST	HARLESS ANDREW D. 89 PLEASANT ST WATERTOWN, MA 02472
214 27C A	193 PLEASANT ST	NELSON CYNTHIA L. 193 PLEASANT ST WATERTOWN, MA 02472
205 52 0	PLEASANT ST	WATERTOWN, TOWN OF SMALL SLIVER 149 MAIN ST WATERTOWN, MA 02472
124 9B 0U66	66 CALIFORNIA ST	RASHIDIJAHANABAD ZAHRA 66 CALIFORNIA STREET WATERTOWN, MA 02472
214 20 27AB	79 MYRTLE ST 2	ERICKSON MICHELLE 79 MYRTLE ST U2 WATERTOWN, MA 02472
201 18 5	PLEASANT ST	COMMONWEALTH OF MASS 251 CAUSEWAY ST, STE 600 BOSTON, MA 02114
205 23 1017	111 PLEASANT ST 33	FERESHETIAN SHAHE 111 PLEASANT ST U-33 WATERTOWN, MA 02472
214 25A 0	PLEASANT ST	WATERTOWN, TOWN OF TOWN LAND 149 MAIN ST WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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107 1 1045	50 WATERTOWN ST 403	YOUNG TRUST BENJAMIN STEWART 174 ADAMS ST UNIT 6 NEWTON, MA 02458
125 2 0	93 CALIFORNIA ST	ZEVITAS CHRISTOPHER 93 CALIFORNIA ST WATERTOWN, MA 02472
201 6B 0	154 PLEASANT ST	WRIGHT PAMELA A 30 EDEN AVE NEWTON, MA 02465-1906
123 5C 0	74 CALIFORNIA ST	LEONOR ESDRAS R 74 CALIFORNIA ST WATERTOWN, MA 02472
205 32 1	21 CHURCH LN #1	DICKINSON TRUSTEE SELDON C 21 CHURCH LANE UNIT 1 WATERTOWN, MA 02472
107 1 1048	50 WATERTOWN ST #406	MACDOUGALL, TERRY 50 WATERTOWN STREET UNIT 406 WATERTOWN, MA 02472
205 32 3	17 CHURCH LN 3	SEDER, LINDA MILLER TRUSTEE 17 CHURCH LANE - UNIT 3 WATERTOWN, MA 02472
205 23 1018	111 PLEASANT ST 34	WHELAN ELAINE D. 111 PLEASANT ST #34 WATERTOWN, MA 02472
107 1 1057	50 WATERTOWN ST 501	CHIOTASSO TRUSTEE CHRISTINA M 50 WATERTOWN ST #501 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

**300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR**

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107 1 1023	50 WATERTOWN ST #209	RUBEN MURRAY 4554 VIA CLARICE SANTA BARBRA, CA 93111
205 1A 93	93 PLEASANT ST	DENNIS K. SONIFER TRUST 93 PLEASANT STREET UNIT 2 WATERTOWN, MA 02472
107 1 1065	50 WATERTOWN ST 509	CHANG SANDRA 94 MARY ELLEN ROAD NEWTON, MA 02468
205 23 1003	111 PLEASANT ST 12A	DOMINGUEZ JORGE I TRUSTEE MARY A DOMINGUEZ 2015 REV TRST P O BOX 1326 CENTER HARBOR, NH 03226
201 14 1	96 PLEASANT ST	CHO DOOYON 96 PLEASANT ST WATERTOWN, MA 02472
205 25B 1006	99 PLEASANT ST 1-1	COFFEY JOCELYN 167 B PUTNAM AVE. CAMBRIDGE, MA 02139 - 2947
219 7 0	PLEASANT ST OFF	COMMONWEALTH OF MASSACHUSETTS 251 CAUSEWAY ST. STE 600 BOSTON, MA 02114
107 1 1047	50 WATERTOWN ST 405	GESY REALTY TRUST 50 WATERTOWN ST U-405 WATERTOWN, MA 02472
107 1 1034	50 WATERTOWN ST 306	DEMERS SUSAN A 50 WATERTOWN ST U-306 WATERTOWN, MA 02472

## City of Watertown, MA Abutters Report

300ft. Abutters of Property 201 1 1136  
at 114 PLEASANT ST REAR

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107 1 1009	50 WATERTOWN ST 606	CICCONI DANIEL J 50 WATERTOWN ST #606 WATERTOWN, MA 02472
204 14 0	63 PLEASANT ST	63 PLEASANT STREET LLC 25 MYOPIA RD WINCHESTER, MA 01890
124 17 23	44 CALIFORNIA ST 46	RICE LAURA G 44-46 CALIFORNIA ST WATERTOWN, MA 02472
214 19 25A	71 MYRTLE ST 73	FARINA JOHN L. 71 MYRTLE ST WATERTOWN, MA 02472
205 30A B	29 CHURCH LN	CAMERATO TRUSTEE CARMINE JR 2 ORSINI DR WAKEFIELD, MA 01880
205 1A 83	83 PLEASANT ST	SLITSKY BARRY E 83 PLEASANT ST UNIT 1 WATERTOWN, MA 02472
201 3 1	168 PLEASANT ST 170	160-170 PLEASANT STREET LLC 37 WALNUT ST UPTON, MA 01568
202 6 2	3 BROOK ST	PEIRCE G. MICHAEL, TRUSTEE 315 FRANKLIN ST NEWTON, MA 02458

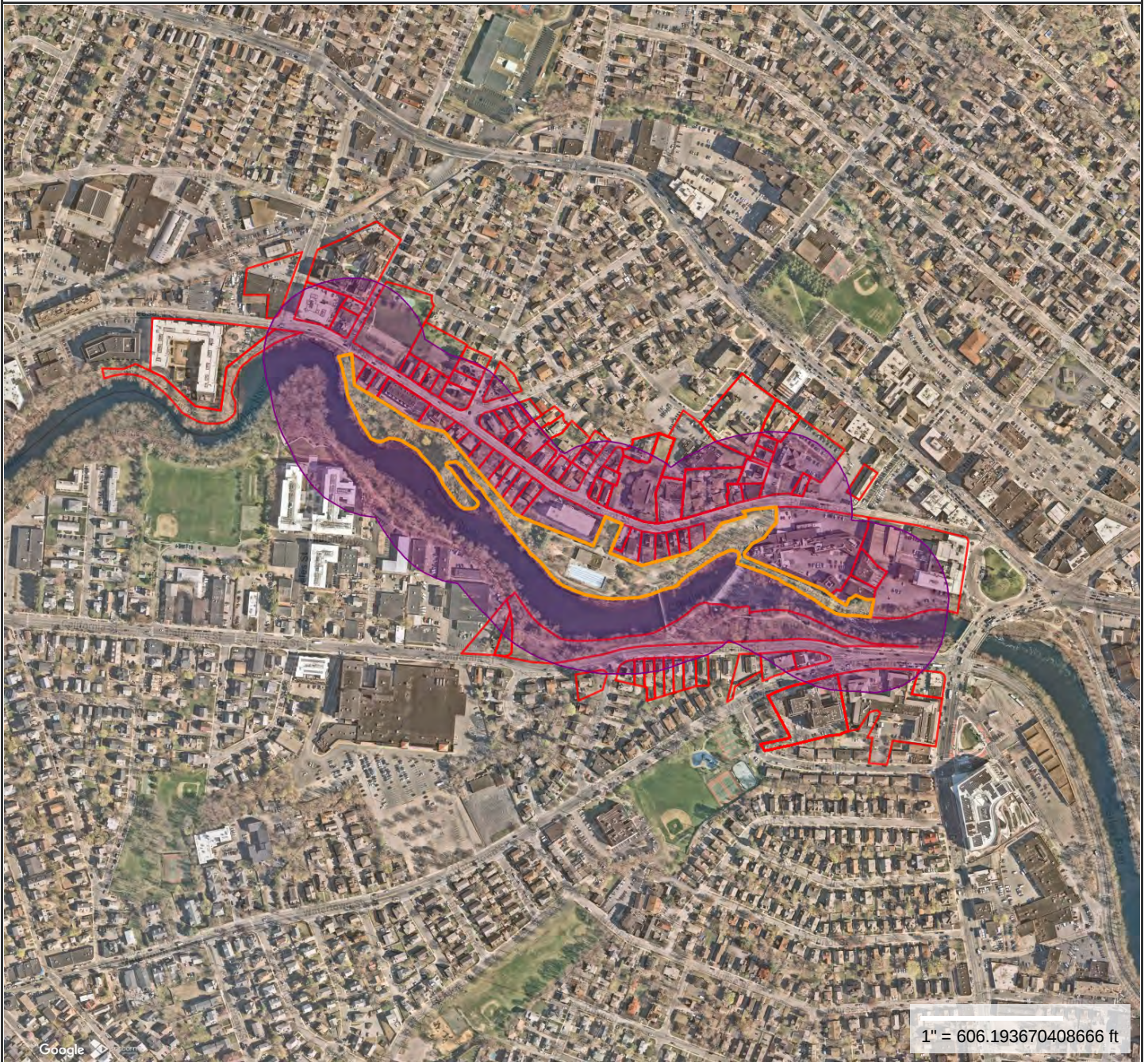
## City of Newton, MA Abutters Report

**100ft. Abutters of Property 11001 0005  
at RIVERDALE AVE**

Please be aware that the abutters list reflects mailing address for the real estate tax bills as requested by the property owners. Mortgage companies, banks and other financial institutions may be receiving the notification and not the homeowner as required. Please be sure you are complying with notification requirements. Property data updated 11/14/2018.

Abutter	Site Address	Property ID	Owner Address
PA RAND LLC	137-139 CALIFORNIA ST	11001 0001	PA RAND LLC 137-139 CALIFORNIA ST NEWTON, MA 02458
MAZZI RLTY LLC	141-149 CALIFORNIA ST	11001 0001A	MAZZI RLTY LLC 34 PEREGRINE RD NEWTON, MA 02459
28-30 RIVERDALE AVE LLC	28-30 RIVERDALE AVE	11001 0004	28-30 RIVERDALE AVE LLC 30 RIVERDALE AVE STE 3 NEWTON, MA 02458
2 LOS ANGELES ST OWNER LLC	2-4 LOS ANGELES ST	11002 0007	2 LOS ANGELES ST OWNER LLC 200 EAST BROWARD BLVD STE 1410 FT LAUDERDALE, FL 33301
COMMONWEALTH OF MASSACHUSETTS	RIVERDALE AVE	11002 0010	COMMONWEALTH OF MASSACHUSETTS 20 SOMERSET ST BOSTON, MA 02108
COMMONWEALTH OF MASSACHUSETTS	RIVERDALE AVE	11004 0029	COMMONWEALTH OF MASSACHUSETTS 20 SOMERSET ST BOSTON, MA 02108

# Abutters Search



**Property Information**

**Property ID** 201 1 1136  
**Location** 114 PLEASANT ST REAR  
**Building Value** 0  
**Land Value** 1,137,200  
**Total Value** 1,137,200

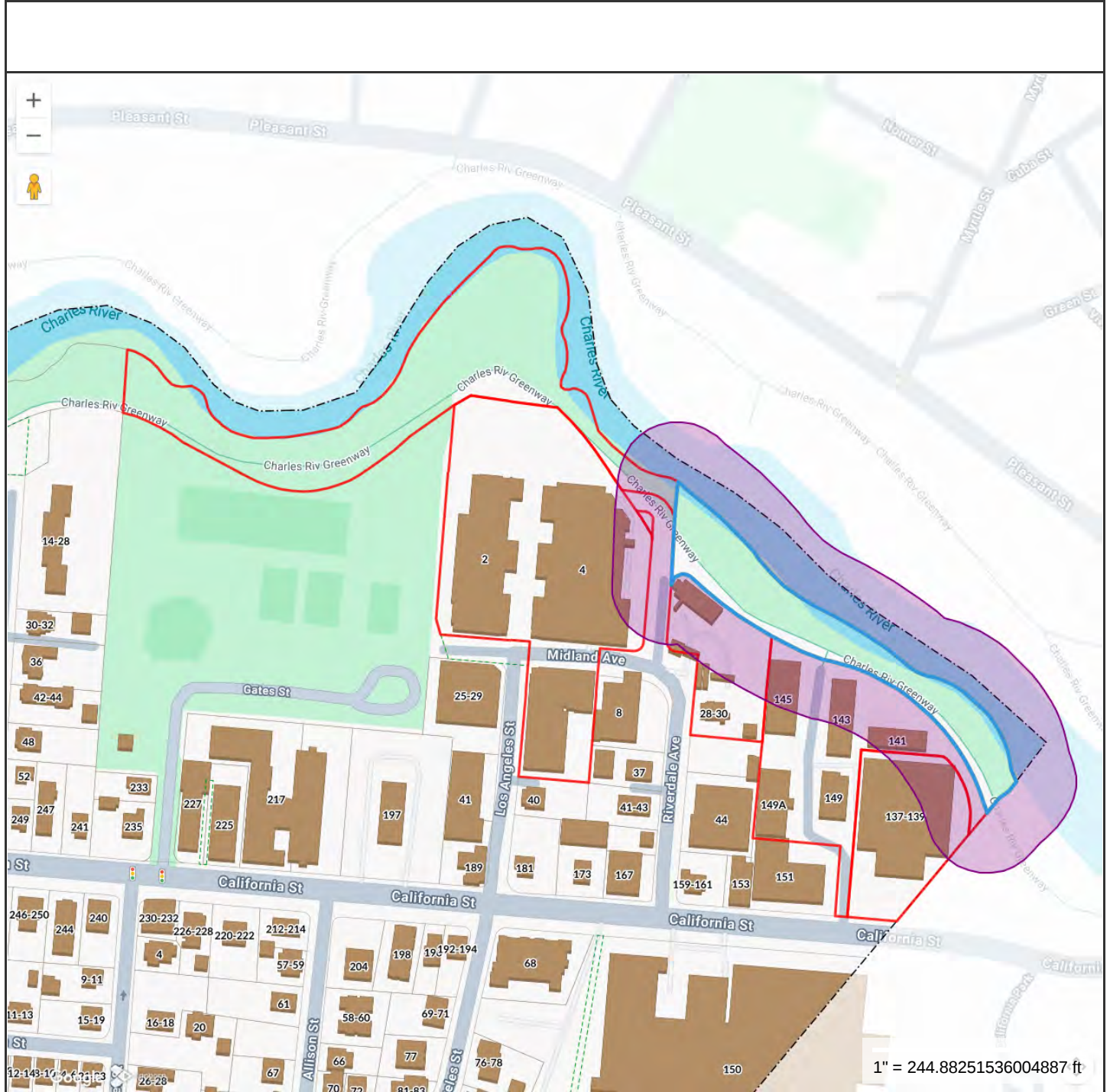


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Watertown, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 01/17/2023  
Data updated Daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



**Property Information**

**Property ID** 11001 0005  
**Location** RIVERDALE AVE  
**Owner** COMMONWEALTH OF MASSACHUSETTS



**MAP FOR REFERENCE ONLY  
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Geometry updated 06/18/2025  
Data updated 11/14/2018

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

# ATTACHMENT C

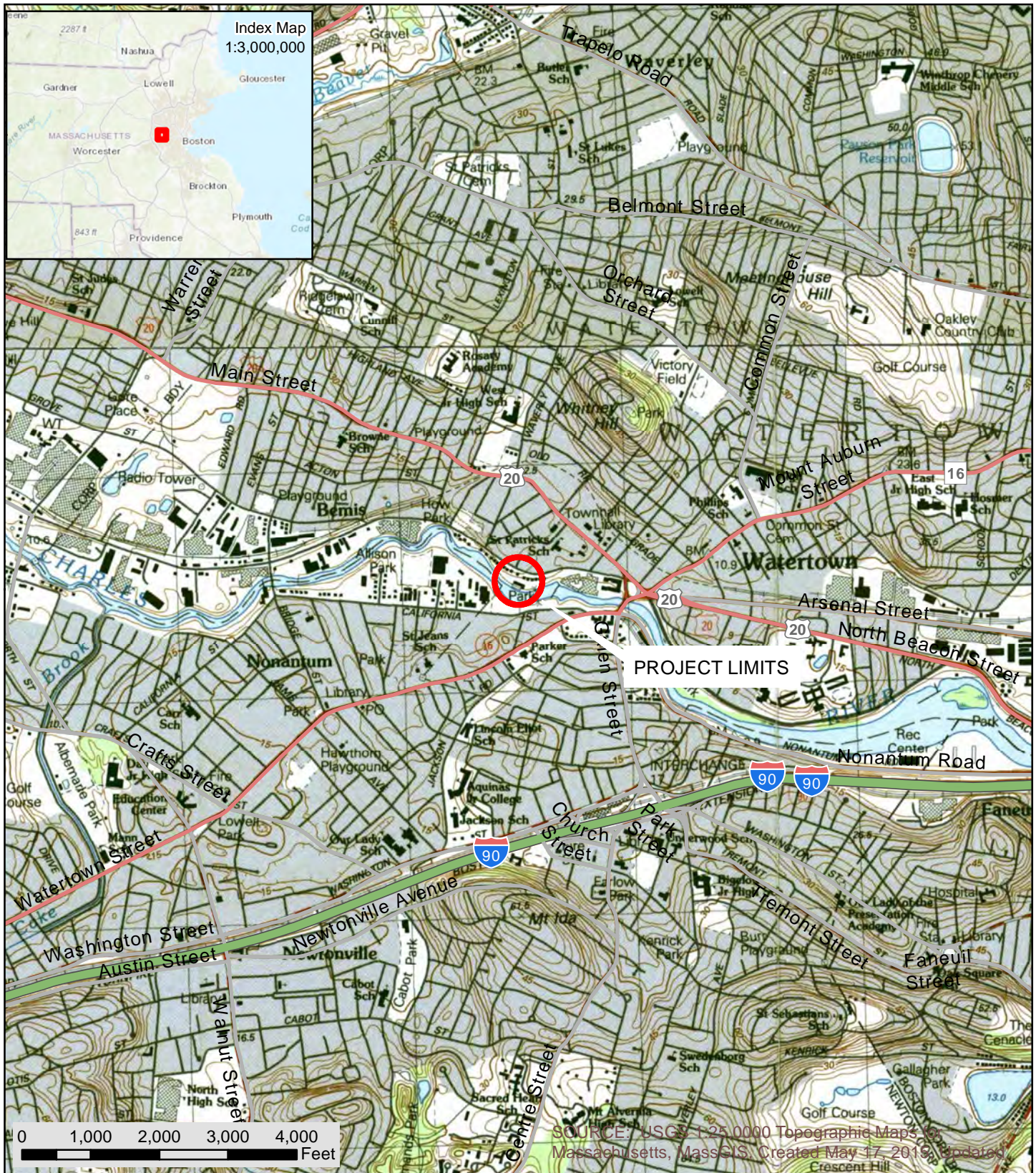
## FIGURES

DEALTRY MEMORIAL POOL PROJECT

138 Pleasant Street

Watertown, Massachusetts

NOI



North arrow pointing up with the letter 'N' above it.

1:24,000

1 inch = 2,000 feet

**FIGURE 1: USGS TOPOGRAPHIC MAP**  
 from Newton, MA Quadrangle, 7.5 Minute Series

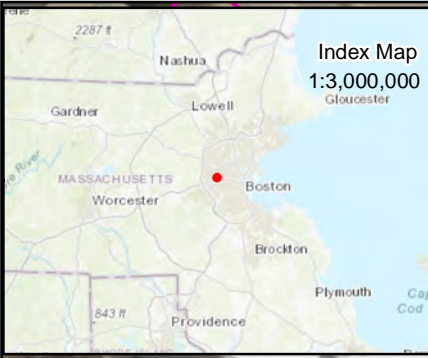
**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 USGS, MassGIS



THIS DOCUMENT IS INTENDED FOR GENERAL PLANNING & INFORMATION PURPOSES ONLY. ALL MEASUREMENTS & LOCATIONS ARE APPROXIMATE.



**Legend**

Project Limits



N

1:720  
1 inch = 60 feet

**FIGURE 2: AERIAL IMAGE**

**DEALTRY MEMORIAL POOL PROJECT**  
Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community





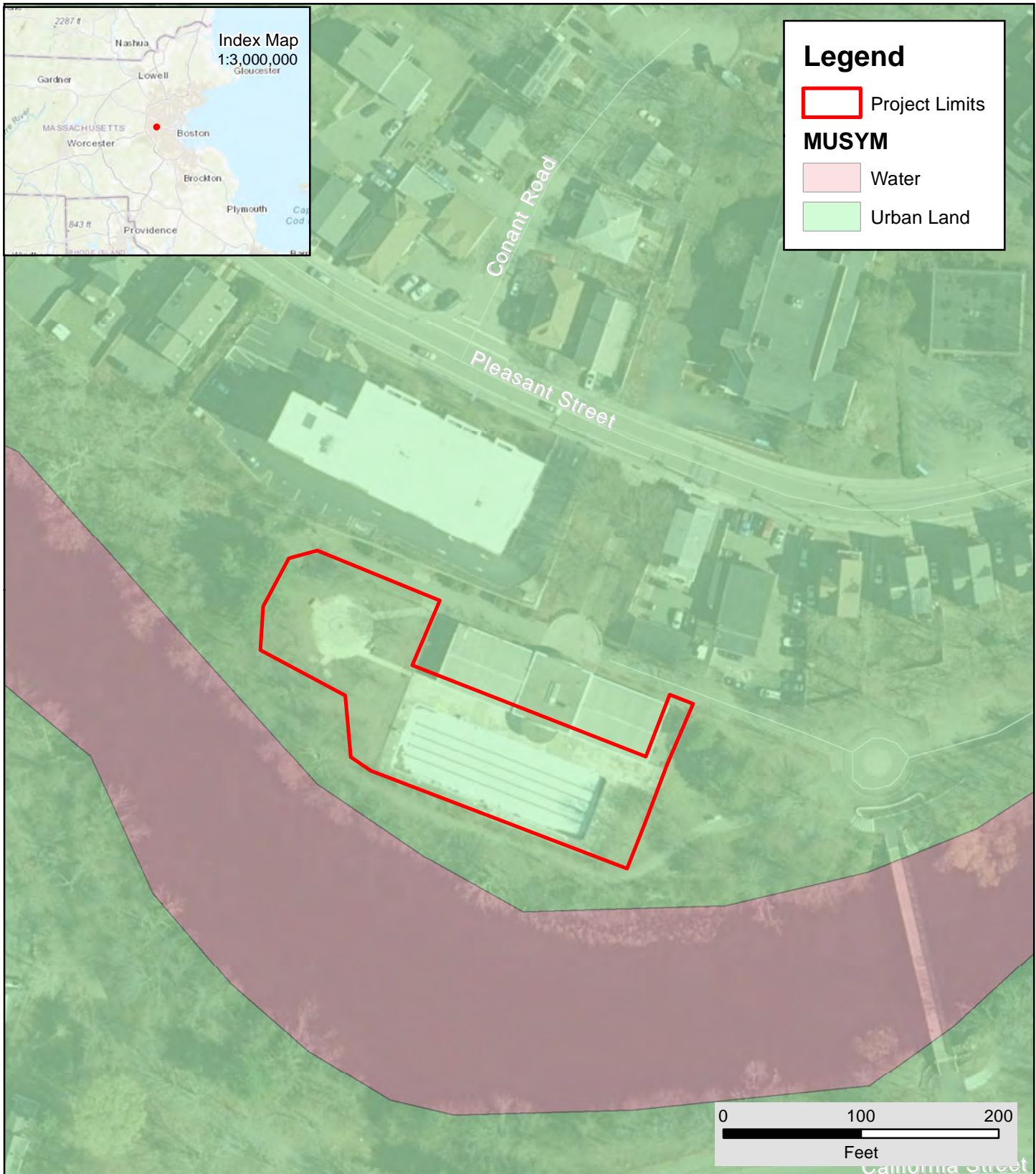
N  
  
 1:1,200  
 1 inch = 100 feet

**FIGURE 3: MA DEP WETLANDS**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

MassDEP  
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



N  
  
 1:1,200  
 1 inch = 100 feet

**FIGURE 4: NRCS Soils**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

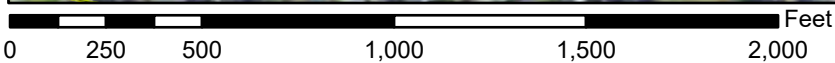
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

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# National Flood Hazard Layer FIRMMette



71°11'48"W 42°22'9"N



1:6,000

71°11'10"W 42°21'42"N

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D

OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall

OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature

MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **5/19/2025 at 4:38 AM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



**FIGURE 6: MA Natural Heritage Endangered Species Program  
 VERNAL POOLS, PRIORITY HABITAT & ESTIMATED HABITAT**

**DEALTRY MEMORIAL POOL PROJECT  
 Watertown, Massachusetts**

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 MassGIS, NHESP



THIS DOCUMENT IS INTENDED FOR GENERAL PLANNING & INFORMATION PURPOSES ONLY. ALL MEASUREMENTS & LOCATIONS ARE APPROXIMATE.



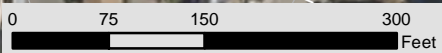
**Legend**

- Project Limits
- Areas of Critical Environmental Concern
- MA DFW Coldwater Fisheries Resources
- ZONE A
- ZONE B
- DEP Approved Zone I
- DEP Approved Zone II
- IWPA

**Outstanding Resource Waters**

**ORW Type**

- ACEC
- Cape Cod National Seashore
- Protected Shoreline
- Public Water Supply Watershed
- Retired Public Water Supply
- Scenic/Protected River
- Wildlife Refuge



1:1,800

**FIGURE 7: CRITICAL AREAS (ACECs, ORWs, GROUND WATER PROTECTION AREAS, ETC.)**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P. Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 Mass. Executive Office of Energy and Environmental Affairs (EEA), MassGIS



# ATTACHMENT D

## PHOTOGRAPHS

DEALTRY MEMORIAL POOL PROJECT

138 Pleasant Street

Watertown, Massachusetts

NOI



238 Littleton Road, Suite 105, Westford, MA 01886  
Telephone: 978-656-8684 x202

**Photos Taken July of 2025 by Coneco.**



**Photo 1:** View of Bank viewing northwest at flag B4.



**Photo 2:** View of Bank viewing southeast at flag B5.



**Photo 3:** View of Bank viewing west at flag B7.



**Photo 4:** View of Bank viewing west at flag B16.



**Photo 5:** View of gravel pathway between pool deck and the Charles River. Viewing west from the southeastern corner of the pool deck fence.



**Photo 6:** View of degrading concrete structure at southeastern corner of the pool deck.



**Photo 7:** View of spray deck, viewing southeast.



**Photo 8:** View of area where gravel pathway is proposed, viewing southeast. From edge of spray deck.



**Photo 9:** View of spray deck, viewing southwest.



**Photo 10:** View of spray deck, viewing northeast.



**Photo 11:** View of pool deck, viewing east.



**Photo 12:** View of pool deck, viewing east.



**Photo 13:** View of area where new concrete and shade structure are proposed, viewing south.



**Photo 14:** View of pool, viewing west from the eastern edge of the pool deck.



**Photo 15:** View of area where new concrete and shade structure are proposed, viewing north.

**ATTACHMENT E**  
**STORMWATER CHECKLIST**

DEALTRY MEMORIAL POOL PROJECT  
138 Pleasant Street  
Watertown, Massachusetts  
NOI

Filed Separately

## **STORMWATER MANAGEMENT REPORT**

**PROJECT SITE:  
DEALTRY POOL AND SPRAY DECK REHABILITATION PROJECT  
114 REAR PLEASANT STREET  
WATERTOWN, MASSACHUSETTS**

**PREPARED FOR:  
DEPARTMENT OF CONSERVATION AND RECREATION  
TRANSPORTATION BUILDING  
10 PARK PLAZA, SUITE 6620  
BOSTON, MASSACHUSETTS 02116**

**PREPARED BY:**



*4 1<sup>st</sup> Street, Bridgewater, MA 02324*

Phone: (508) 697-3191

E-mail: [kmchugh@coneco.com](mailto:kmchugh@coneco.com)

**JULY 31, 2025**

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APPENDIX A – LONG TERM POLLUTION PREVENTION PLAN



# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



# Checklist for Stormwater Report

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## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

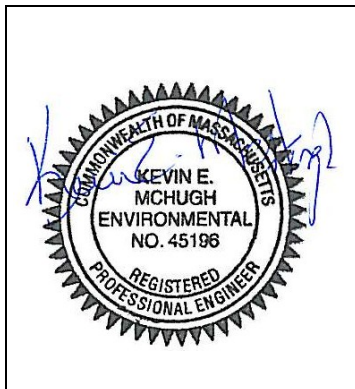
A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

---

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



*Kevin McHugh*  
Signature and Date

7/31/25

---

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



# Checklist for Stormwater Report

## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

The project is the redevelopment of an existing pool/recreation facility. The design attempts to minimize disturbances to trees and shrubs by maintaining the pool facility within its existing footprint to the extent possible. The layout of the improved spray deck avoids the need to remove trees. If tree removal is needed, the removed trees will be replaced at a 2:1 ratio.

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): N/A - See the Note.

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.

For the pool redevelopment component, the majority of the pool area will be reconstructed within the original footprint with no increase in impervious surface. Proposed deck expansion will add impervious surface, but runoff from the expansion will flow to the adjacent ground surface.

At the new spray deck, limited area is available to construct infiltration structures without impacting trees.

For the pool expansion area at the eastern end, all runoff from the deck will floor to the adjacent ground surface and infiltrate. At the new spray deck, all stormwater will collect in the central drain and discharge to the River, same as existing conditions.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

N/A

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.

N/A



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
- Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
  - Redevelopment Project
  - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

O&M for this and all DCR properties is covered by DCR's state-wide O&M program. This includes regular maintenance and cleanup of the State properties.

A basic long-term O&M plan is attached to this document.

**Illicit Discharge Compliance Statement**

**Responsibility:**

The Owner is responsible for ultimate compliance with all provisions of the Massachusetts Stormwater Management Policy, the USEPA NPDES Construction General Permit and responsible for identifying and eliminating illicit discharges (as defined by the USEPA).

**OWNER NAME:** Department of Conservation & Recreation  
**ADDRESS:** 10 Park Plaza, 6620  
Boston, MA 02116  
**TEL. NUMBER:** 617-626-1250

**Engineer's Compliance Statement:**

To the best of my knowledge, the attached plans, computations, and specifications meet the requirements of Standard 10 of the Massachusetts Stormwater Handbook regarding illicit discharges to the stormwater management system and that no detectable illicit discharges exist on the site. All documents and attachments were prepared under my direction and qualified personnel properly gathered and evaluated the information submitted to the best of my knowledge.

Included with this statement are site plans, drawn to scale, that identify the location of systems for conveying stormwater on the site and show that these systems do not allow the entry of any illicit discharges into the stormwater management system. The plans also show any systems for conveying wastewater and/or groundwater on the site and show that there are no connections between the stormwater and wastewater systems.

Kevin McHugh, P.E. Sr.  
Project Manager



## INTRODUCTION

Coneco Engineers & Scientists, Incorporated (Coneco) has prepared this Stormwater Management Report to document the proposed Dealtry Pool and Spray Deck Rehabilitation project's compliance with the Stormwater Management Standards. The objective of the proposed project is to provide additional recreational opportunities at the pool facility for families. The improved pool and spray deck will be fully accessible and will provide an additional opportunity for visitors with disabilities to enjoy the complex.

The proposed Redevelopment Project does add to the site's existing impervious surfaces by increasing the size of the spray deck and slightly expanding the pool deck. However, stormwater runoff from the pool deck will flow to the adjacent ground where it will infiltrate into the ground. At the expanded new spray deck, the nature of the system requires that all spray deck operating water and any collected stormwater be collected from the impervious surface and discharged through central collection basins. This operational method is the same as existing and is consistent with most spray decks operated by DCR. Since operational water and stormwater cannot be separated, it is not possible to separate stormwater for collection and treatment. In addition, since the area of the redeveloped spray deck is heavily treed, limited space is available to construct underground infiltration structures without disturbing mature trees.

It is important to note that due to the nature of the spray deck operation and its setting, the possibility of pollutants, including sediments collecting at the spray deck and discharging from the system is extremely low, both when the system is operating and within collected stormwater. DCR operates their spray decks using a spray-to-drain approach, which means that potable water is sprayed in the system and discharged through the collection drains where, at this site, discharge to the nearby Charles River. The discharge of potable water from the spray deck to the Charles River has been reviewed by and approved by both the DEP and EPA. Copies of correspondence from both agencies is attached.

## EXISTING CONDITIONS

Under existing conditions, stormwater is managed through a combination of surface flow to grassed areas and collection in a limited number of catchbasins within the property.

Because this project is a Redevelopment Project, 310 CMR 10.05(6)(k)7 requires that the Stormwater Standards to be met to the maximum extent practicable.

## PROPOSED CONDITIONS

The proposed stormwater runoff conditions at the site will be similar to the existing conditions. The new spray deck will include a new concrete surface to replace and expand upon the existing spray deck surface. The "wet" portion of the new spray deck (approximately 2,380 square feet) will be sloped to central main drains and these drains will be connected to an existing outfall to the Charles River. The remaining portions of the new concrete deck (approximately 990 square feet) will be sloped away from the "wet" area and will discharge to the surrounding ground surface, similar to the existing conditions.

## STORMWATER MANAGEMENT STANDARDS REVIEW

As part of this drainage analysis, Coneco has performed an in-depth review of the subject site for conformance with the Massachusetts Department of Environmental Protection's Stormwater Management Standards. The project is considered a redevelopment project (as defined in Standard 7) and is therefore required to meet the following Stormwater Management Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pretreatment and structural best management practice requirements of Standards 4, 5 and 6. Existing stormwater discharges shall comply with Standard 1 only to the maximum extent practicable and a redevelopment project shall comply with all other requirements of the Stormwater Management Standards and improve existing conditions. The following is a summary of our findings relative to our review of each of the standards. Please note that the actual text of each standard is italicized for clarity.

***STANDARD 1:** No new stormwater conveyances (e.g. outfalls) may discharge untreated stormwater directly to or cause erosion in wetlands or waters of the Commonwealth.*

No new outfalls are planned for the site.

***STANDARD 2:** Stormwater management systems shall be designed so that post-development peak discharge rates do not exceed pre-development peak discharge rates. This Standard may be waived for discharges to land subject to coastal storm flowage as defined in 310 CMR 10.04.*

For the swimming pool redevelopment portion of the project, the majority of the work will be completed within the existing pool footprint. Along the southern side of the pool, the deck will be pulled approximately 3-feet closer to the building, moving the pool 3-feet away from the bank of the Charles River. Reducing the pool width in this area will produce approximately 595 square feet of mitigation area that will be replanted and returned to a natural condition.

To respond to requests from the public to expand the pool to a 50 meter regulation length pool, DCR is proposing to extend the pool approximately 10-feet to the east. This will add impervious surfacing due to the construction of the expanded pool deck. However, the deck will be sloped away from the pool causing any collected water to sheet flow off the new deck and toward the adjacent ground where it will infiltrate.

At the expanded new spray deck, the nature of the system requires that all spray deck operating water and any collected stormwater be collected from the impervious surface and discharged through central collection basins. This operational method is the same as existing and is consistent with most spray decks operated by DCR. Since operational water and stormwater cannot be separated, it is not possible to separate stormwater for collection and treatment. In addition, since the area of the redeveloped spray deck is heavily treed, limited space is available to construct underground infiltration structures without disturbing mature trees.

As described above, the objective has been to meet this standard to the "maximum extent practicable". Stormwater infiltration has been implemented by sheet flowing collected stormwater to adjacent grassed areas for infiltration where possible.

***STANDARD 3:** Loss of annual recharge to groundwater shall be eliminated or minimized through the use of infiltration measures including environmentally sensitive site design, low impact development techniques, stormwater best management practices, and good operation and maintenance. At a minimum, the annual recharge from the post-development site shall approximate the annual recharge from pre-development conditions based on soil type. This Standard is met when the stormwater*

*management system is designed to infiltrate the required recharge volume as determined in accordance with the Massachusetts Stormwater Handbook.*

See Standard 2 above.

**STANDARD 4:** *Stormwater management systems shall be designed to remove 80% of the average annual post-construction load of Total Suspended Solids (TSS). This Standard is met when:*

- a) *Suitable practices for source control and pollution prevention are identified in a long-term pollution prevention plan, and thereafter are implemented and maintained;*
- b) *Structural stormwater best management practices are sized to capture the required water quality volume determined in accordance with the Massachusetts Stormwater Handbook; and*
- c) *Pretreatment is provided in accordance with the Massachusetts Stormwater Handbook.*

The proposed spray deck will be constructed within an established site that is fully enclosed by security fencing. In addition, the grading of the concrete apron that surrounds the new spray deck will be sloped away from the center drains, which will direct any sediments that could potentially exist at the site away from the collection drains. Therefore, due to the existing and proposed conditions, the likelihood of excessive sediment loading entering the center drains within the spray deck is minimal following site construction.

As part of the project construction specifications, the selected contractor will be required to remove any collected sediment from within the center drain collection sump and to provide and maintain a silt barrier within the drain throughout construction.

**STANDARD 5:** *For land uses with higher potential pollutant loads, source control and pollution prevention shall be implemented in accordance with the Massachusetts Stormwater Handbook to eliminate or reduce the discharge of stormwater runoff from such land uses to the maximum extent practicable. If through source control and/or pollution prevention all land uses with higher potential pollutant loads cannot be completely protected from exposure to rain, snow, snow melt, and stormwater runoff, the proponent shall use the specific structural stormwater BMPs determined by the Department to be suitable for such uses as provided in the Massachusetts Stormwater Handbook. Stormwater discharges from land uses with higher potential pollutant loads shall also comply with the requirements of the Massachusetts Clean Waters Act, M.G.L. c. 21, §§ 26-53 and the regulations promulgated thereunder at 314 CMR 3.00, 314 CMR 4.00 and 314 CMR 5.00.*

The project site is not a land use with higher potential pollutant loads, per the regulation.

**STANDARD 6:** *Stormwater discharges within the Zone II or Interim Wellhead Protection Area of a public water supply, and stormwater discharges near or to any other critical area, require the use of the specific source control and pollution prevention measures and the specific structural stormwater best management practices determined by the Department to be suitable for managing discharges to such areas, as provided in the Massachusetts Stormwater Handbook. A discharge is near a critical area if there is a strong likelihood of a significant impact occurring to said area, taking into account site-specific factors. Stormwater discharges to Outstanding Resource Waters and Special Resource Waters shall be removed and set back from the receiving water or wetland and receive the highest and best practical method of treatment. A "storm water discharge" as defined in 314 CMR 3.04(2)(a)1 or (b) to an Outstanding Resource Water or Special Resource Water shall comply with 314 CMR 3.00 and 314*

*CMR 4.00. Stormwater discharges to a Zone I or Zone A are prohibited unless essential to the operation of a public water supply.*

The project site is not within the Zone II or Interim Wellhead Protection Area of a public water supply and does not discharge near or to any Areas of Critical Environmental Concern.

***STANDARD 7:*** *A redevelopment project is required to meet the following Stormwater Management Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pretreatment and structural best management practice requirements of Standards 4, 5, and 6. Existing stormwater discharges shall comply with Standard 1 only to the maximum extent practicable. A redevelopment project shall also comply with all other requirements of the Stormwater Management Standards and improve existing conditions.*

The project involves redevelopment of an existing site. The proposed stormwater management approach for the project complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable, and maintains existing conditions.

***STANDARD 8:*** *A plan to control construction-related impacts including erosion, sedimentation and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) shall be developed and implemented.*

Locations for the installation of erosion controls as well as a detail that depicts the installation requirements for the erosion controls have been included with the design plan set. In addition, the notes sheets of the project plans include specific erosion control provisions that the contractor will be required to comply with throughout the project. These provisions include the installation compost silt socks or other erosion controls as required by the Conservation Commission, installation of silt sacks at all catchbasins, covering of all stockpiles and the installation of controls to enclose all stockpiles, and routine inspection requirements.

The proposed project site is less than one acre and therefore a Construction General Permit and associated pollution prevention plan will not be required.

***STANDARD 9:*** *A long-term operation and maintenance plan shall be developed and implemented to ensure that stormwater management systems function as designed.*

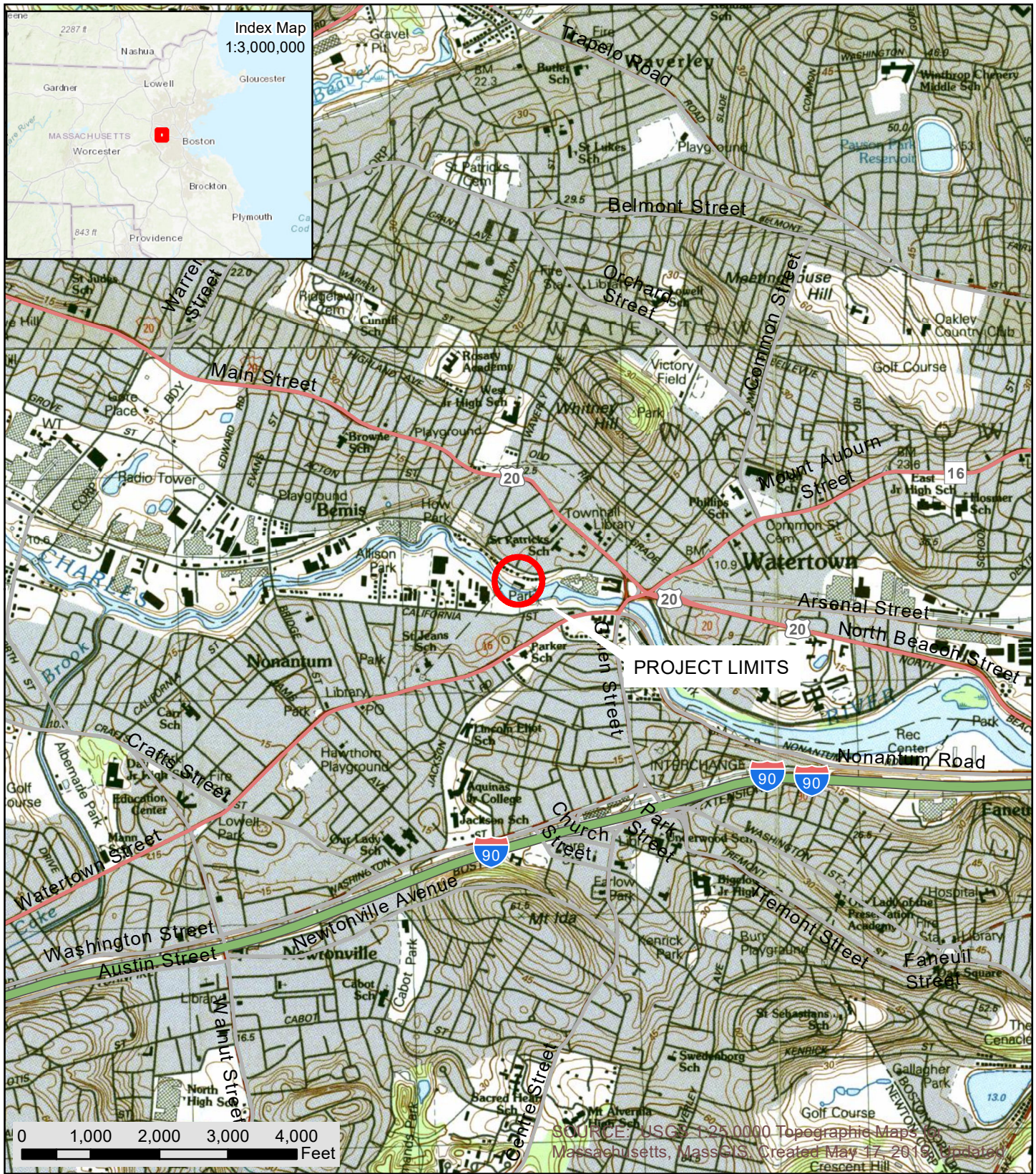
The stormwater management systems that exist or are proposed for construction at the site will not require extensive operation and maintenance activities. Onsite catchbasins will be inspected at the start of each season to ensure that sediments have not collected within the sump and the sump will be cleaned as necessary. O&M requirements fall under DCR's state wide O&M program.


***STANDARD 10:*** *All illicit discharges to the stormwater management system are prohibited.*

To our knowledge, no illicit discharges exist.

# FIGURE 1

USGS Topographic Map



  
 1:24,000  
 1 inch = 2,000 feet

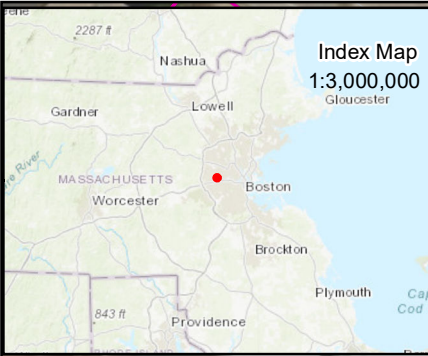
**FIGURE 1: USGS TOPOGRAPHIC MAP**  
 from Newton, MA Quadrangle, 7.5 Minute Series  
**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts  
 42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 USGS, MassGIS



# FIGURE 2

## Aerial Map



**Legend**

Project Limits



1:720  
1 inch = 60 feet

**FIGURE 2: AERIAL IMAGE**

**DEALTRY MEMORIAL POOL PROJECT**  
Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



# FIGURE 3

## DEP Wetlands Map



N  
  
 1:1,200  
 1 inch = 100 feet

**FIGURE 3: MA DEP WETLANDS**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

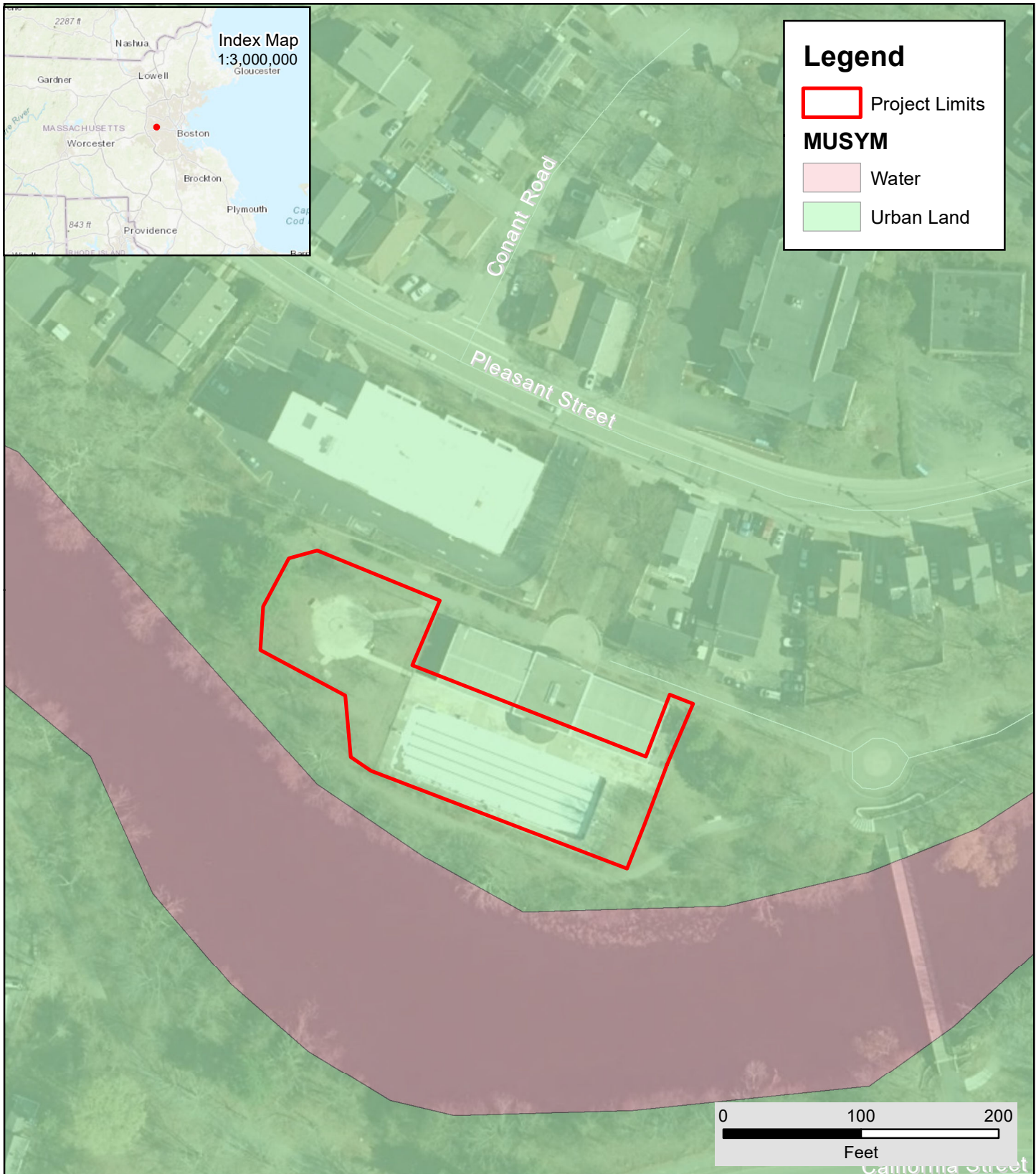
42.365417°N , -71.191361°W

MassDEP  
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community



# FIGURE 4

## Soils MAP



N

1:1,200  
1 inch = 100 feet

**FIGURE 4: NRCS Soils**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

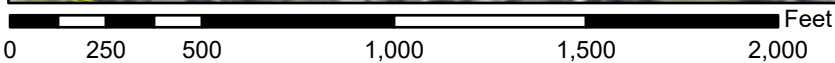
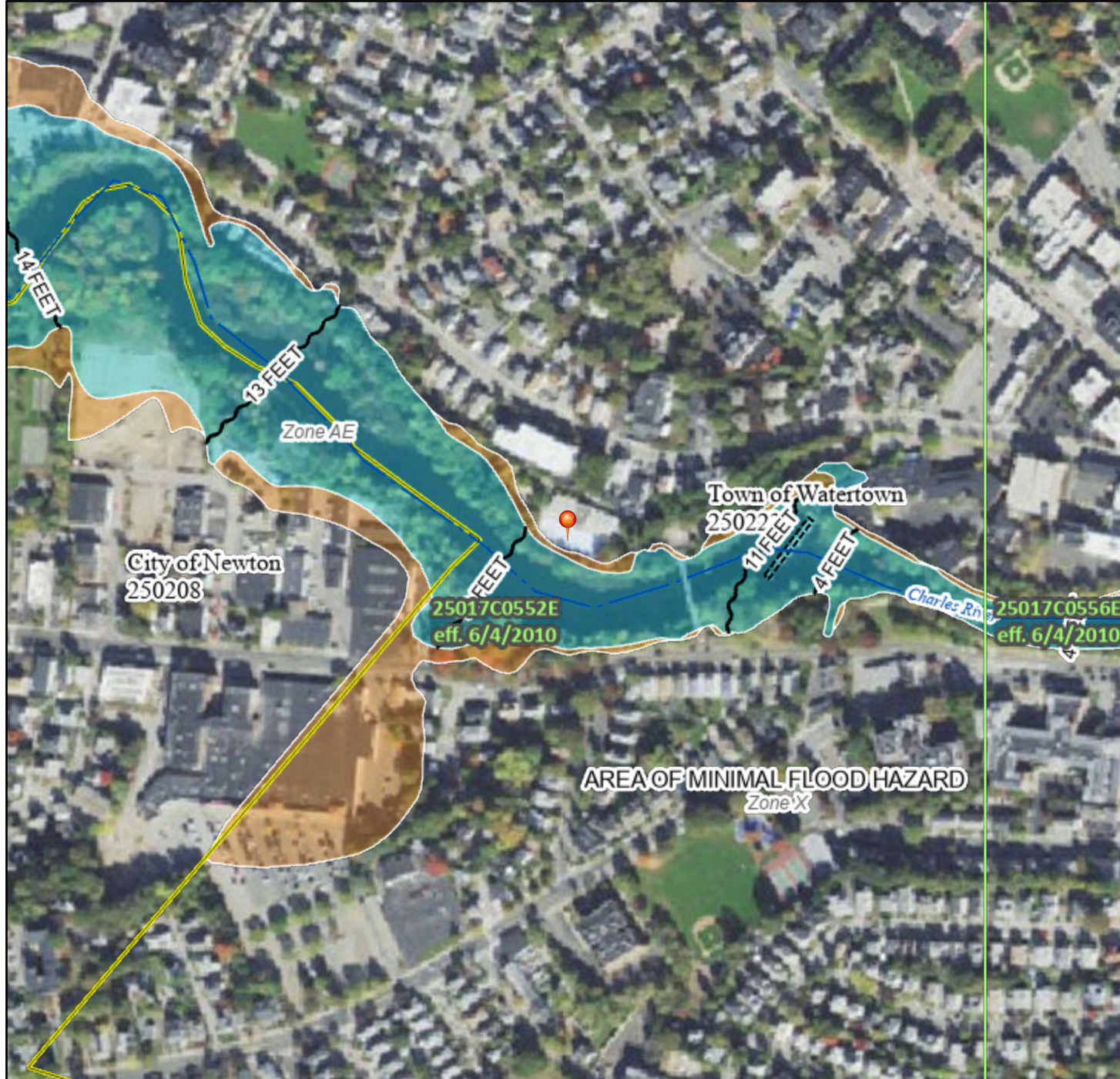
# FIGURE 5

## FEMA Flood Map

# National Flood Hazard Layer FIRMMette



71°11'48"W 42°22'9"N



1:6,000

71°11'10"W 42°21'42"N

Basemap Imagery Source: USGS National Map 2023

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<b>SPECIAL FLOOD HAZARD AREAS</b>		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
<b>OTHER AREAS OF FLOOD HAZARD</b>		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
<b>OTHER AREAS</b>		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
<b>GENERAL STRUCTURES</b>		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
<b>OTHER FEATURES</b>		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
<b>MAP PANELS</b>		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/19/2025 at 4:38 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

# FIGURE 6

NHESP Map



**Legend**

- Project Limits
- NHESP Potential Vernal Pools
- ★ NHESP Certified Vernal Pools
- NHESP Estimated Habitats of Rare Wildlife
- NHESP Priority Habitats of Rare Species

**FIGURE 6: MA Natural Heritage Endangered Species Program  
 VERNAL POOLS, PRIORITY HABITAT & ESTIMATED HABITAT**

**DEALTRY MEMORIAL POOL PROJECT  
 Watertown, Massachusetts**

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 MassGIS, NHESP

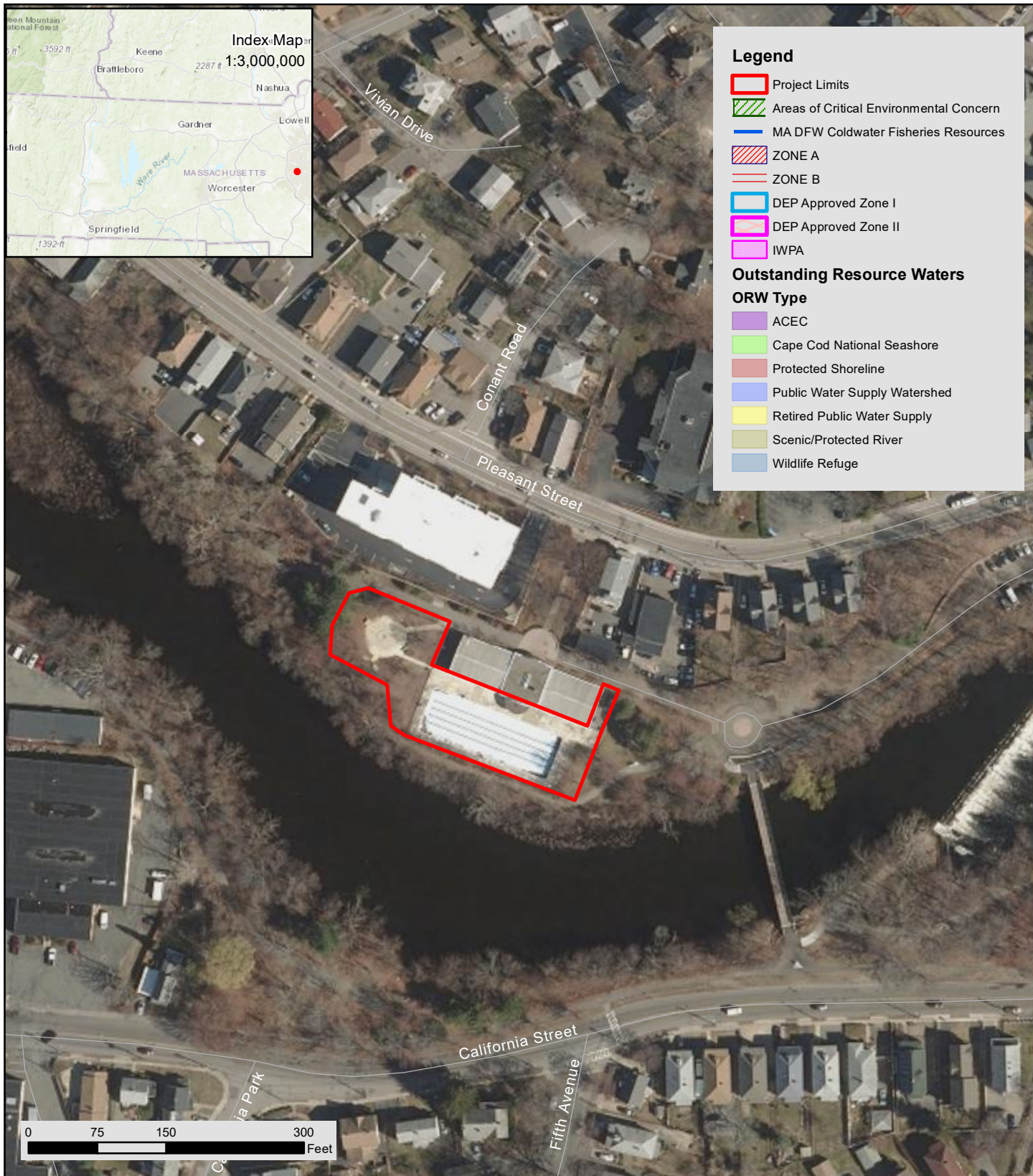


1:1,800

1 inch = 150 feet

# FIGURE 7

## Critical Areas Map



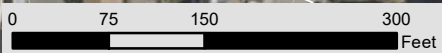
**Legend**

- Project Limits
- Areas of Critical Environmental Concern
- MA DFW Coldwater Fisheries Resources
- ZONE A
- ZONE B
- DEP Approved Zone I
- DEP Approved Zone II
- IWPA

**Outstanding Resource Waters**

**ORW Type**

- ACEC
- Cape Cod National Seashore
- Protected Shoreline
- Public Water Supply Watershed
- Retired Public Water Supply
- Scenic/Protected River
- Wildlife Refuge



1:1,800

**FIGURE 7: CRITICAL AREAS (ACECs, ORWs, GROUND WATER PROTECTION AREAS, ETC.)**

**DEALTRY MEMORIAL POOL PROJECT**  
 Watertown, Massachusetts

42.365417°N , -71.191361°W

Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community  
 Mass. Executive Office of Energy and Environmental Affairs (EEA), MassGIS



# APPENDIX A

## LONG TERM POLLUTION PREVENTION PLAN – REQUIRED BY STANDARDS 4-6

### LONG TERM POLLUTION PREVENTION PLAN

To keep the Stormwater Management System (SMS) functioning properly and to ensure that the stormwater Total Suspended Solids (TSS) are reduced, a long term pollution prevention is required. The owner/operator of the facility is responsible for the adherence to this long term plan. The following is a guideline of the specific requirements of the plan to maintain the long term viability of the stormwater management system.

The Stormwater Pollution Prevention Plan for the site addresses many of the items in the Long Term Pollution Prevention Plan.

#### *Good Housekeeping Practices*

Employees shall be instructed in the importance of not spilling fluids and chemicals such as oil, antifreeze, etc. onto the bare ground. All areas exposed to the weather shall be kept clean

#### *Provisions for Storing Materials and Waste Products Inside or Under Cover*

Liquid waste products shall not be stored or used within the project site. .

#### *Vehicle washing controls;*

No vehicle washing shall be conducted within the project site.

#### *Requirements for routine inspections and maintenance of stormwater BMPs;*

BMPs shall be inspected prior to the start of each operational season and maintained as necessary to ensure their proper function.

#### *Spill prevention and response plans;*

##### First responders

- Fire Department
- Police Department
- Mass Department of Environmental Protection  
Emergency Response

##### Phone Numbers

911 if emergency  
911 if emergency  
1-888-304-1133

***Requirements for storage and use of fertilizers, herbicides, and pesticides;***

Fertilizers shall not be used within 100 feet of the wetland resource areas. Excess fertilizers shall be swept up from all impervious surfaces and not allowed to run into the drainage system.

All fertilizer, herbicides, and pesticides shall be stored at least 100 feet away from the wetland line. If stored on site, these materials should be kept in a wrapped or sealed container, and kept under cover out of the rain and snow.

***Pet waste management provisions;***

Since the site is a public park, pet wastes are removed and properly disposed immediately when they are detected.

***Provisions for solid waste management;***

Waste receptacles are located within the project site and at surrounding locations. They are regularly emptied by DCR maintenance personnel.

***Snow disposal and plowing plans relative to Wetland Resource Areas;***

Snow plowing shall not occur at the project site.

***Winter Road Salt and/or Sand Use and Storage restrictions***

Road salt shall not be used on this site.

***Street sweeping schedules;***

The project site is a public park area. Streets are not present at the site and sweeping does not occur.

# ATTACHMENT F

## PROJECT PLANS (BOUND SEPARATELY)

DEALTRY MEMORIAL POOL PROJECT

138 Pleasant Street  
Watertown, Massachusetts

NOI

# PERMIT PLANS

**NOTES:**

1. VERTICAL DATUM: BOSTON CITY BASE.
2. LOCUS PROPERTY IS IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25025C0069G DATED SEPTEMBER 25, 2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
3. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.
4. WETLANDS DELINEATED BY CONECO ENGINEERS & SCIENTISTS ON JANUARY 15, 2020, JULY 20, 2020 AND JULY 21, 2020

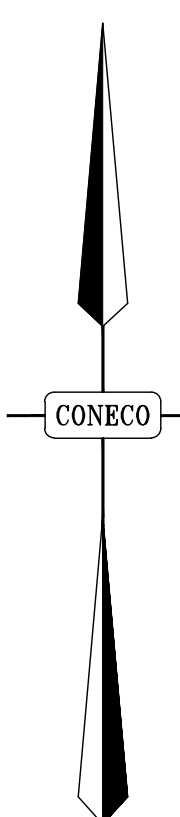
I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

TIMOTHY S. BODAH, PLS

**LEGEND**

□ HW	HAND HOLE
○ UP	UTILITY POLE
○ MH	MANHOLE
⊙	SEWER MANHOLE
⊙ S	SIGN
x	SPOT ELEVATION LOCATION
BIT. CONC.	BITUMINOUS CONCRETE
CONC.	CONCRETE
CPD	CONCRETE PAD
OH	OVERHANG
T-30"	TREE-30" DIA.
R	RIM
I	INVERT
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
CI	CAST IRON
FES	FLARED END SECTION
REC	RECORD
— OHW	OVERHEAD WIRES
---	WETLAND LINE

CONECO



NO.	DATE	DESCRIPTION	DR./CK.
1	8/3/22	ADDED ASSUMED MAIN DRAIN AND GUTTER LINES	KM/KM

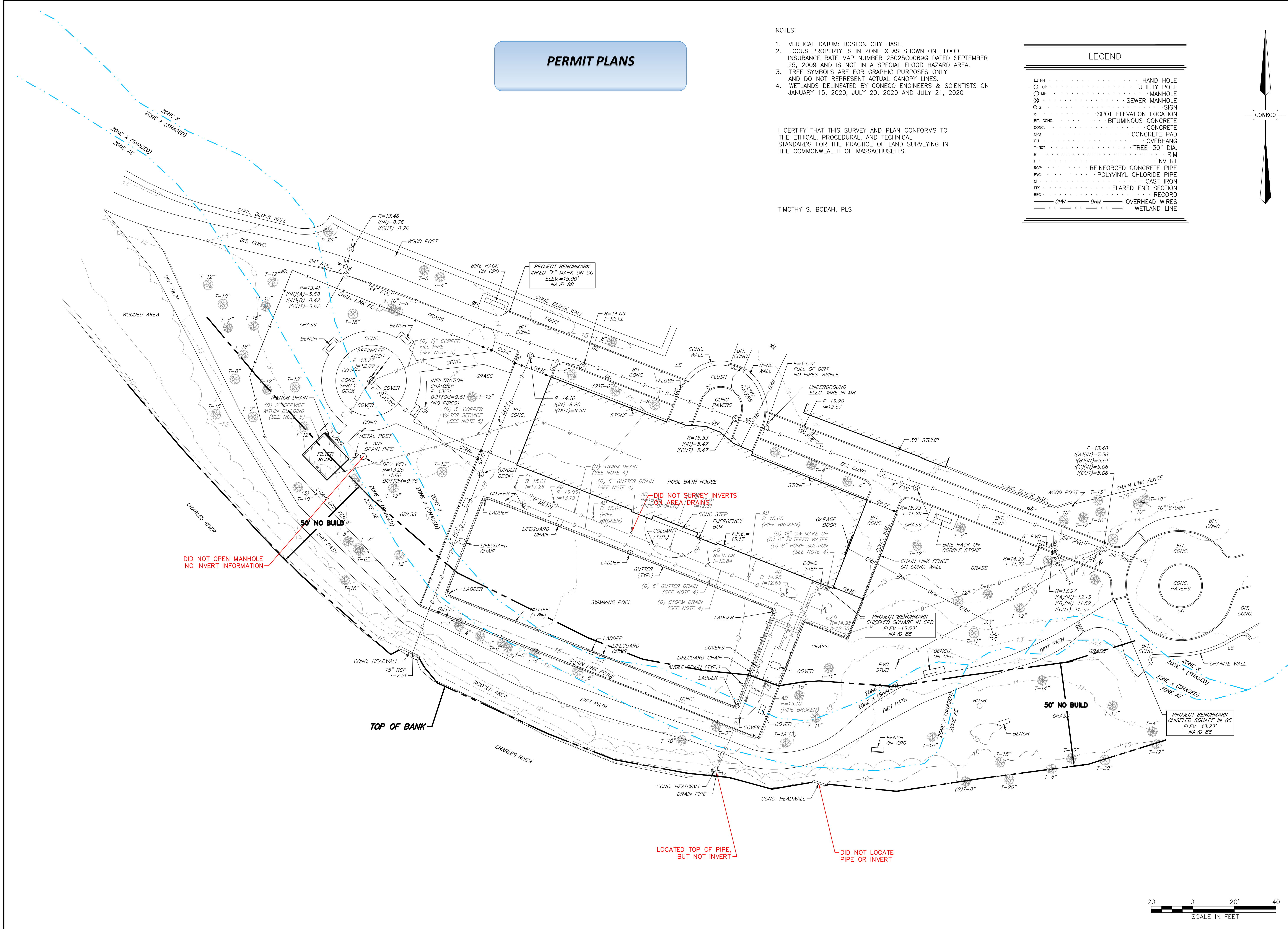
DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

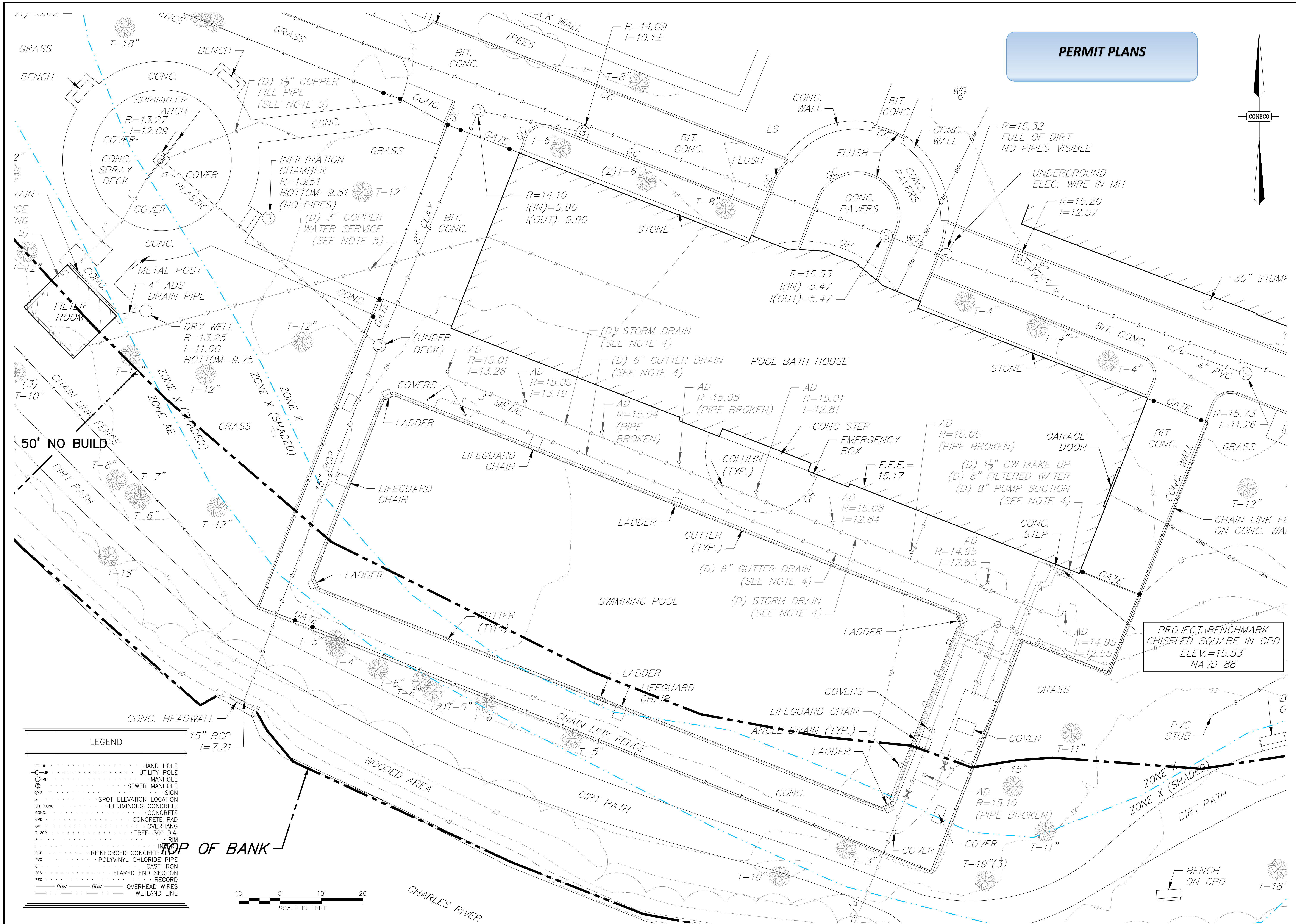
DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS



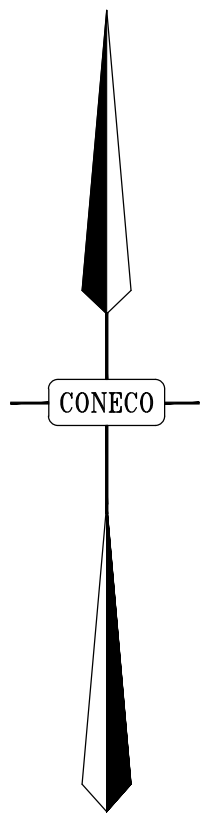
DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	AS SHOWN

PROJECT NO. ---  
 SHEET NO. **C-1**





**PERMIT PLANS**



**LEGEND**

HH	HAND HOLE
UP	UTILITY POLE
MH	MANHOLE
SMH	SEWER MANHOLE
S	SIGN
X	SPOT ELEVATION LOCATION
BIT. CONC.	BITUMINOUS CONCRETE
CONC.	CONCRETE
CPD	CONCRETE PAD
OH	OVERHANG
T-30"	TREE-30" DIA.
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
CI	CAST IRON
RES	FLARED END SECTION
REC	RECORD
OHW	OVERHEAD WIRES
W	WETLAND LINE



NO.	DATE	DESCRIPTION	DR/CK
1	8/3/22	ADDED ASSUMED MAIN DRAIN AND GUTTER ZIRING	KM/KM

DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

DEALTHY MEMORIAL POOL  
 188 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

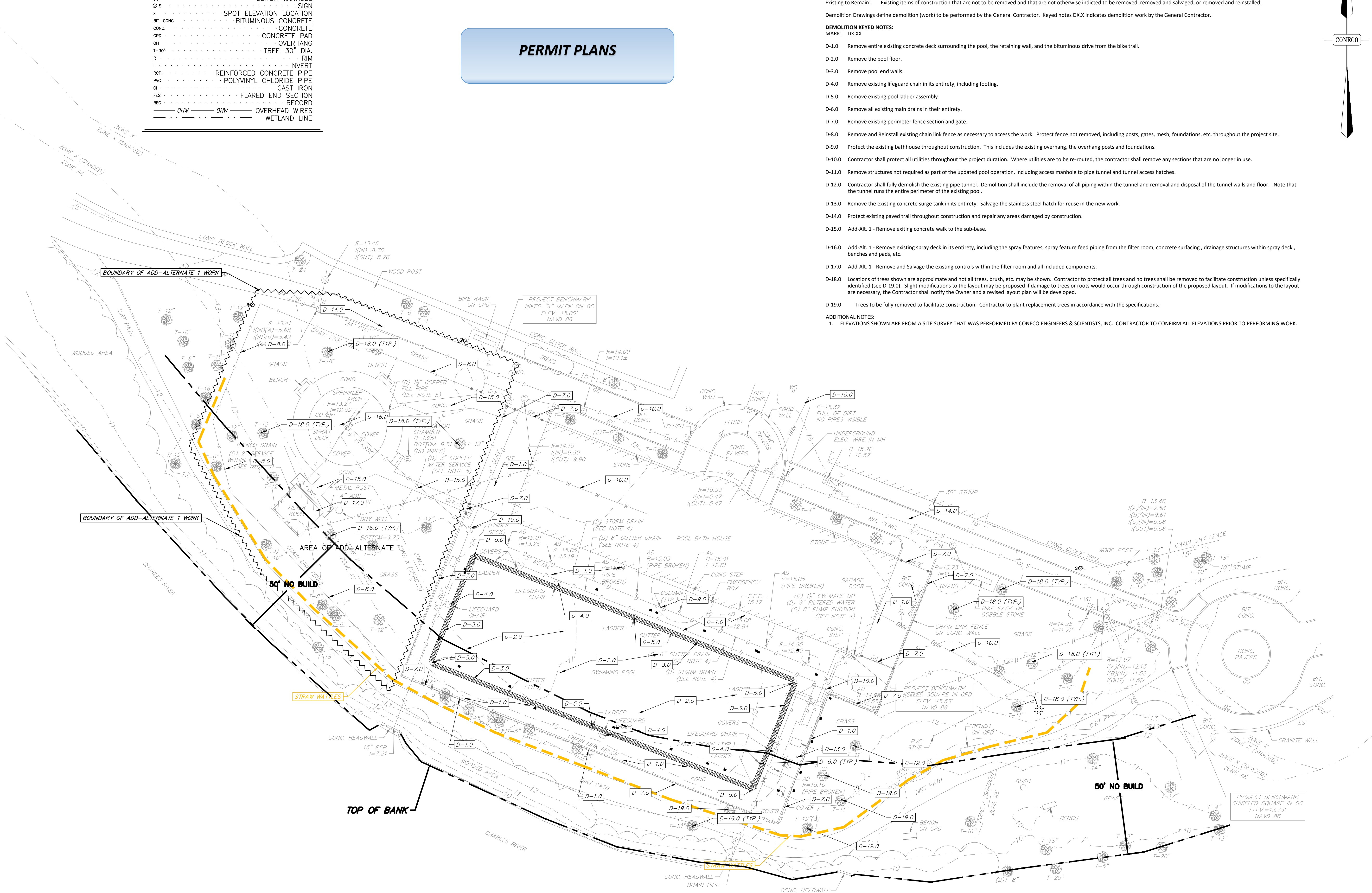
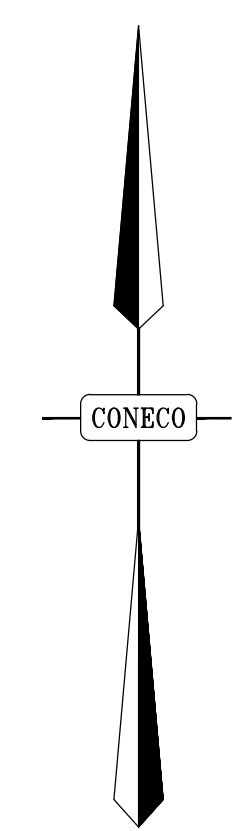
**CONECO**  
**Engineers & Scientists**  
 PHONE: 800-548-3355  
 WEBSITE: www.coneco.com

DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	AS SHOWN
PROJECT NO.	----
SHEET NO.	<b>C-2</b>

LEGEND	
□	HAND HOLE
○	UTILITY POLE
○	MANHOLE
⊙	SEWER MANHOLE
⊙	SIGN
x	SPOT ELEVATION LOCATION
BIT. CONC.	BITUMINOUS CONCRETE
CONC.	CONCRETE
CPD	CONCRETE PAD
OH	OVERHANG
T-30"	TREE-30" DIA.
R	RIM
I	INVERT
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
CI	CAST IRON
FES	FLARED END SECTION
REC	RECORD
— OHW —	OVERHEAD WIRES
— WTL —	WETLAND LINE

# PERMIT PLANS

- GENERAL DEMOLITION NOTES:**
- DEFINITIONS**  
 Remove: Detach items from existing construction and legally dispose of them offsite, unless indicated to be removed and salvaged or removed and reinstalled.  
 Remove and Salvage: Detach items from existing construction, store and protect until reinstalled in the new work.  
 Remove and Reinstall: Detach items from existing construction, prepare them for reuse and reinstall them where indicated.  
 Existing to Remain: Existing items of construction that are not to be removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.  
 Demolition Drawings define demolition (work) to be performed by the General Contractor. Keyed notes DX.X indicates demolition work by the General Contractor.
- DEMOLITION KEYED NOTES:**  
 MARK: DX.XX
- D-1.0 Remove entire existing concrete deck surrounding the pool, the retaining wall, and the bituminous drive from the bike trail.
  - D-2.0 Remove the pool floor.
  - D-3.0 Remove pool end walls.
  - D-4.0 Remove existing lifeguard chair in its entirety, including footing.
  - D-5.0 Remove existing pool ladder assembly.
  - D-6.0 Remove all existing main drains in their entirety.
  - D-7.0 Remove existing perimeter fence section and gate.
  - D-8.0 Remove and Reinstall existing chain link fence as necessary to access the work. Protect fence not removed, including posts, gates, mesh, foundations, etc. throughout the project site.
  - D-9.0 Protect the existing bathhouse throughout construction. This includes the existing overhang, the overhang posts and foundations.
  - D-10.0 Contractor shall protect all utilities throughout the project duration. Where utilities are to be re-routed, the contractor shall remove any sections that are no longer in use.
  - D-11.0 Remove structures not required as part of the updated pool operation, including access manhole to pipe tunnel and tunnel access hatches.
  - D-12.0 Contractor shall fully demolish the existing pipe tunnel. Demolition shall include the removal of all piping within the tunnel and removal and disposal of the tunnel walls and floor. Note that the tunnel runs the entire perimeter of the existing pool.
  - D-13.0 Remove the existing concrete surge tank in its entirety. Salvage the stainless steel hatch for reuse in the new work.
  - D-14.0 Protect existing paved trail throughout construction and repair any areas damaged by construction.
  - D-15.0 Add-Alt. 1 - Remove exiting concrete walk to the sub-base.
  - D-16.0 Add-Alt. 1 - Remove existing spray deck in its entirety, including the spray features, spray feature feed piping from the filter room, concrete surfacing, drainage structures within spray deck, benches and pads, etc.
  - D-17.0 Add-Alt. 1 - Remove and Salvage the existing controls within the filter room and all included components.
  - D-18.0 Locations of trees shown are approximate and not all trees, brush, etc. may be shown. Contractor to protect all trees and no trees shall be removed to facilitate construction unless specifically identified (see D-19.0). Slight modifications to the layout may be proposed if damage to trees or roots would occur through construction of the proposed layout. If modifications to the layout are necessary, the Contractor shall notify the Owner and a revised layout plan will be developed.
  - D-19.0 Trees to be fully removed to facilitate construction. Contractor to plant replacement trees in accordance with the specifications.
- ADDITIONAL NOTES:**  
 1. ELEVATIONS SHOWN ARE FROM A SITE SURVEY THAT WAS PERFORMED BY CONECO ENGINEERS & SCIENTISTS, INC. CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO PERFORMING WORK.



NO.	DATE	DESCRIPTION	DR./CK.

PREPARED FOR:  
 DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

DEMOLITION PLAN

PROJECT:  
 DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

PLAN SET:  
 DEALTHY MEMORIAL POOL  
 POB-2509-C6A

CONECO  
**Engineers & Scientists**  
 PHONE: 800-548-3355  
 WEBSITE: www.coneco.com

DATE	3/##/2025		
DESIGNED:	XX	CHECKED:	XX
DRAFTED:	XX	IN CHARGE:	XX
SCALE:	1" = 20'		
PROJECT NO.	----		
SHEET NO.	C-3		

SPRAY DECK FEATURE INFORMATION (ALT. 1)

NOTES:

1. LENGTH OF NEW POOL SHALL BE 50 METERS (164.042 FEET). THE EXISTING END WALLS SHALL BE FULL DEMOLISHED AND NEW WALLS CONSTRUCTED TO ENSURE THAT A 50 METER LENGTH IS CREATED.
2. EXPANSION JOINTS SHALL BE INSTALLED ON THE POOL WALLS IN FRONT OF EACH EXISTING WALL EXPANSION JOINT. AN EXPANSION JOINT SHALL ALSO BE INSTALLED ON EVERY INSIDE CORNER OF THE POOL WALL.
3. PROPOSED POOL WALLS SHALL BE POURED USING THE INSIDE OF THE EXISTING POOL WALL AS THE FORM IN LOCATIONS WHERE THE EXISTING WALLS ARE TO REMAIN. THE EXISTING POOL WALL SHALL BE CORED, AND REBAR HOOKS EPOXIED INTO THE EXISTING WALL. THE REBAR THAT EXTENDS OUT SHALL BE BENT AT A 90° ANGLE AND TIED TO THE PROPOSED POOL WALL REBAR.
4. ALL POOL WALL AND FLOOR SLAB CONCRETE SHALL BE MADE WITH A SHRINK-REDUCING ADMIXTURE.
5. FINAL LOCATIONS OF L.G. CHAIRS AND LADDERS TBD BY OWNER DURING CONSTRUCTION.
6. CONTRACTOR TO BOND ALL METALLIC PARTS OF POOL TO ELECTRIC SERVICE GROUND PER APPROVAL BY THE ELECTRIC INSPECTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ALL RAILINGS, L.G. CHAIRS, DRAINS AND SUMPS, GUTTER, SAFETY FENCING, BENCHES, SHOWER TOWERS, AND STEEL REINFORCING.
7. CONCRETE POOL DECK SHALL BE TOOLED WITH CONTROL JOINTS ON A 5 FT X 5 FT. GRID. EXPANSION JOINTS SHALL BE INSTALLED IN POOL DECK ON A 20 FT. X 20 FT GRID, OR EVERY 200 S.F. OF POOL DECK.

ID #	FEATURE NAME	# OF FEATURES
1	SURF STONE	11
2	MISTY MOUNTAIN	10
3	SOLO SPURT	5
4	DOUBLE LEAF	1
5	MISTING SINGLE LEAF	2
6	TREE	1
TOTAL FEATURES		30



SURF STONE 3



MISTY MOUNTAIN



SOLO SPURT/JET



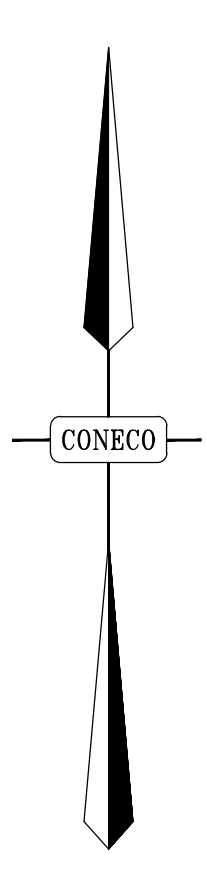
DOUBLE LEAF



MISTING SINGLE LEAF



TREE



NO.	DATE	DESCRIPTION	DR/CK

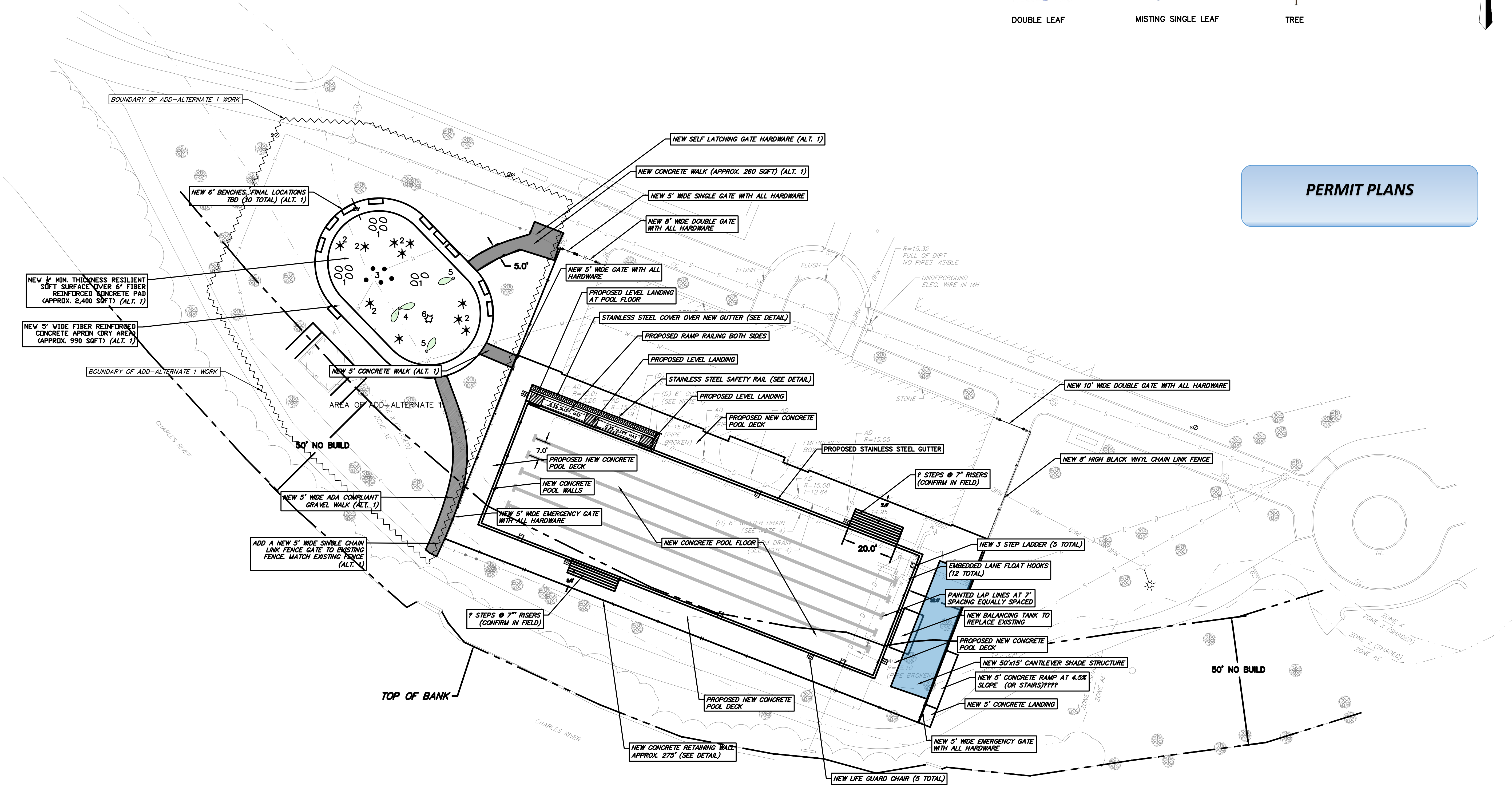
DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-548-3355  
 WEBSITE: www.coneco.com

DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	1" = 20'
PROJECT NO.	----
SHEET NO.	<b>C-4</b>

**PERMIT PLANS**



# PERMIT PLANS

NOTES:

1. LENGTH OF NEW POOL SHALL BE 50 METERS (164.042 FEET). THE EXISTING END WALLS SHALL BE FULL DEMOLISHED AND NEW WALLS CONSTRUCTED TO ENSURE THAT A 50 METER LENGTH IS CREATED.
2. EXPANSION JOINTS SHALL BE INSTALLED ON THE POOL WALLS IN FRONT OF EACH EXISTING WALL EXPANSION JOINT. AN EXPANSION JOINT SHALL ALSO BE INSTALLED ON EVERY INSIDE CORNER OF THE POOL WALL.
3. PROPOSED POOL WALLS SHALL BE POURED USING THE INSIDE OF THE EXISTING POOL WALL AS THE FORM IN LOCATIONS WHERE THE EXISTING WALLS ARE TO REMAIN. THE EXISTING POOL WALL SHALL BE CORED, AND REBAR HOOKS EPOXIED INTO THE EXISTING WALL. THE REBAR THAT EXTENDS OUT SHALL BE BENT AT A 90° ANGLE AND TIED TO THE PROPOSED POOL WALL REBAR.
4. ALL POOL WALL AND FLOOR SLAB CONCRETE SHALL BE MADE WITH A SHRINK-REDUCING ADMIXTURE.
5. FINAL LOCATIONS OF L.G. CHAIRS AND LADDERS TBD BY OWNER DURING CONSTRUCTION.
6. CONTRACTOR TO BOND ALL METALLIC PARTS OF POOL TO ELECTRIC SERVICE GROUND PER APPROVAL BY THE ELECTRIC INSPECTOR. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO ALL RAILINGS, L.G. CHAIRS, DRAINS AND SUMPS, GUTTER, SAFETY FENCING, BENCHES, SHOWER TOWERS, AND STEEL REINFORCING.
7. CONCRETE POOL DECK SHALL BE TOOLED WITH CONTROL JOINTS ON A 5 FT X 5 FT GRID. EXPANSION JOINTS SHALL BE INSTALLED IN POOL DECK ON A 20 FT. X 20 FT GRID, OR EVERY 200 S.F. OF POOL DECK.

CONECO



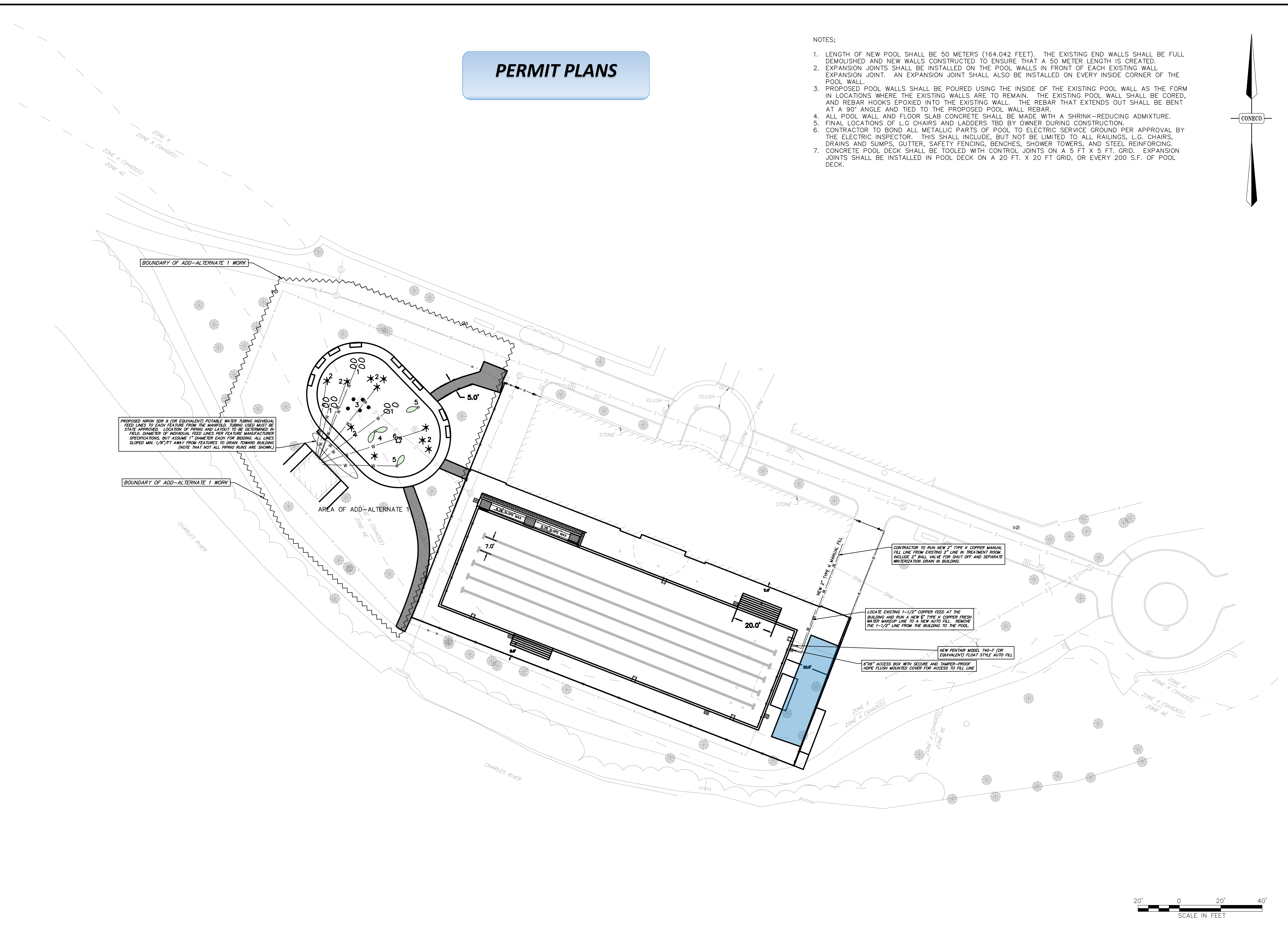
NO.	DATE	DESCRIPTION	DR./CHK

DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114  
 PREPARED FOR: DEPT. OF CONSERVATION AND RECREATION  
 DRAWING: PROPOSED WATER IMPROVEMENTS

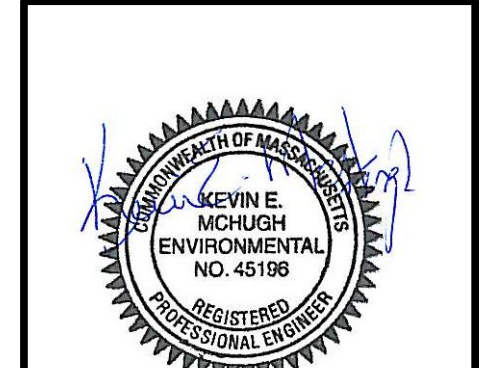
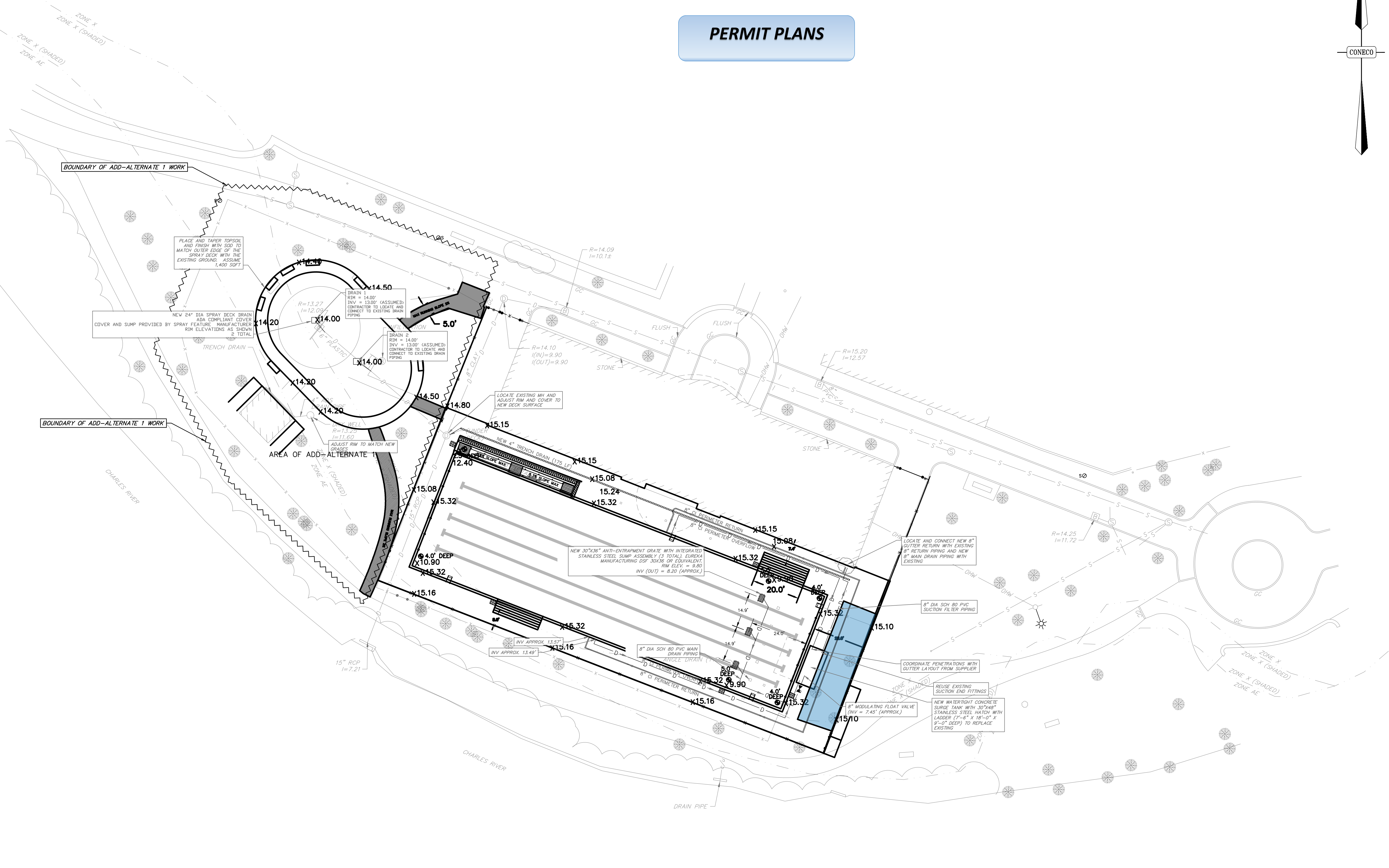
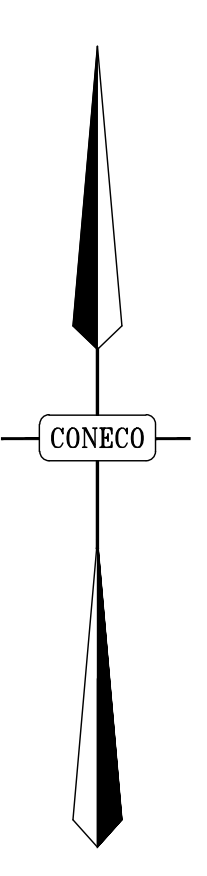
DEALTRY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS  
 PROJECT: DEALTRY MEMORIAL POOL  
 PLAN SET: P08-2509-C6A

**CONECO**  
 Engineers & Scientists  
 PHONE: 800-548-3355  
 WEBSITE: www.coneco.com

DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	1" = 20'
PROJECT NO.	----
SHEET NO.	C-5



**PERMIT PLANS**



NO.	DATE	DESCRIPTION	DR/CK

PREPARED FOR:  
 DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

PROJECT:  
 DEALTRY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

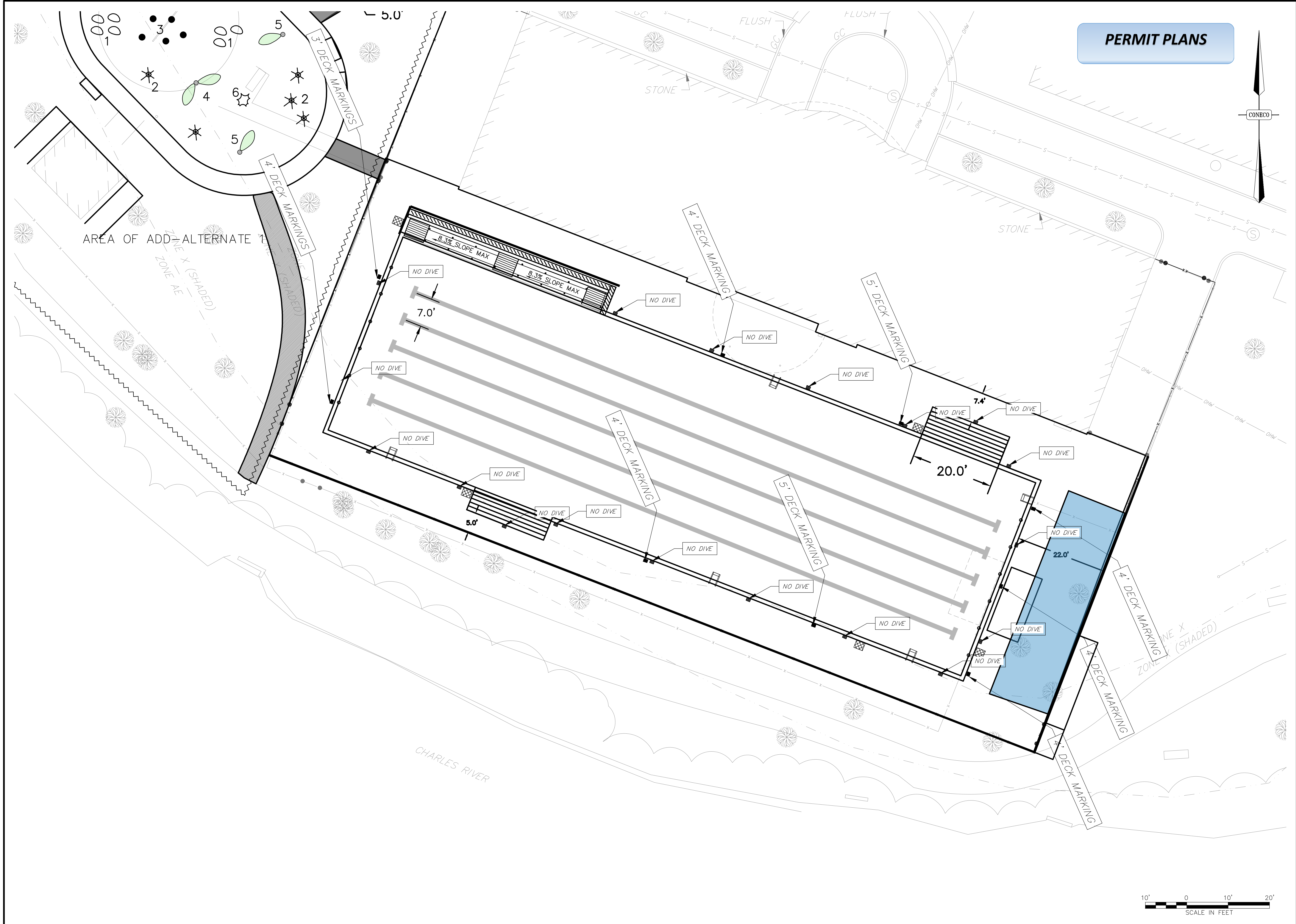
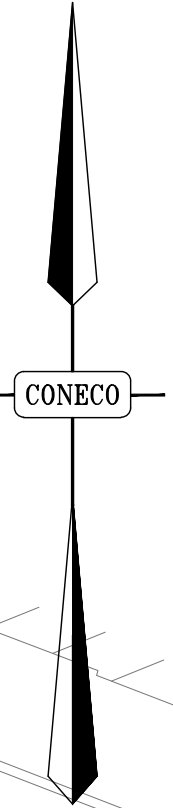
PLAN SET:  
 DEALTRY MEMORIAL POOL  
 P08-2509-C6A



DATE	3/##/2025		
DESIGNED:	XX	CHECKED:	XX
DRAFTED:	XX	IN CHARGE:	XX
SCALE:	1" = 20'		
PROJECT NO.	----		
SHEET NO.	C-6		



**PERMIT PLANS**



NO.	DATE	DESCRIPTION	DR/CHK

DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114

PROJECT: DEALTRY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS

PLAN SET: DEALTRY MEMORIAL POOL  
 PUB-2509-C6A

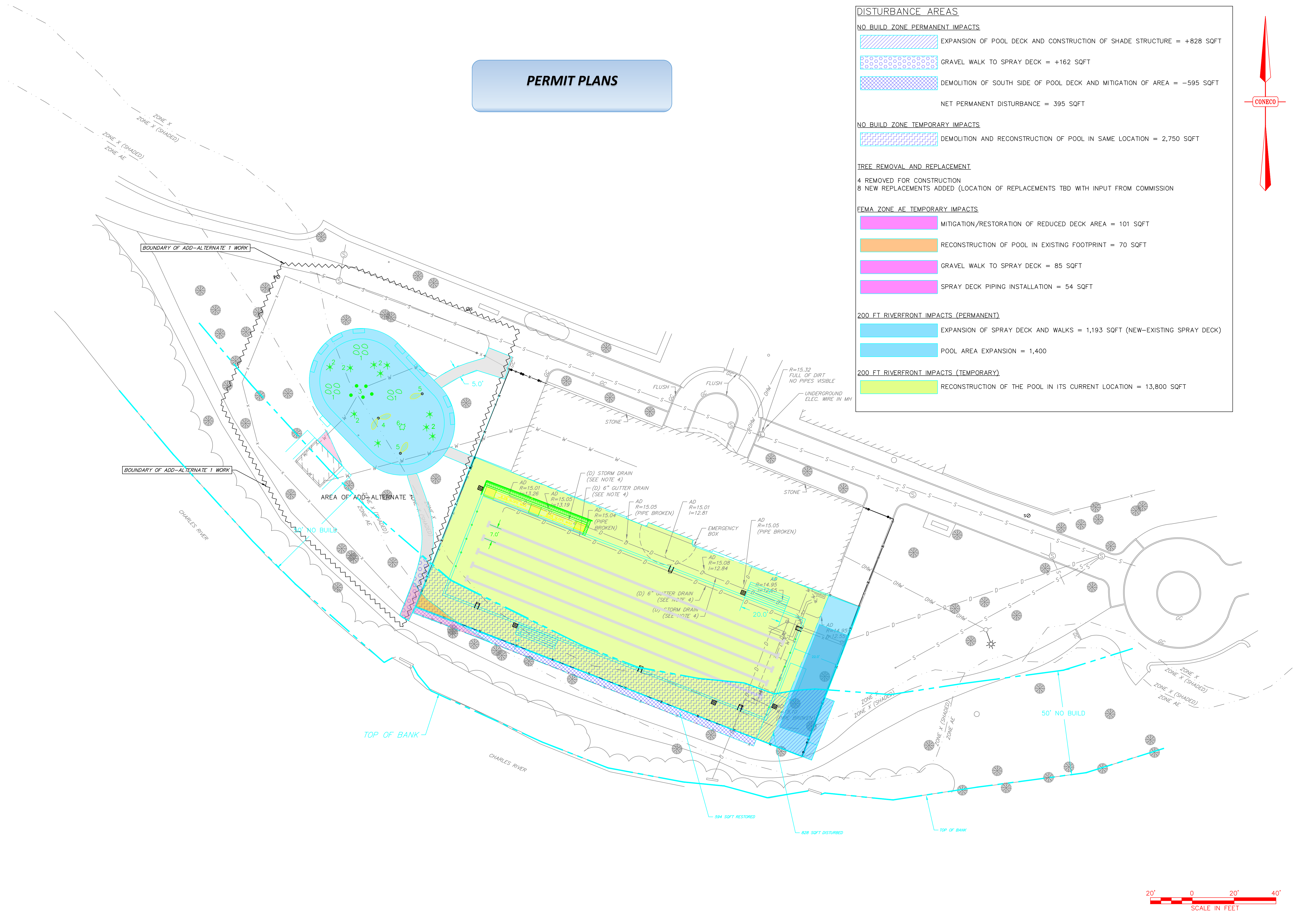
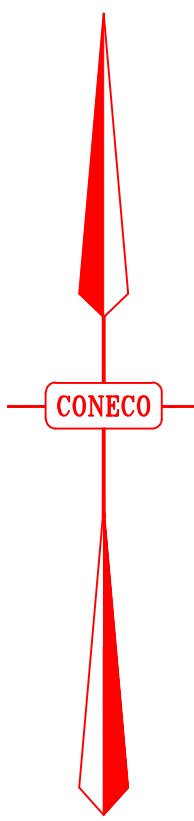
**CONECO**  
 Engineers & Scientists  
 PHONE: 800-548-3355  
 WEBSITE: www.coneco.com

DATE	3/##/2025
DESIGNED: XX	CHECKED: XX
DRAFTED: XX	IN CHARGE: XX
SCALE:	1" = 10'
PROJECT NO.	----
SHEET NO.	<b>C-7</b>



# PERMIT PLANS

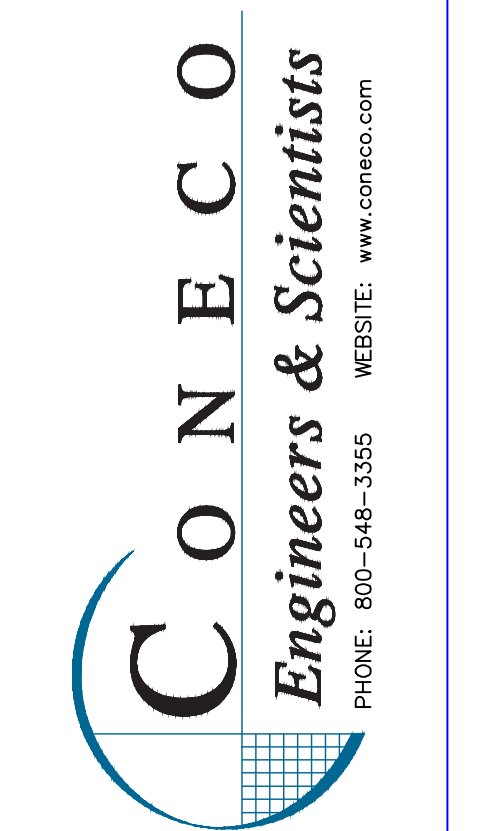
DISTURBANCE AREAS	
<b>NO BUILD ZONE PERMANENT IMPACTS</b>	
	EXPANSION OF POOL DECK AND CONSTRUCTION OF SHADE STRUCTURE = +828 SQFT
	GRAVEL WALK TO SPRAY DECK = +162 SQFT
	DEMOLITION OF SOUTH SIDE OF POOL DECK AND MITIGATION OF AREA = -595 SQFT
NET PERMANENT DISTURBANCE = 395 SQFT	
<b>NO BUILD ZONE TEMPORARY IMPACTS</b>	
	DEMOLITION AND RECONSTRUCTION OF POOL IN SAME LOCATION = 2,750 SQFT
<b>TREE REMOVAL AND REPLACEMENT</b>	
4 REMOVED FOR CONSTRUCTION 8 NEW REPLACEMENTS ADDED (LOCATION OF REPLACEMENTS TBD WITH INPUT FROM COMMISSION)	
<b>FEMA ZONE AE TEMPORARY IMPACTS</b>	
	MITIGATION/RESTORATION OF REDUCED DECK AREA = 101 SQFT
	RECONSTRUCTION OF POOL IN EXISTING FOOTPRINT = 70 SQFT
	GRAVEL WALK TO SPRAY DECK = 85 SQFT
	SPRAY DECK PIPING INSTALLATION = 54 SQFT
<b>200 FT RIVERFRONT IMPACTS (PERMANENT)</b>	
	EXPANSION OF SPRAY DECK AND WALKS = 1,193 SQFT (NEW-EXISTING SPRAY DECK)
	POOL AREA EXPANSION = 1,400
<b>200 FT RIVERFRONT IMPACTS (TEMPORARY)</b>	
	RECONSTRUCTION OF THE POOL IN ITS CURRENT LOCATION = 13,800 SQFT



NO.	DATE	DESCRIPTION

PREPARED FOR: DEPARTMENT OF CONSERVATION AND RECREATION  
 251 CAUSEWAY STREET  
 BOSTON, MASSACHUSETTS 02114  
 DRAWING: DISTURBANCE AREAS

PROJECT: DEALTHY MEMORIAL POOL  
 138 PLEASANT STREET  
 WATERTOWN, MASSACHUSETTS  
 PLAN SET: DEALTHY MEMORIAL POOL  
 PUB-2509-C6A



DATE	3/##/2025		
DESIGNED:	XX	CHECKED:	XX
DRAFTED:	XX	IN CHARGE:	XX
SCALE:	1" = 20'		
PROJECT NO.	----		
SHEET NO.	C-8		



# ENVIRONMENTAL GUIDANCE

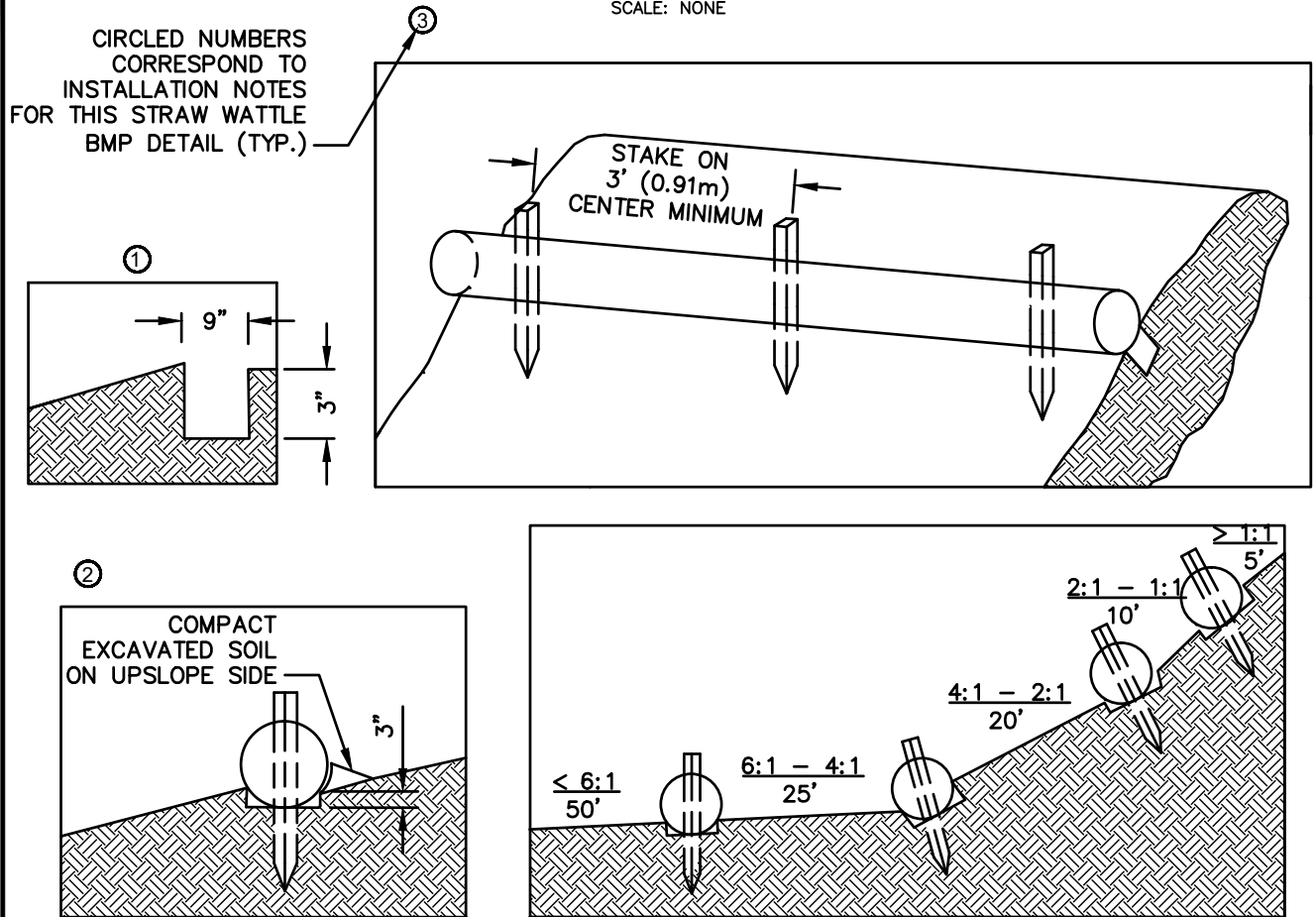
Doc. No.	EG-303NE
Page: 7-5	Rev. No. 4
Date	02/20/18

SUBJECT  
Access, Maintenance and Construction  
Best Management Practices

Reference  
EP No. 3 - Natural Resource  
Protection (Chapter 6)

## BMP DETAIL

SCALE: NONE



TYPICAL WATTLE SPACING DETAIL

### NOTES:

1. PRODUCT TO BE TENSAR NORTH AMERICAN GREEN STRAW WATTLE OR APPROVED EQUAL BY NATIONAL GRID ENVIRONMENTAL SCIENTIST.
2. TYPICAL WATTLE SPACING BASED ON SLOPE GRADIENT. COORDINATE SPACING AND LOCATION WITH NATIONAL GRID ENVIRONMENTAL SCIENTIST.
3. MINIMUM 12" DIAMETER WATTLES SHOULD BE USED FOR HIGHLY DISTURBED AREAS (I.E., HEAVILY USED ACCESS ROAD WITH ADJACENT WETLAND) AND MINIMUM 9-10" WATTLES SHOULD BE USED FOR LESS DISTURBED SOILS.

### INSTALLATION NOTES:

1. BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2-3" DEEP X 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UPSLOPE FROM THE ANCHOR TRENCH.
2. PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
3. SECURE THE WATTLE WITH 18-24" HARDWOOD STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO THE SLOPE FACE.

\* DETAIL AND PICTURE PROVIDED BY TENSAR NORTH AMERICAN GREEN  
APPROVED BY: VICE PRESIDENT, ENVIRONMENTAL SERVICES  
PRINTED COPIES ARE NOT DOCUMENT CONTROLLED. FOR LATEST AUTHORIZED  
VERSION PLEASE REFER TO THE NATIONAL GRID ENVIRONMENTAL INFONET SITE.

SEC-5  
STRAW WATTLE \* (1 OF 2)

<b>ENVIRONMENTAL GUIDANCE</b>	Doc. No.	EG-303NE
	Page: 7-6	Rev. No. 4
	Date	02/20/18
SUBJECT Access, Maintenance and Construction Best Management Practices	Reference EP No. 3 - Natural Resource Protection (Chapter 6)	

## BMP PICTURE



**STRAW WATTLE – SHALLOW SLOPE ( $\leq 4:1$ )  
(ALTERNATE STAKING)**

### ALTERNATE STAKING INSTALLATION NOTES:

1. ON SHALLOW SLOPES ( $\leq 4:1$ ), STRAW WATTLE MAY BE SECURED WITH 18–24" HARDWOOD STAKES DRIVEN AGAINST THE SIDES OF THE WATTLE INSTEAD OF THROUGH. STAKES SHALL ALTERNATE SIDES, AND BE SPACED 3–4' MAX.
2. TWINE SHALL BE TIED FROM STAKE TO STAKE, CRISS–CROSSING THE STRAW WATTLE. TIE TWINE TO STAKES BELOW THE HEIGHT OF THE WATTLE.

**\* DETAIL AND PICTURE PROVIDED BY TENSAR NORTH AMERICAN GREEN  
APPROVED BY: VICE PRESIDENT, ENVIRONMENTAL SERVICES**  
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SEC-5  
**STRAW WATTLE \* (2 OF 2)**

# ENVIRONMENTAL GUIDANCE

Doc. No. EG-303NE

Page: 7-48 Rev. No. 4

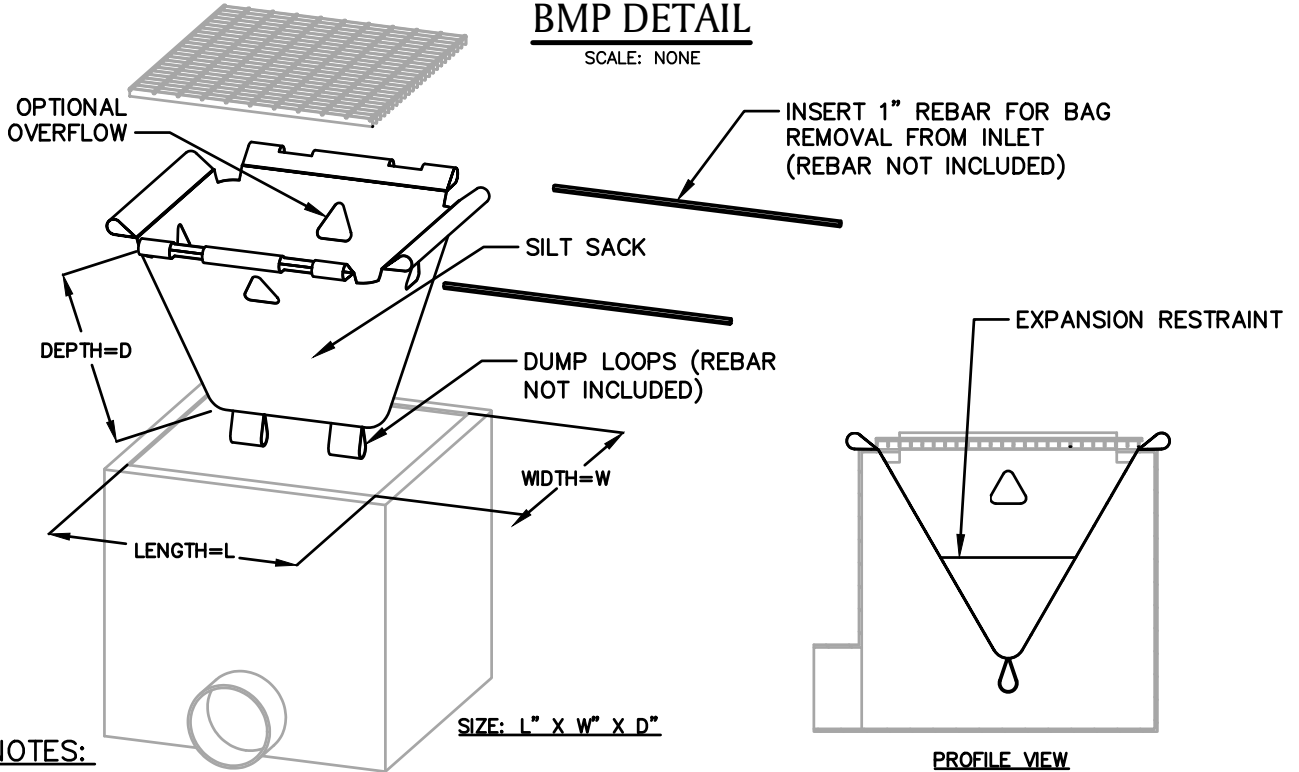
Date 02/20/18

**SUBJECT**  
Access, Maintenance and Construction  
Best Management Practices

Reference  
EP No. 3 - Natural Resource  
Protection (Chapter 6)

## BMP DETAIL

SCALE: NONE



**NOTES:**

1. PRODUCT TO BE SILT SACK OR APPROVED EQUAL BY NATIONAL GRID ENVIRONMENTAL SCIENTIST.
2. THE USE OF A SILT SACK OPTIONAL OVERFLOW AND OVERALL DIMENSIONS ARE TO BE COORDINATED WITH A NATIONAL GRID ENVIRONMENTAL SCIENTIST.

## BMP PICTURE



\* DETAIL PROVIDED BY ACF ENVIRONMENTAL  
**APPROVED BY: VICE PRESIDENT, ENVIRONMENTAL SERVICES**  
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 VERSION PLEASE REFER TO THE NATIONAL GRID ENVIRONMENTAL INFONET SITE.

AA-20  
SILT SACK \*

File: SILT\_SACK.dwg

# ENVIRONMENTAL GUIDANCE

Doc. No. EG-303NE

Page: 7-38 Rev. No. 4

Date 02/20/18

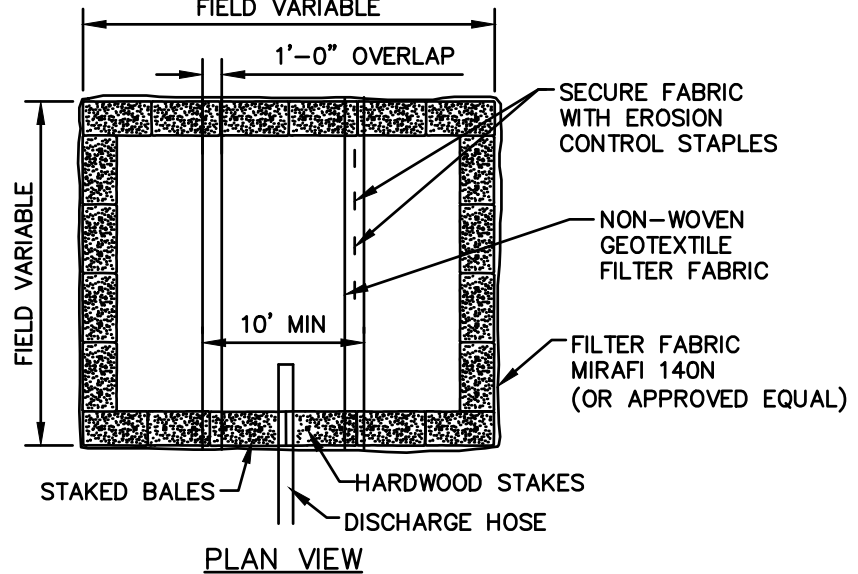
SUBJECT  
Access, Maintenance and Construction  
Best Management Practices

Reference  
EP No. 3 - Natural Resource  
Protection (Chapter 6)

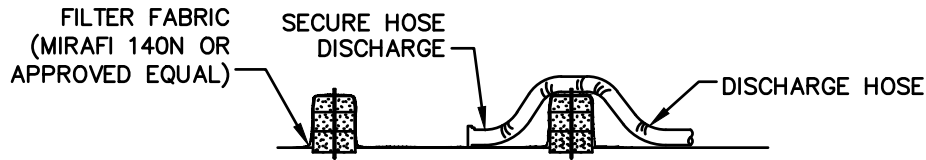
## BMP DETAIL

SCALE: NONE

FIELD VARIABLE



PLAN VIEW



CROSS-SECTION

### NOTES:

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS,
2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.
3. KEEP AS FAR FROM WETLANDS AS PRACTICAL.
4. CLEAN AND REMOVE AS SOON AS DEWATERING IS COMPLETE.

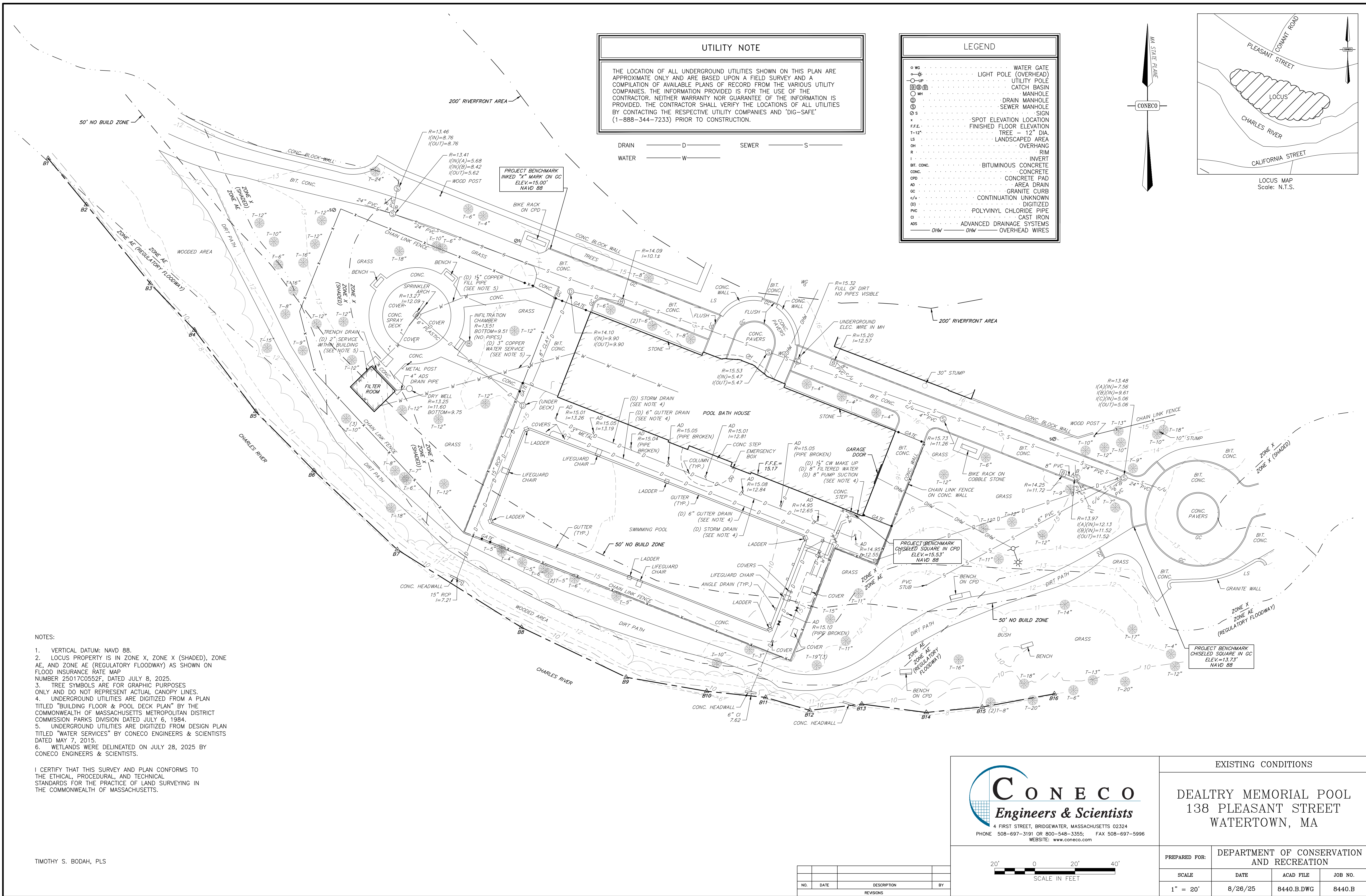
## BMP PICTURE



AA-10  
DEWATERING BASIN  
(SMALL SCALE)

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File: Dewat\_Bas\_Small.dwg



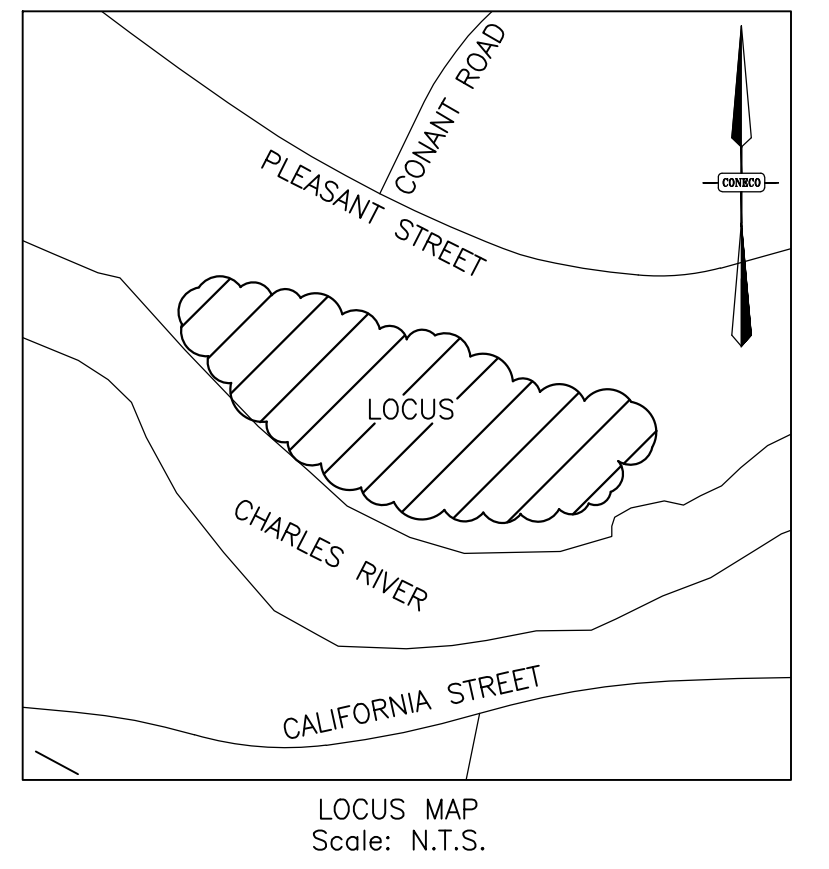
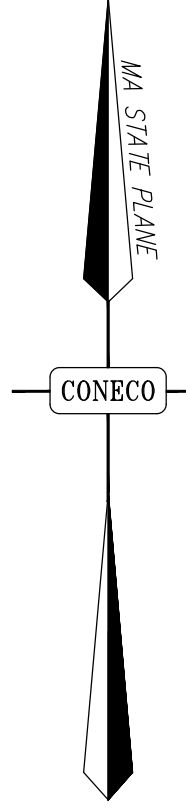
**UTILITY NOTE**

THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND "DIG-SAFE" (1-888-344-7233) PRIOR TO CONSTRUCTION.

DRAIN — D — SEWER — S —  
 WATER — W —

**LEGEND**

WG	WATER GATE (OVERHEAD)
LP	LIGHT POLE
UP	UTILITY POLE
CB	CATCH BASIN
MH	MANHOLE
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
S	SIGN
S.E.	SPOT ELEVATION LOCATION
F.F.E.	FINISHED FLOOR ELEVATION
T-12"	TREE — 12" DIA.
LS	LANDSCAPED AREA
OH	OVERHANG
R	RIM
I	INVERT
BIT. CONC.	BITUMINOUS CONCRETE
CONC.	CONCRETE
CPD	CONCRETE PAD
AD	AREA DRAIN
GC	GRANITE CURB
c/u	CONTINUATION UNKNOWN
(D)	DIGITIZED
PVC	POLYVINYL CHLORIDE PIPE
CI	CAST IRON
ADS	ADVANCED DRAINAGE SYSTEMS
OHW	OVERHEAD WIRES



- NOTES:**
- VERTICAL DATUM: NAVD 88.
  - LOCUS PROPERTY IS IN ZONE X, ZONE X (SHADED), ZONE AE, AND ZONE AE (REGULATORY FLOODWAY) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25017C0552F, DATED JULY 8, 2025.
  - TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.
  - UNDERGROUND UTILITIES ARE DIGITIZED FROM A PLAN TITLED "BUILDING FLOOR & POOL DECK PLAN" BY THE COMMONWEALTH OF MASSACHUSETTS METROPOLITAN DISTRICT COMMISSION PARKS DIVISION DATED JULY 6, 1984.
  - UNDERGROUND UTILITIES ARE DIGITIZED FROM DESIGN PLAN TITLED "WATER SERVICES" BY CONECO ENGINEERS & SCIENTISTS DATED MAY 7, 2015.
  - WETLANDS WERE DELINEATED ON JULY 28, 2025 BY CONECO ENGINEERS & SCIENTISTS.

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

TIMOTHY S. BODAH, PLS

NO.	DATE	DESCRIPTION	BY
REVISIONS			



**CONECO**  
 Engineers & Scientists  
 4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324  
 PHONE 508-697-3191 OR 800-548-3355; FAX 508-697-5996  
 WEBSITE: www.coneco.com

EXISTING CONDITIONS			
DEALTRY MEMORIAL POOL 138 PLEASANT STREET WATERTOWN, MA			
PREPARED FOR:	DEPARTMENT OF CONSERVATION AND RECREATION		
SCALE	DATE	ACAD FILE	JOB NO.
1" = 20'	8/26/25	8440.B.DWG	8440.B