



Historical Commission Meeting

Thursday, October 10, 2024 at 7:00 PM

Remote Participation Only

Agenda

Pursuant to Chapter 2 of the Acts of 2023, the meeting and public hearing will be conducted with remote opportunities for participation. Remote participation and access methods include:

ACCESS INFORMATION:

- A. This meeting will be held on October 10, 2024, at 7 pm. Location: Remote Participation Only
- B. The meeting will be televised through WCATV (Watertown Cable Access Television): <http://vodwcatv.org/CablecastPublicSite/watch-now?site=3>
- C. The Public may join the virtual meeting online: <https://watertown-ma.zoom.us/j/95648117955>
- D. Public may join the virtual meeting audio only by phone: (877) 853-5257 or (888) 475-4499 (Toll Free) and enter Webinar ID: 956 4811 7955
- E. Public may comment through email: sjenness@watertown-ma.gov
- F. Please Visit the Historical Commission Website here: <https://www.watertown-ma.gov/214/Historical-Commission>

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- 1. Acceptance of Minutes
 - A. Review and acceptance of the Minutes from the September 12, 2024 Historical Commission meeting.
 - 2. Public Hearings
 - A. To determine if the house at 44 Pilgrim Rd. is preferably preserved and if a demolition delay will be imposed. Arthur Bazyan, Owner Elias Ramos, Applicant,
 - 3. Commission Discussion
 - A. 9-11 Boyd St. Fire Doors
 - 4. CPC Update
 - 5. Agent Report

Historical Commission Members

Joseph Panto

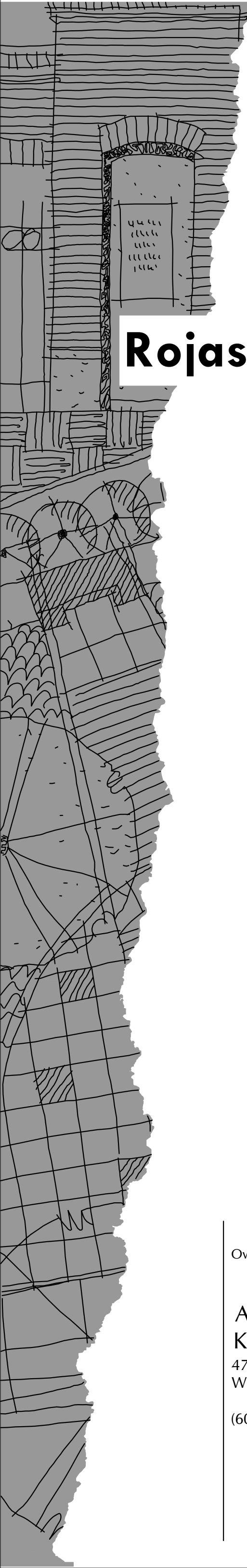
Elise Loukas
Chair

Richard Glenn

Marilynne Roach

Matthew Walter

Edward G. McCourt



Rojas

44 PILGRIM ROAD

NEW CONSTRUCTION

44 PILGRIM ROAD
WATERTOWN, MA 02472

PERMIT SET
09/16/2024

SHEET LIST	
Sheet Number	Sheet Title
	COVER SHEET
G- 01	PROJECT DESCRIPTION, CODE NARRATIVE & GENERAL CONDITIONS
G- 02	DEMOLITION NOTES & SPECIFICATIONS
L- 01	SITE LAYOUT & MATERIALS PLAN & DETAILS
A- 01	FIRST FLOOR PLAN
A- 02	SECOND FLOOR PLAN
A- 03	ATTIC FLOOR PLAN
A- 04	BASEMENT LEVEL PLAN
A- 05	ROOF PLAN
A- 06	FIRST FLOOR REFLECTED CEILING PLAN
A- 07	SECOND FLOOR REFLECTED CEILING PLAN
A- 08	ATTIC FLOOR REFLECTED CEILING PLAN
A- 09	BASEMENT REFLECTED CEILING PLAN
A- 10	SIDE (WEST) ELEVATION
A- 11	FRONT (NORTH) ELEVATION
A- 12	SIDE (EAST) ELEVATION
A- 13	REAR (SOUTH) ELEVATION
A- 14	BUILDING SECTION
A- 15	BUILDING SECTION & WALL TYPES
A- 16	INTERIOR ELEVATIONS
A- 17	INTERIOR ELEVATIONS
A- 18	WINDOW TYPES & DOOR SCHEDULES
S-0	FOUNDATION PLAN & NOTES
S-1	FIRST FLOOR & SECOND FLOOR FRAMING PLANS
S-2	ATTIC FLOOR & ROOF FRAMING PLANS
C-0	EXISTING CONDITIONS PLAN
C-1	PROPOSED CONDITIONS DRAINAGE PLAN

Owners

Artur Bazyan
Kate Torganchuk
47 Rosedale Road
Watertown MA 02472

(603) 205-3633

Architecture | Interior Design |
Landscape Architecture

Rojas Design, Inc.

46 Waltham Street Suite 2A
Boston MA 02118

(617) 720-4100

RD 2966

Structural Engineer

Fergal Brennock PE

71 Lovell Road
Watertown MA 02472

(617) 828-0376

Surveyor

Rober Survey

1072 Massachusetts Avenue
Arlington MA 02476

(781) 648-5533

Civil Engineer

Gala Simon Associates, Inc.

394 Lowell Street
Lexington MA 02420

(781) 266-8179

PROJECT DESCRIPTION

THIS ARCHITECTURAL TECHNICAL SUBMITTAL IS FOR NEW CONSTRUCTION OF A 3 STORY RESIDENCE ON AN EXISTING LOT.

ON THE FIRST FLOOR, FOYER, OFFICE, BATH, LIVING ROOM, DINING, KITCHEN. ON THE SECOND FLOOR, A MASTER SUITE WITH WALK IN CLOSETS & FULL BATHROOM, LAUNDRY CLOSET, THREE BEDROOMS & TWO BATHROOMS. ON ATTIC FLOOR, FAMILY ROOM & STORAGE. AT BASEMENT LEVEL, NEW MECHANICAL ROOM, STORAGE, FULL BATH, & FITNESS ROOM. CONCRETE SLAB FLOOR, FOUNDATION WALL & SPREAD FOOTINGS ARE PROVIDED, AS REQUIRED.

THIS TECHNICAL SUBMITTAL IS FOR THE ARCHITECTURAL PORTION OF THE PROJECT ONLY. OTHER TECHNICAL SUBMITTALS, AS REQUIRED, INCLUDING BUT NOT LIMITED TO STRUCTURAL FRAMING AND DETAILS, CONCRETE DESIGN STRENGTH, STRUCTURAL, REINFORCING, CIVIL ENGINEERING DESIGN, AND MEPFP DESIGN TO TIE INTO NEW SYSTEMS TO BE PROVIDED AND COORDINATED BY THE GENERAL CONTRACTOR.

CODE NARRATIVE & ZONING

USE GROUP: R3 (MA STATE BUILDING CODE)
CONSTRUCTION TYPE: 5B (MA STATE BUILDING CODE)

ZONING DISTRICT: S-6 (SINGLE RESIDENCE - DWELLING)

AREA CALCULATIONS:
LOT SIZE: 6,000 SF
WORK TO COMPLY WITH REQUIREMENTS OF AJ401, AJ501 AND AJ601

BUILDING CLASSIFICATION REQUIREMENTS:
PER ICC 310.1 RESIDENTIAL USE GROUP, THIS BUILDING WILL BE CLASSIFIED AS AN R-3 AND WILL COMPLY WITH ALL REGULATIONS FOR AN R-3.

PER ICC 420.2 & 420.3 SEPARATION WALLS AND HORIZONTAL ASSEMBLIES
ALL WALL AND FLOOR/ CEILING ASSEMBLIES
SEPARATING SLEEPING UNITS FROM OTHER SLEEPING UNITS AND OTHER USES SHALL CONSIST IF 1 HR FIRE PARTITIONS. THIS CAN BE REDUCED TO ½ HOUR PARTITION PER ICC 708.3 BUT MUST MAINTAIN CONTINUITY PER ICC 708.4.

NOTE:
THE PROJECT WILL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

THE MASSACHUSETTS RESIDENTIAL CODE 9TH EDITION, PARTIALLY COMPRISED OF THE INTERNATIONAL RESIDENTIAL CODE 2009 (IRC) AND A SEPARATE PACKAGE OF MASSACHUSETTS AMENDMENTS TO THE IRC.

PER IRC R310.1 EMERGENCY ESCAPE AND RESCUE REQUIRED: ALL BEDROOMS WILL BE PROVIDED WITH OPERABLE EMERGENCY ESCAPE AND RESCUE OPENINGS. DOUBLE HUNG WINDOWS WITH A NET CLEAR OPENING OF NOT LESS THAN 3.3 SF (PER R310.1.1) WILL BE PROVIDED.

PER R311.1 AND R311.2 MEANS OF EGRESS:
TWO COMPLIANT MEANS OF EGRESS ON THE FIRST FLOOR OF THE HOUSE INCLUDING THE HINGED FRONT DOOR AND ONE PAIR OF DOOR OUTSWING TO THE PATIO.

PER R314.3.1 SMOKE ALARMS:
ENTIRE HOUSE WILL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR A NEW DWELLING INCLUDING BUT NOT LIMITED TO THE BASEMENT.

PER R315.2 CARBON MONOXIDE ALARMS:
ENTIRE HOUSE WILL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR A NEW DWELLING.

PER R806.4 UNVENTED ATTIC ASSEMBLIES:
ATTIC AND ROOF ASSEMBLIES SHALL COMPLY WITH REQUIREMENTS OF THIS SECTION THEREFORE VENTING WILL BE PROVIDED.

N1101.2 ENERGY COMPLIANCE:
ALL WORK WILL COMPLY WITH REQUIREMENTS OF MASS 780CMR STRETCH CODE

PER TABLE N1102.1 INSULATION AND FENESTRATION:
REQUIREMENTS BY COMPONENTS
U-FACTOR: WINDOW - 0.30
SKYLIGHT - 0.55
DOOR - 0.40

R-VALUE: FLOORS: R30
WOOD FRAME WALL (2x6): R30

GENERAL CONDITIONS:

- THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL WORK (TO BE REFERRED TO AS THE WORK), UNLESS OTHERWISE NOTED, INDICATED ON THE CONSTRUCTION DOCUMENTS.
- CONSTRUCTION DOCUMENTS COMPRISE ALL DRAWINGS INDICATED ON THE DRAWING LIST FOUND ON THE COVER SHEET.
- THE GC IS RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS.
- IT IS THE OBLIGATION OF THE GC TO MEET ALL REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE 780 CMR, 9TH EDITION, THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
- IT IS THE OBLIGATION OF THE GC TO MEET THE REQUIREMENTS OF ALL REGULATIONS, PERFORMANCE AND SAFETY STANDARDS. ANY CONFLICTS FOUND BETWEEN THESE REGULATIONS AND THESE DOCUMENTS ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION.
- THE GC IS REQUIRED TO CARRY AND MAINTAIN LIABILITY INSURANCE AND OTHER INSURANCE AS REQUIRED IN AMOUNTS BY LAW. GC IS REQUIRED TO CARRY WORKMEN'S COMPENSATION OR SIMILAR INSURANCE IN FORM AND AMOUNTS REQUIRED BY LAW, REGULATIONS AND REQUIREMENTS.
- UPON AWARD OF CONTRACT, GC TO PROVIDE INSURANCE CERTIFICATES TO OWNER AND ARCHITECT.
- GC TO COORDINATE ADDITIONAL INSURANCE AMOUNTS WITH OWNER.
- GC IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT REQUIRED TO EXECUTE THE WORK.
- GC TO PROVIDE ALL REQUIRED PERFORMANCE STANDARD TESTING.
- GC TO PROVIDE ALL FIRE STOPPING AND SEALANTS AS REQUIRED BY APPLICABLE CODES INCLUDING BUILDING THERMAL ENVELOPE SEALANT IN COMPLIANCE WITH ENERGY CODES.
- THE WORK IS TO BE PERFORMED IN A WORKMANLIKE MANNER AS REQUIRED TO MEET INDUSTRY WORKMANSHIP AND QUALITY STANDARDS. THE ARCHITECT (ROJAS DESIGN, INC.) SHALL BE THE SOLE ARBITER OF WORKMANSHIP AND QUALITY OF CONSTRUCTION ISSUES.
- GC SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS, BUILDING CONDITIONS, AND DIMENSIONS PRIOR TO COMMENCING WORK.
- GC IS WHOLLY RESPONSIBLE FOR THE COORDINATION OF ALL DIMENSIONS HEREIN SPECIFIED WITH THE ACTUAL FIELD CONDITIONS. DIMENSIONS SHOWN ON THESE DRAWINGS ARE FINISHED FACE TO FINISHED FACE, UNLESS OTHERWISE NOTED. ANY DISCREPANCIES AND UNFORESEEN SITUATIONS, WHICH MAY ARISE DURING CONSTRUCTION, ARE TO BE IMMEDIATELY BROUGHT TO THE ARCHITECT'S ATTENTION, IN WRITING, PRIOR TO PROCEEDING WITH THE WORK.
- THE GC IS RESPONSIBLE FOR CORRECTING, AT NO ADDITIONAL EXPENSE TO THE OWNER, ANY AND ALL DISCREPANCIES FOUND AFTER THE WORK IS PERFORMED.
- GC IS RESPONSIBLE FOR REPAIRING DAMAGE TO THE SITE DUE TO CONSTRUCTION ACTIVITIES. REPAIR ALL DAMAGE TO MATCH SURROUNDING AREAS. REPAIR WORK TO CONFORM TO ALL APPLICABLE CODE AND PERFORMANCE REQUIREMENTS.
- THE GC IS RESPONSIBLE FOR INSTALLING ALL REQUIRED MATERIALS AND EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR BEST PRACTICES.
- THE GC AND GC'S SUBCONTRACTORS TO PROVIDE SUBMITTALS FOR ALL MATERIALS FOR ARCHITECT'S REVIEW FOR CONFORMANCE WITH PROJECT REQUIREMENTS. SHOP DRAWINGS, CUT SHEETS AND SAMPLES TO BE SUBMITTED IMMEDIATELY AFTER EXECUTION OF CONTRACT AND BEFORE ORDERING MATERIALS OR BEGINNING RELATED CONSTRUCTION ACTIVITIES. COMMENCEMENT OF WORK PRIOR TO SUBMITTAL REVIEW WILL BE AT GC'S RISK.
- ALL MATERIALS SHALL BE DELIVERED TO THE JOB SITE IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH THE MANUFACTURER'S BRAND NAME CLEARLY MARKED.
- THE GC SHALL PROVIDE OWNER WITH ALL EQUIPMENT MANUALS WARRANTIES AND OPERATING INSTRUCTIONS UPON FINAL ACCEPTANCE.
- THE GC SHALL WARRANT ALL WORK, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR (IN ADDITION TO MANUFACTURE'S (WARRANTIES) FROM DATE OF FINAL ACCEPTANCE BY ARCHITECT (ROJAS DESIGN, INC).
- GC SHALL KEEP THE WORK AREA SECURED WHEN UNATTENDED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- GC SHALL REMOVE TRASH AND DEBRIS FROM THE SITE DAILY. GC TO BE RESPONSIBLE FOR ARRANGING REMOVAL SERVICE AND SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- GC IS RESPONSIBLE, THROUGHOUT THE PROJECT, FOR ARRANGING REMOVAL AND RECYCLING OF CONSTRUCTION AND DEMOLITION MATERIALS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

- THE CG SHALL PROVIDE TOILET FACILITIES FOR ALL WORKERS. THESE TOILET ROOMS MUST BE CLEANED DAILY. NO CONSTRUCTION MATERIAL OR DEBRIS INCLUDING: CAULKING, PLASTER, PAINT OR SOLVENTS SHALL BE DEPOSITED INTO THE DRAINS.
- ALL HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION & ALARM WORK SHALL BE 'DESIGN-BUILD' BY THE GC'S LICENSED SUB-CONTRACTORS FOR EACH TRADE. GC IS RESPONSIBLE FOR ALL PERMITS, ENGINEERING AND COORDINATION RELATED TO THE 'DESIGN-BUILD' TRADES AND WORK.
- ARCHITECT AND OWNER TO REVIEW ALL PROPOSED 'DESIGN-BUILD' DESIGNS, PROPOSALS, PROPOSED INSTALLATIONS AND DETAILS PRIOR TO FABRICATION AND INSTALLATION. GC IS RESPONSIBLE FOR ALL WORK BY GC'S SUB-CONTRACTORS, INCLUDING 'DESIGN-BUILD' TRADES.
- IDENTIFY & LABEL ALL NEW WORK & UTILITIES FOR FUTURE WORK & ACCESS.
- OWNERSHIP OF MATERIALS, EQUIPMENT AND FIXTURES IDENTIFIED BY THE OWNER FOR SALVAGE FOR RE-USE IN THIS PROJECT OR DESIGNATED FOR REUSE IS RETAINED BY THE OWNER.
- CONFORM TO APPLICABLE CODES FOR DEMOLITION WORK, SAFETY OF STRUCTURE, DUST CONTROL, AND DISPOSAL OF DEBRIS. CONFORM TO PROCEDURES APPLICABLE WHEN DISCOVERING HAZARDOUS MATERIALS OR CONTAMINATED SUBSTANCES.
- THE CONTRACTOR IS DIRECTED NOT TO DISTURB OR ATTEMPT REMOVAL OF ANY DISCOVERED HAZARDOUS MATERIALS OR CONTAMINATED SUBSTANCES. IMMEDIATELY NOTIFY BOTH THE OWNER AND THE ARCHITECT UPON DISCOVERY OF SUCH CONDITIONS.
- OBTAIN AND PAY FOR REQUIRED PERMITS AND LICENSES REQUIRED FROM AUTHORITIES PRIOR TO COMMENCING DEMOLITION WORK. ARRANGE AND PAY FOR LEGAL DISPOSAL OF REMOVED MATERIALS AND EQUIPMENT, OBTAIN PROPER DISPOSAL RECEIPTS FOR VERIFICATION.
- CONDUCT THE WORK IN A MANNER GIVING PRIME CONSIDERATION TO PROTECTION OF THE ABUTTERS, NEIGHBORS AND THE PUBLIC; PROTECTION FROM THE WEATHER, CONTROL OF NOISE, SHOCKS AND VIBRATION; CONTROL OF DIRT AND DUST; ORDERLY ACCESS FOR AND STORAGE OF MATERIALS; PROTECTION OF EXISTING BUILDINGS; PROTECTION OF ADJACENT SURFACES AND PROPERTY; COORDINATION WITH THE OWNER AT ALL TIMES.
- COMPLY WITH ALL REQUIREMENTS OF THIS CONTRACT RELATIVE TO PROTECTION, SCHEDULING AND COORDINATION WITH THE OWNER.
- COORDINATE AND ARRANGE WITH MECHANICAL AND ELECTRICAL TRADES FOR THEIR DISCONNECTING, REROUTING AND MAINTENANCE OF EXISTING SERVICES AS REQUIRED, AS PART OF THE WORK OF THIS CONTRACT.
- PROVIDE SUPPORT BRACING & BLOCKING FOR NEW WORK AS REQUIRED.
- PROVIDE MOISTURE BARRIER, FLASHING, FIRE-RATED MATERIALS, SEALANTS, ETC AS REQUIRED.
- PROVIDE NEW TRIM, DOORS, DOOR JAMBS, CASED OPENINGS & THRESHOLDS AS REQUIRED.
- PROVIDE & INSTALL SOLID, OAK HARDWOOD FLOORING; FIELD STAIN & FINISH OF DESIRED COLOR & SHEEN.
- PAINT NEW WALLS, CEILING & TRIM WHERE DESIGNATED, IN COLOR, SHEEN & PAINT. FORMULA SELECTED BY ARCHITECT.
- INSTALL CLIENT-SELECTED CABINETS, APPLIANCES, SINK FIXTURES/ FITTINGS, DISPOSAL; INSTALL BATHROOM VANITIES & PLUMBING FIXTURES/ FITTINGS & ACCESSORIES; PROVIDE BLOCKING AS REQUIRED.
- PROVIDE ALLOWANCE FOR STONE OR QUARTZ COUNTERTOP & TILE BACKSPLASH IN KITCHEN. PROVIDE ALLOWANCE FOR FLOOR TILE, WALL TILE & QUARTZ SURFACES IN BATHROOM. INCLUDE INSTALLATION MATERIALS & FINISH ACCESSORIES THROUGHOUT.
- PROVIDE 'VIEWRAIL' FLIGHT MONO FLOATING STAIR SYSTEM AS SHOWN AT FIRST FLOOR & SECOND FLOOR. CONFIRM DETAILS WITH MANUFACTURER AND SEE STRUCTURAL FOR MORE INFO.
- PROVIDE ALLOWANCE FOR GAS FIREPLACE AS SHOWN; PROVIDE EXTERIOR DUCTING, FRESH AIR, REQUIRED CONNECTIONS & CLEARANCES.
- GC TO PROVIDE THEIR OWNER-APPROVED HVAC SYSTEM, COMPONENTS & EQUIPMENT INCLUDING RUNTAL RADIATORS, TOE KICK HEATERS, AIR PURIFICATION & HUMIDIFIER.
- PROVIDE ELECTRICAL, GAS, PLUMBING & DUCTWORK CONNECTIONS AS REQUIRED FOR APPLIANCES, FITTINGS, LIGHTING, OUTLETS, EXHAUST FANS, HVAC, ETC.
- PROVIDE ALLOWANCE FOR THE PROVISION & INSTALLATION OF LIGHT FIXTURES AS SHOWN AND NOTED. (SEE DRAWINGS A-06, A-07, A-08 & A-09).
- PROVIDE SEPARATE SWITCHING DIMMING AND 3-WAY SWITCHING FOR ALL LIGHT FIXTURES. COORDINATE LOCATIONS AND CONTROLS WITH ARCHITECT & OWNER.
- FINAL ACCEPTANCE SHALL BE ISSUED SUBSEQUENT TO COMPLETION OF THE FINAL PUNCH LIST.

44
PILGRIM ROAD
WATERTOWN MA
02472

PERMIT SET

PROJECT
DESCRIPTION,
CODE NARRATIVE
& GENERAL
CONDITIONS



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G-01

DEMOLITION NOTES:

1. DEMOLITION OF EXISTING BUILDING IN ITS ENTIRETY INCLUDING FOUNDATION (TYP.).
2. MAINTAIN PROTECTED EGRESS AND ACCESS TO THE WORK AT ALL TIMES.
3. DO NOT THROW TRASH FROM WINDOWS OR FROM ROOF. ERECT CHUTES TO DUMPSTER FOR CONTAINING DEBRIS. KEEP DUMPSTER COVERED AND WET DOWN TO PREVENT FIRES CAUSED BY VANDALS.
4. AS WORK PROGRESSES, REGULARLY REMOVE DEMOLISHED MATERIALS FROM SITE, EXCEPT SALVAGED MATERIALS AS NOTED. DO NOT BURN OR BURY MATERIALS ON SITE, ARRANGE FOR LEGAL DISPOSAL OF THE SAME.
5. UPON COMPLETION OF WORK, REMOVE TOOLS, EQUIPMENT, AND TEMPORARY WORK, REMOVE ALL DEBRIS AND SURPLUS MATERIALS; LEAVE SITE IN CLEAN CONDITION.
6. PROVIDE BUILDING DEMOLITION AND REMOVAL WORK INDICATED ON THE PERMIT SET DRAWINGS.
7. REMOVE ALL EXISTING EXTERIOR WALLS, FOUNDATIONS, FOOTINGS AND OTHER ENCUMBRANCES IN THEIR ENTIRETY. REFER TO THE DRAWINGS FOR THE NEW WORK.
8. REMOVE ALL FLOORING, CORRESPONDING WALL BASE AND THRESHOLDS WHERE INDICATED.
9. REMOVE ALL DOORS & FRAMES, WHERE INDICATED OR REQUESTED BY OWNER.
10. REMOVE EXISTING LIGHT FIXTURES AND APPURTENANCES. SALVAGE AND PROTECT FOR OWNER DETERMINATION.
11. REMOVE FROM SITE ALL ABANDONED, DISCONNECTED AND DISMANTLED ELECTRICAL FIXTURES AND EQUIPMENT, INCLUDING CONDUITS, WIRING, METERS AND OTHER DEVICES.
12. REMOVE UNSUITABLE OR EXTRANEIOUS MATERIALS NOT MARKED FOR SALVAGE, SUCH AS ABANDONED EQUIPMENT, AND DEBRIS SUCH AS ROTTED WOOD, RUSTED METALS AND DETERIORATED CONCRETE.
13. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT BUILDINGS, WITH PRIME CONSIDERATION GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF NEIGHBORS, AND THE OWNER.
14. WET DOWN DEBRIS TO PREVENT AIR POLLUTION BY DUST RISING FROM DEMOLITION WORK. EMPLOY TARPULINS ON TRUCKS CARRYING DEBRIS TO PREVENT SPREADING DUST OR DEBRIS. CLEAN UP LOOSE DEBRIS DAILY TO PREVENT THE WIND SPREADING DEBRIS.
15. THE GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ALL WORK (TO BE REFERRED TO AS THE WORK), UNLESS OTHERWISE NOTED, INDICATED ON THE PERMIT SET.
16. DURING THE DEMOLITION PHASE, THE GC IS TO REMOVE ALL MATERIALS AND MISCELLANEOUS ITEMS AS REQUIRED TO PERFORM THE WORK SHOWN IN THESE DOCUMENTS. ALL MATERIALS REMOVED ARE TO BE DISPOSED OF OR RECYCLED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, UNLESS OTHERWISE NOTED.
17. GC IS RESPONSIBLE FOR CUTTING AND CAPING ALL EXISTING UTILITIES (GAS, ELECTRIC, WATER & SEWER, ETC.), NOTIFICATIONS TO UTILITY COMPANIES, AND OBTAINING ALL PERMITS

SPECIFICATIONS:

- DIVISION 01: GENERAL REQUIREMENTS
 - PROVIDE SUBMITTALS FOR PRODUCTS AND MATERIALS AS REQUIRED BY ARCHITECT
- DIVISION 02: SITE CONSTRUCTION
 - PROTECT SITE FROM DAMAGE. REPAIR DAMAGE AT NO ADDITIONAL EXPENSE TO OWNER
 - PROVIDE SELECTIVE DEMOLITION AS REQUIRED TO COMPLETE WORK
- DIVISION 03: CONCRETE
 - PROVIDE REINFORCED CONCRETE FOUNDATION WALLS AND FOOTINGS AS REQUIRED BY THE STRUCTURAL ENGINEERING & ARCHITECTURAL DRAWINGS
- DIVISION 04: MASONRY
 - PROVIDE STONE AND/OR QUARTZ SURFACE FOR ALL COUNTERTOPS AND OTHER SURFACES AS INDICATED ON ARCHITECTURAL DRAWINGS. AS SELECTED BY ARCHITECT
- DIVISION 05: METALS
- DIVISION 06: WOOD AND PLASTIC
 - CONSTRUCT MILLWORK SHELVING UNIT, CLOSETS & LAUNDRY ETC FROM PAINT GRADE PLYWOOD. EDGE BAND ALL EDGES EXPOSED TO VIEW. COORDINATE MILLWORK HARDWARE WITH ARCHITECT AND OWNER
 - PROVIDE SELECT PINE FOR ALL TRIM UNLESS NOTED OTHERWISE
 - PROVIDE WOOD HANDRAIL AND GUARDS PER DRAWINGS. PROVIDE SUBMITTAL FOR ARCHITECT'S REVIEW PRIOR TO PROCUREMENT
 - PROVIDE FIREBLOCKING PER R302.11 FIREBLOCKING
- DIVISION 07: THERMAL AND MOISTURE PROTECTION
 - PROVIDE 30 YEAR ARCHITECTURAL ASPHALT SHINGLES
 - INCLUDE ALL REQUIRED FLASHING AND TRIM
 - PROVIDE 4" ALUMINUM GUTTERS, RAIN LEADERS & DOWNSPOUTS AT LOCATIONS SHOWN ON DRAWINGS OR AS REQUIRED.
 - PROVIDE INSULATION PER N1102.1 AS FOLLOWS:

ROOF INSULATION, PROVIDE R-60

WALL INSULATION (2x6 WALLS), PROVIDE R-30

WALL INSULATION (BASEMENT WALLS), PROVIDE R-19
 - IMPERMEABLE INSULATION, AS INDICATED ON DRAWINGS, PROVIDE CLOSED CELL FOAM INSULATION AT ALL EXTERIOR CAVITY LOCATIONS OR ARCHITECT APPROVED EQUAL
 - PROVIDE CLASS 1 OR 2 VAPOR BARRIER ON WINTER WARM SIDE OF EXTERIOR WALL PER R601.3
 - PROVIDE DRAINABLE HOUSE WRAP AS SHOWN ON ARCHITECTURAL DRAWINGS AND IN COMPLIANCE WITH ALL REQUIREMENTS OF THE BUILDING CODE INCLUDING PROPER PLACEMENT AT WINDOWS AND PENETRATIONS
 - SEAL BUILDING PER N1102.4 BUILDING THERMAL ENVELOPE AND PER TABLE N1102.4.2 AIR BARRIER AND INSULATION INSPECTION, PROVIDE INSPECTION AS REQUIRED BY AGENCY HAVING JURISDICTION
 - FOR ANY RECESSED LIGHTING IN CEILINGS THAT ARE PART OF THE BUILDING THERMAL ENVELOPE PROVIDE THERMAL INSULATION AND SEALANT PER N1102.4
 - PROVIDE LP SMARTSIDE SIDING, PANEL & VERTICAL SIDING, SOFFIT, TRIM AND FASCIA IN DESIGN AND PATTERNS SHOWN IN THE DRAWINGS

- DIVISION 08: DOORS AND WINDOWS
 - PROVIDE HARVEY TRIBUTE SERIES SUN GAIN DOUBLE HUNG WINDOWS, DIMENSIONS AS INDICATED. WINDOWS AND WINDOW INSTALLATION TO COMPLY WITH REQUIREMENTS OF N1102: BUILDING THERMAL ENVELOPE.
 - PROVIDE 3 PANEL INTERIOR DOORS PER ARCHITECTURAL DRAWINGS AND DOOR SCHEDULE OR ARCHITECT APPROVED SUBSTITUTION
 - PROVIDE BY-PASSING CLOSET DOORS AS INDICATED, SUBMIT FOR ARCHITECT'S REVIEW
 - U-VALUE: DOORS: 0.40
WINDOWS: 0.30
SKYLIGHTS: 0.55
- DIVISION 09: FINISHES
 - ALL FINISHES INDICATED AS GWB TO BE ½" BLUE-BOARD WITH VENEER PLASTER FINISH INCLUDING REINFORCING BASE COAT AT ALL JOINTS U.N.O.
 - PROVIDE 1/2" WATER RESISTANT GWB IN ALL PTD. BATHROOM LOCATIONS
 - PROVIDE 1/2" CEMENTITIOUS BACKER BOARD IN LIEU OF GWB AT ALL TILE LOCATIONS
 - PROVIDE PORCELAIN AND/OR CERAMIC TILE FOR FLOORS & WALLS WHERE SHOWN ON THE DRAWINGS
 - PROVIDE SCHLUTER TRIM IN PROFILES& FINISH SELECTED AND AS REQUIRED AT EXPOSED EDGES AND TRANSITIONS.

DIVISION 10: SPECIALTIES

- DIVISION 11: EQUIPMENT
 - PROVIDE KITCHEN APPLIANCES PER ARCHITECTURAL DRAWINGS, COORDINATE PRODUCT MODEL WITH OWNER
 - PROVIDE PLUMBING FIXTURES FOR FLOORS & WALLS WHERE SHOWN ON THE DRAWINGS

DIVISION 12: FURNISHINGS

- DIVISION 13: SPECIAL CONSTRUCTION
 - PROVIDE SMOKE ALARMS PER R314. PER R314.3.1 PROVIDE SMOKE ALARMS AS REQUIRED FOR ENTIRE HOUSE
 - PROVIDE CARBON MONOXIDE ALARMS PER R315. PER R315.2 PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED FOR ENTIRE HOUSE

DIVISION 14: CONVEYING SYSTEMS

- DIVISION 15: MECHANICAL
 - PER N1103.1 PROVIDE PROGRAMMABLE THERMOSTAT
 - PER 1103.2.1 INSULATE ATTIC DUCTS
 - PER 1103.2.2 SEAL DUCTS
 - PER 1103.3 INSULATE HEATING PIPES
 - PER 1104.1 PROVIDE ENERGY EFFICIENT LAMPS

- DIVISION 16: ELECTRICAL
 - GC TO REVIEW COMPLIANCE WITH AJ501.5 INCLUDING REVIEW OF SERVICE REQUIREMENTS PER AJ501.5.2
 - PROVIDE LIGHT FIXTURES FOR FLOORS & WALLS WHERE SHOWN ON THE DRAWINGS
 - PROVIDE GFCI OUTLETS IN KITCHEN, LAUNDRY & ALL BATHROOMS
 - PROVIDE 4 EXTERIOR OUTLETS WITH COVERS

44

PILGRIM ROAD
WATERTOWN MA
02472

PERMIT SET

Job:2966

Date:09/16/2024

Scale:AS NOTED

Drawn:ISP

Checked:ATR

DEMOLITION
NOTES &
SPECIFICATIONS



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G-02

Job: 2966
Date: 09/16/2024
Scale: AS NOTED
Drawn: ISP
Checked: ATR

SITE LAYOUT &
MATERIALS
PLAN & DETAILS

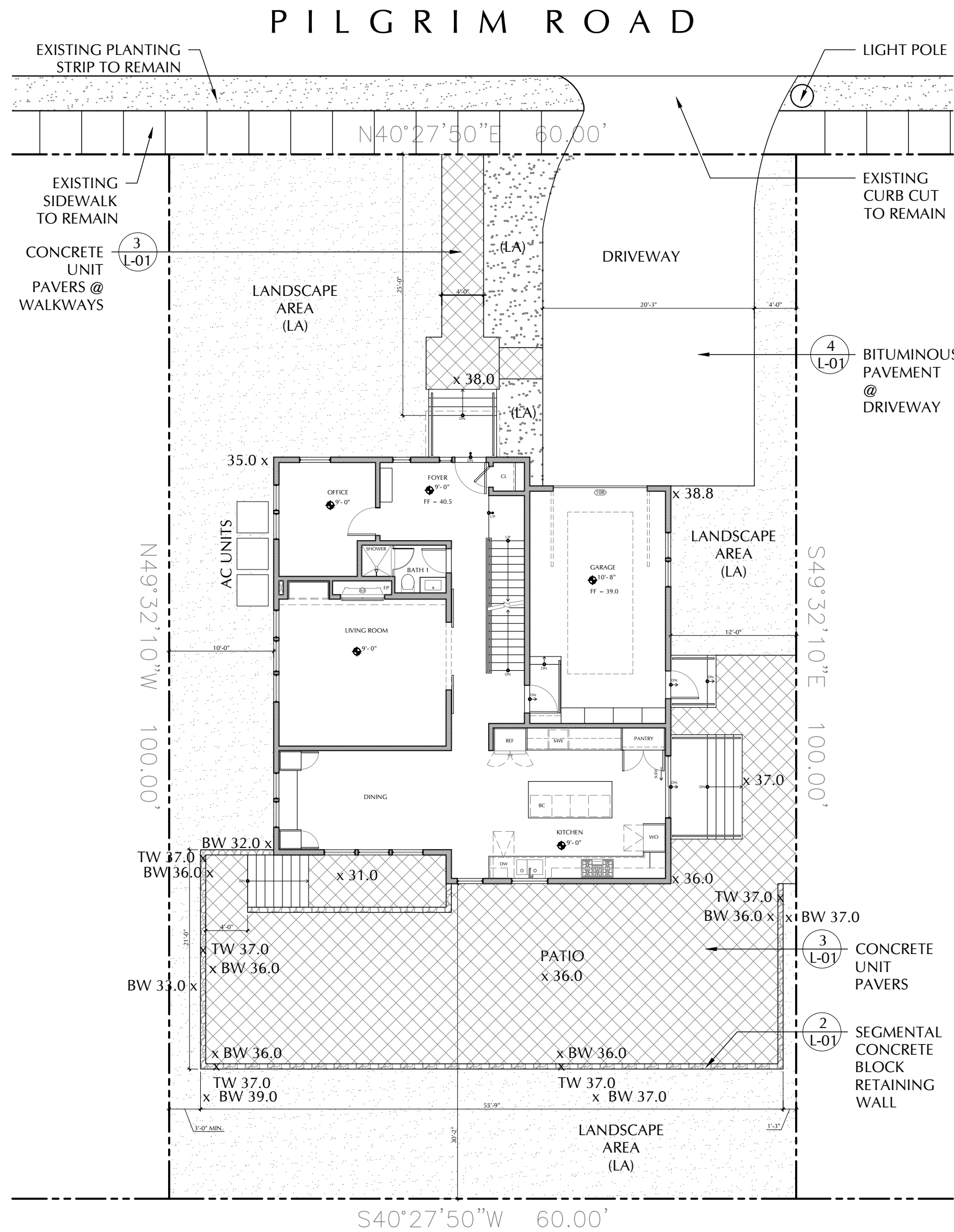
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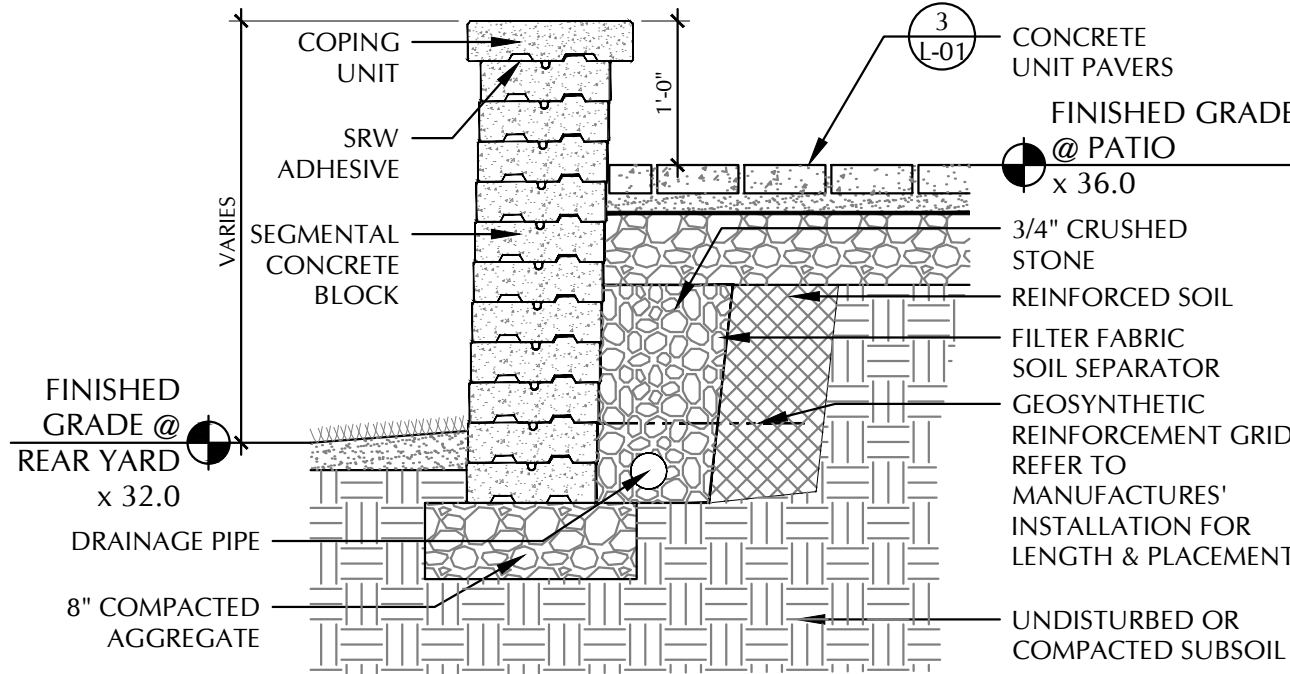
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L-01

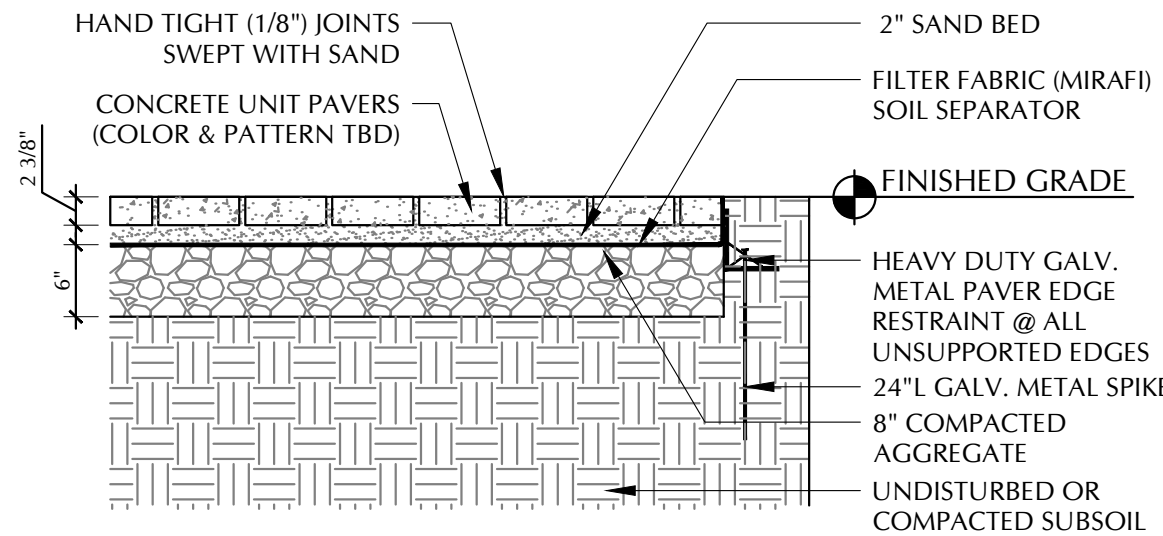


1 SITE LAYOUT & MATERIAL PLAN

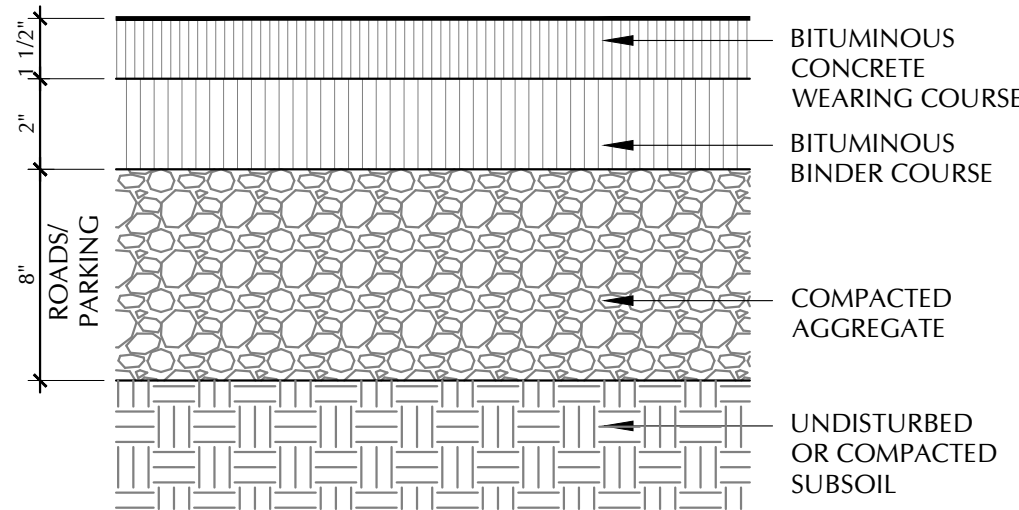
SCALE: 1" = 10'-0"



2 SEGMENTAL CONCRETE BLOCK RETAINING WALL



3 CONCRETE UNIT PAVERS



4 BITUMINOUS PAVEMENT

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Date: 09/16/2024
Scale: AS NOTED
Drawn: ISP
Checked: ATR

FIRST FLOOR PLAN

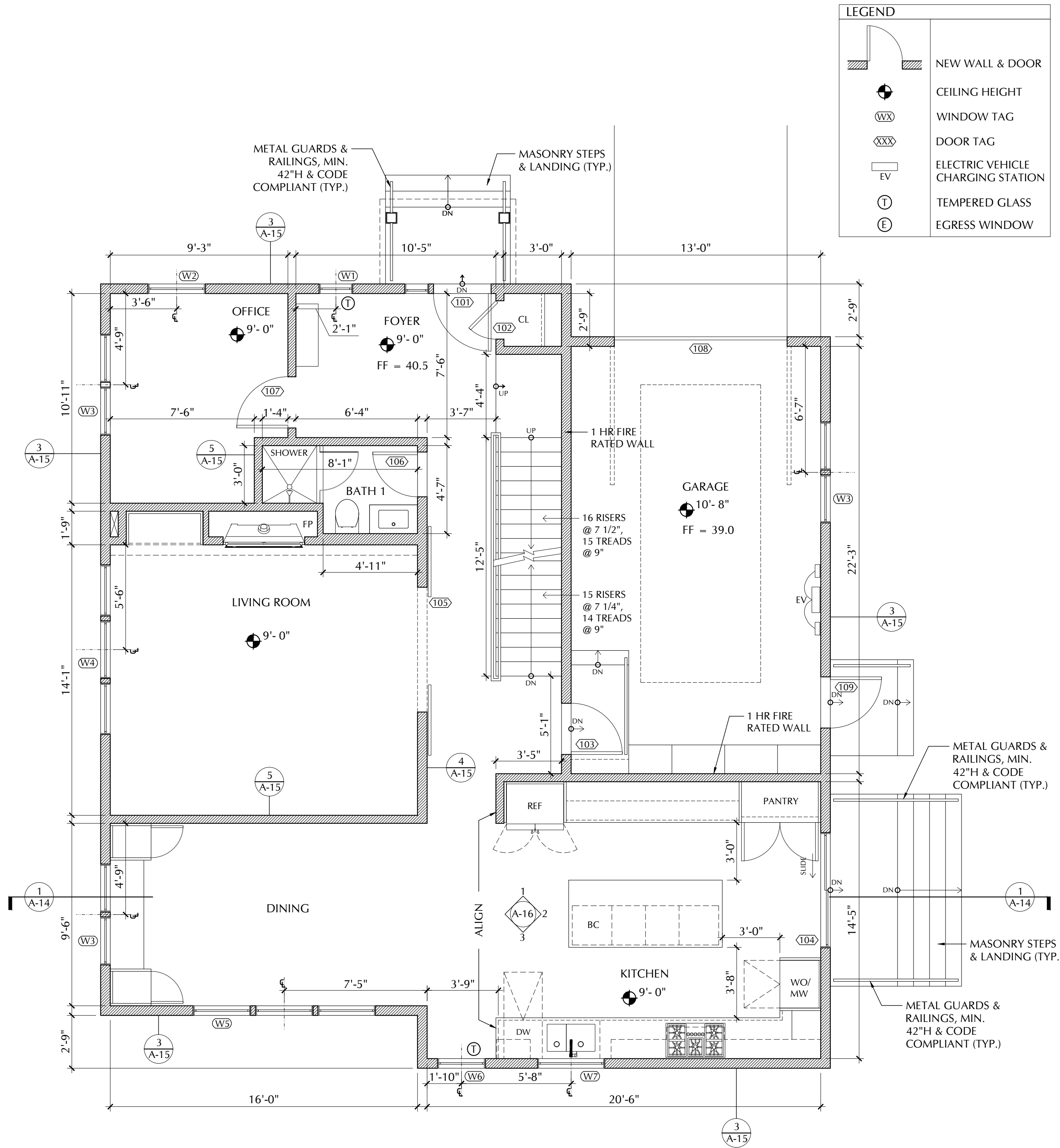
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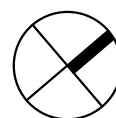
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A-01



1 FIRST FLOOR PLAN
GROSS FLOOR AREA - 1500 SF

SCALE: 1/4" = 1'-0"

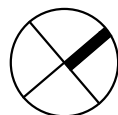


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A-02



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ATTIC
FLOOR PLAN

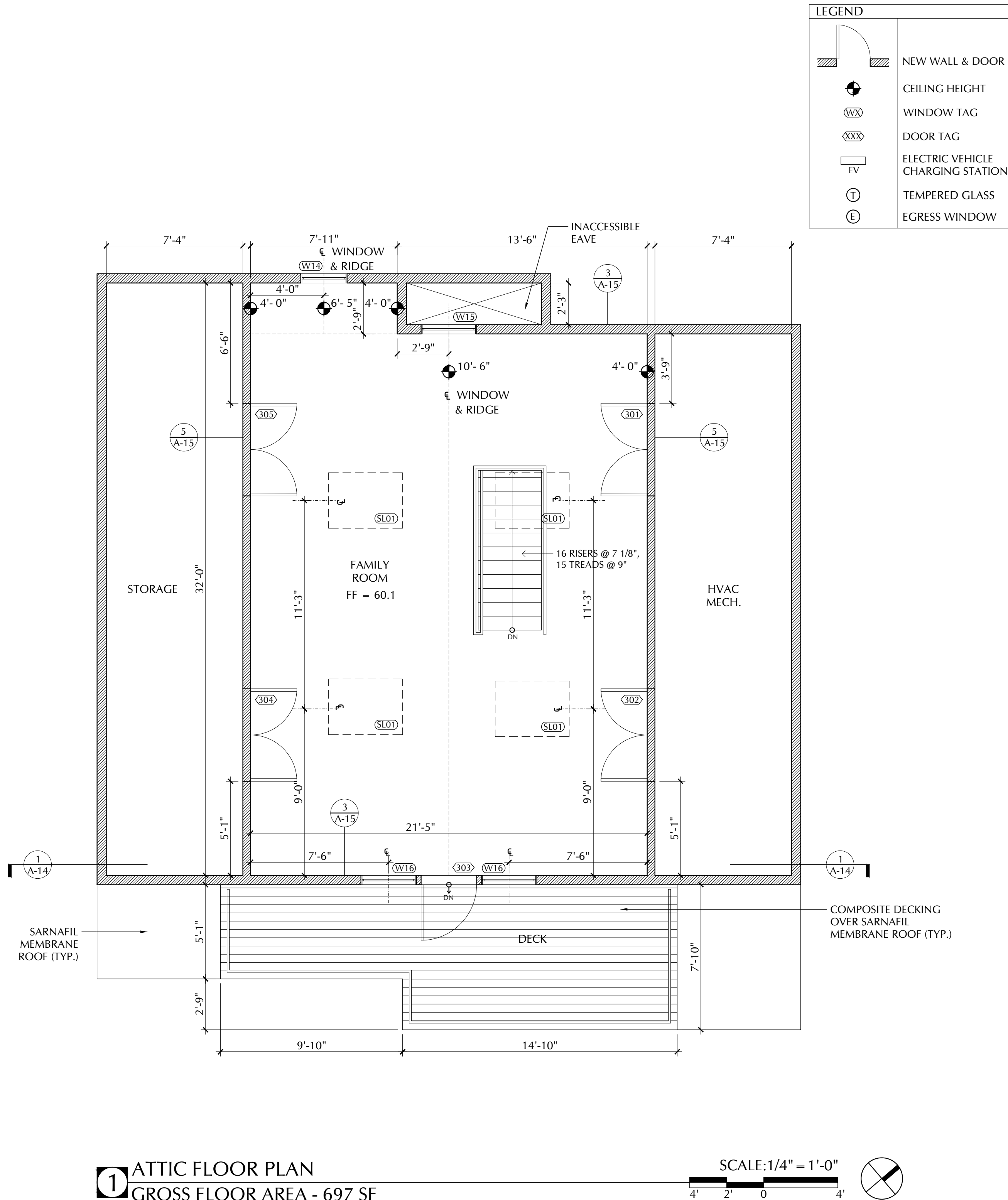
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A-03

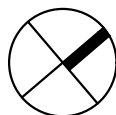


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Page 10 of 78



SCALE: 1/4" = 1'-0"



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Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

PROPOSED
ROOF PLAN

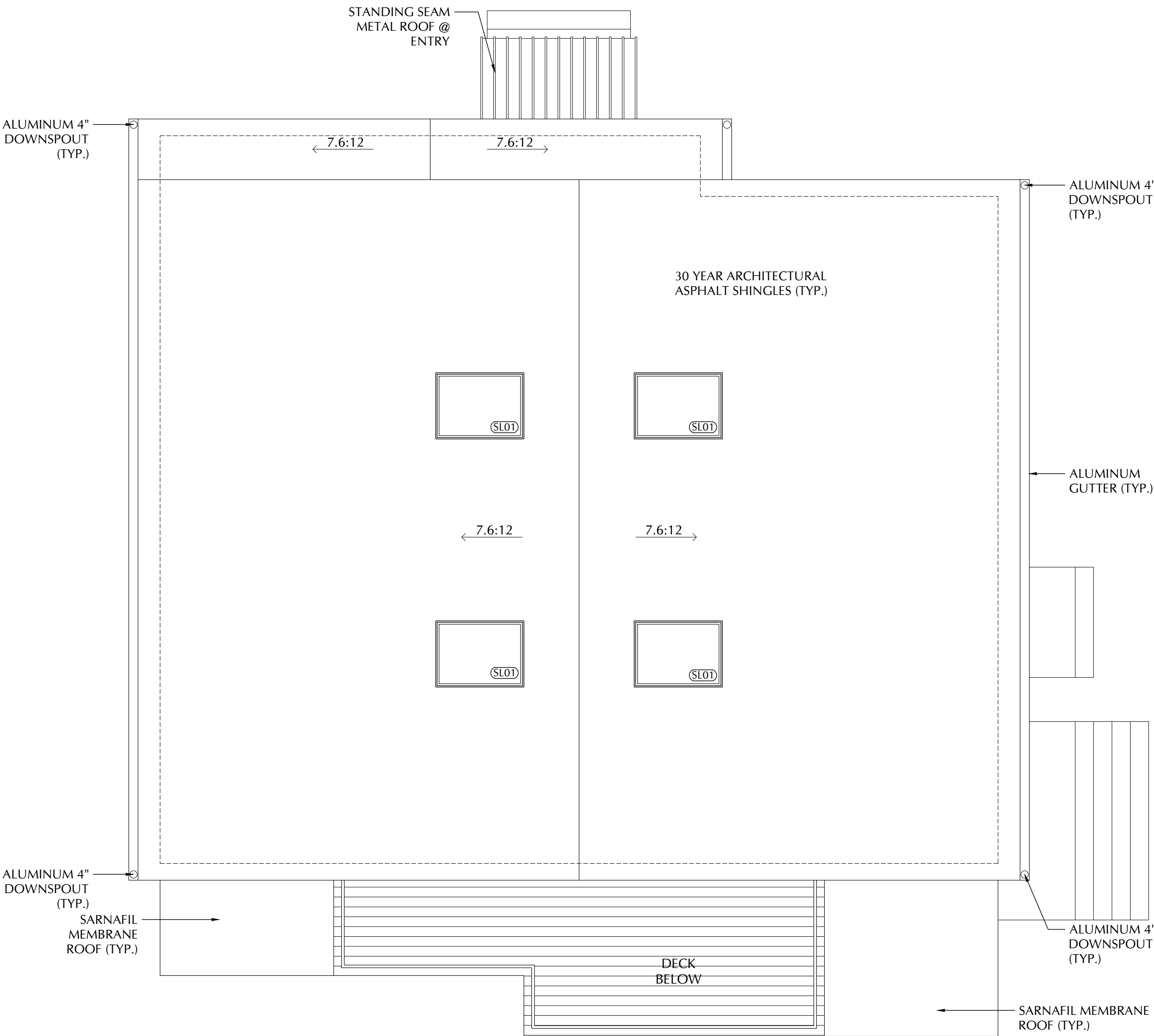
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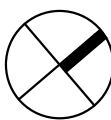
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A-05



1 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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Date: 09/16/2024
Scale: AS NOTED
Drawn: ISP
Checked: ATR

FIRST FLOOR
REFLECTED
CEILING PLAN

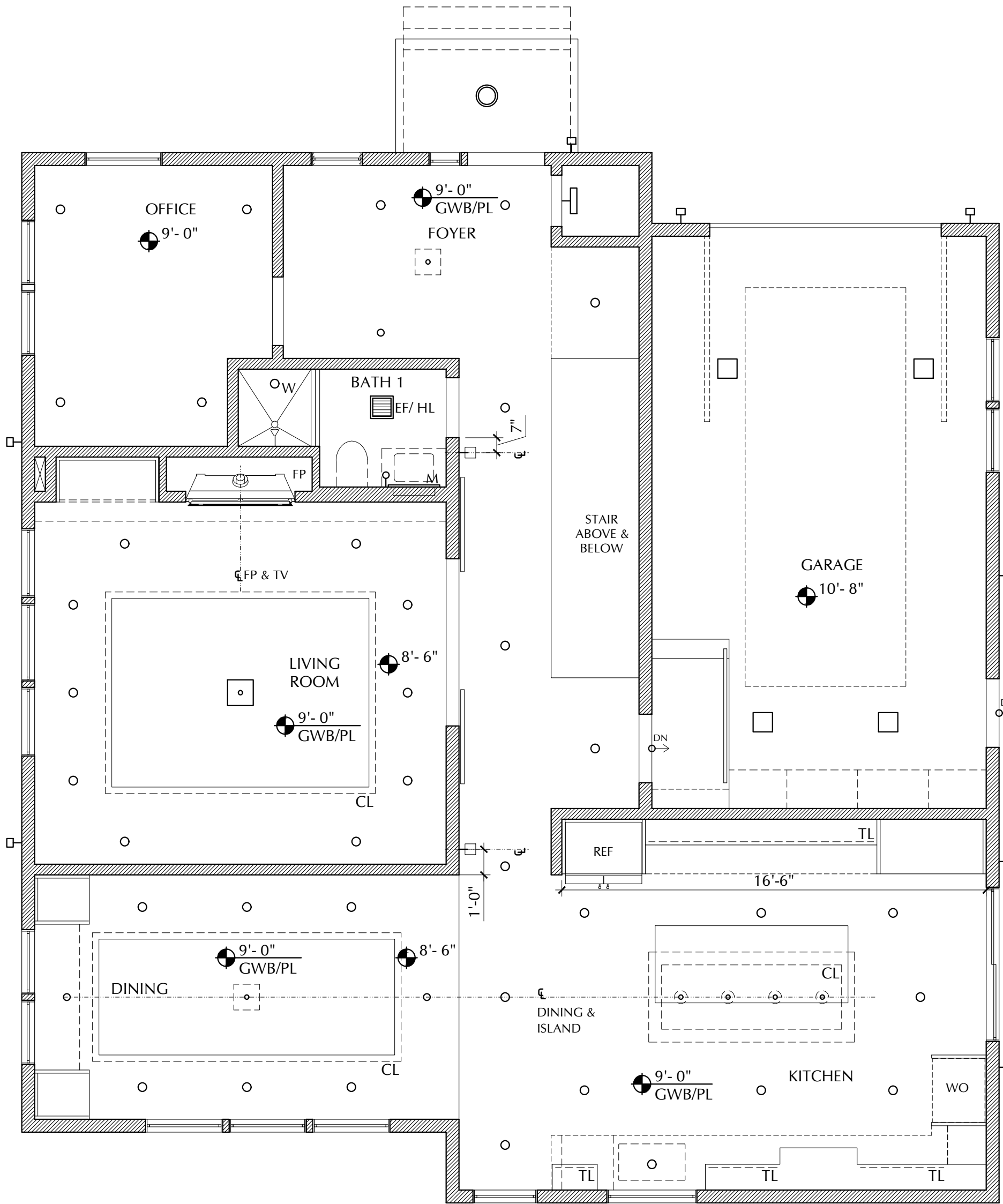
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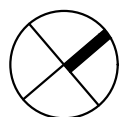
A-06



LEGEND	
	1'x4' SURFACE-MTD LED UTILITY FIXTURE
	GARAGE FIXTURE
	SLIM SURFACE-MTD LED DISC, 3000K
	3" ENTRA CL ADJUSTABLE DOWNLIGHT
	WALL-MTD ADJUSTABLE ARM READING LIGHT
	PENDANT LED, 3000K
	SURFACE -MTD CLOSE TO CEILING PENDANT
	PENDANT
	UNDER CAB. LED TASK LIGHT
	COVE LIGHT
	WALL-MTD EXTERIOR, LED
	SMALL/LARGE AUTOMATIC, LED CLOSET LIGHT MTD ABOVE HEADER
	ILLUMINATED MIRROR ADJUSTABLE TEMP/ DIMMABLE
	WALL-MTD SCNCE
	SURFACE-MTD LED LIGHT (DAMP RATED)
	EXHAUST FAN/HEAT LAMP COMBO
	10"Ø SURFACE-MTD LED DISC
	WALL-MTD LED ADJUSTABLE READING LIGHT, 3000K
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CEILING HEIGHT

1 FIRST FLOOR REFLECTED CEILING PLAN

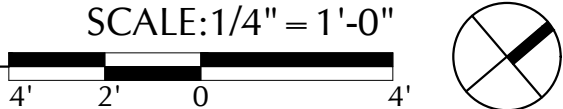
SCALE: 1/4" = 1'-0"





LEGEND	
	1'x4' SURFACE-MTD LED UTILITY FIXTURE
	GARAGE FIXTURE
	SLIM SURFACE-MTD LED DISC, 3000K
	3" ENTRA CL ADJUSTABLE DOWNLIGHT
	WALL-MTD ADJUSTABLE ARM READING LIGHT
	PENDANT LED, 3000K
	SURFACE -MTD CLOSE TO CEILING PENDANT
	PENDANT
	UNDER CAB. LED TASK LIGHT
	COVE LIGHT
	WALL-MTD EXTERIOR, LED
	SMALL/LARGE AUTOMATIC, LED CLOSET LIGHT MTD ABOVE HEADER
	ILLUMINATED MIRROR ADJUSTABLE TEMP/ DIMMABLE
	WALL-MTD SCENCE
	SURFACE-MTD LED LIGHT (DAMP RATED)
	EXHAUST FAN/HEAT LAMP COMBO
	10"Ø SURFACE-MTD LED DISC
	WALL-MTD LED ADJUSTABLE READING LIGHT, 3000K
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CEILING HEIGHT

1 FIRST FLOOR REFLECTED CEILING PLAN



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Date: 09/16/2024
Scale: AS NOTED
Drawn: ISP
Checked: ATR

SECOND FLOOR
REFLECTED
CEILING PLAN



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ATTIC FLOOR
REFLECTED
CEILING PLAN

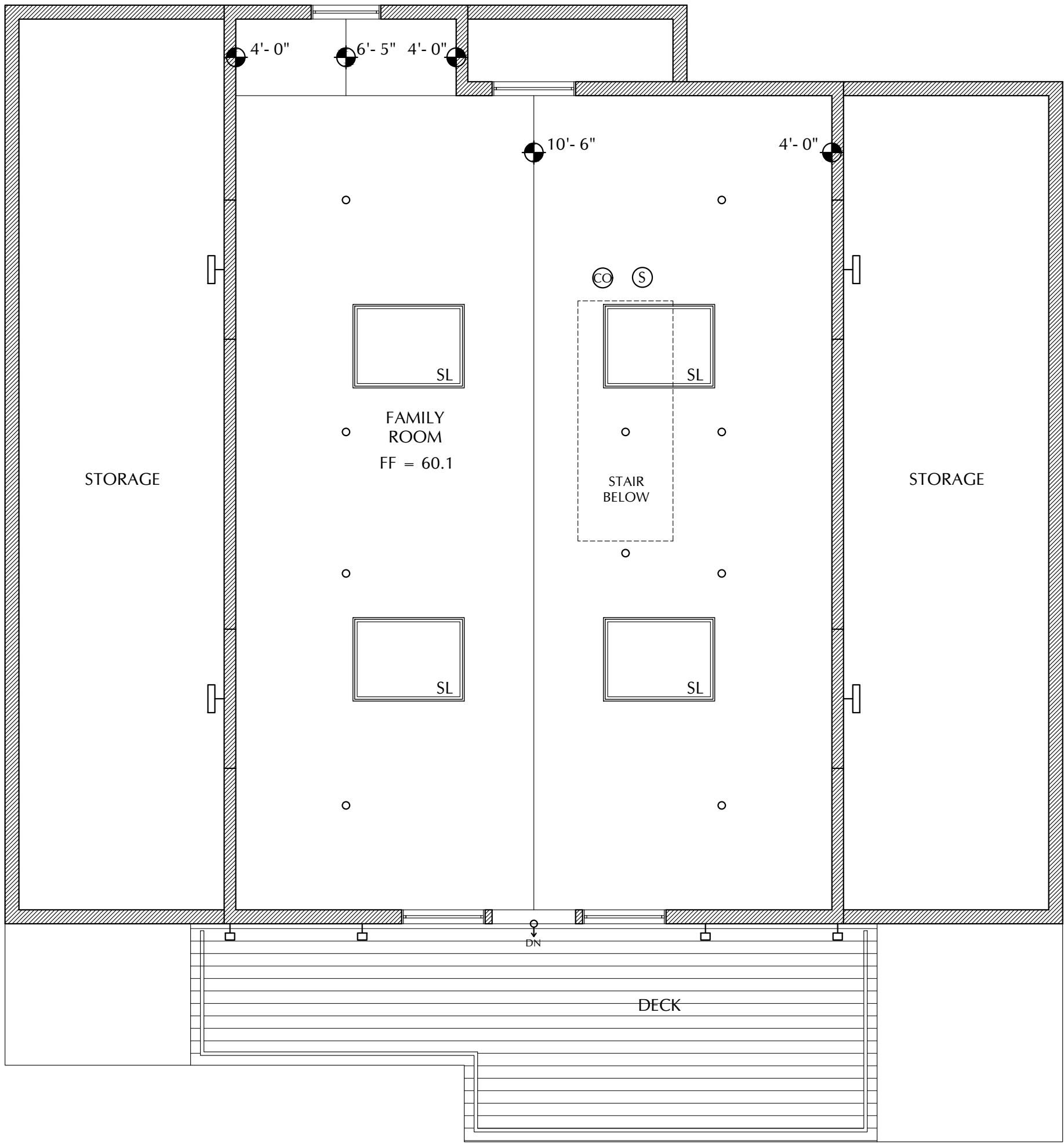
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A-08



LEGEND	
	1'x4' SURFACE-MTD LED UTILITY FIXTURE
	GARAGE FIXTURE
	SLIM SURFACE-MTD LED DISC, 3000K
	3" ENTRA CL ADJUSTABLE DOWNLIGHT
	WALL-MTD ADJUSTABLE ARM READING LIGHT
	PENDANT LED, 3000K
	SURFACE -MTD CLOSE TO CEILING PENDANT
	PENDANT
	UNDER CAB. LED TASK LIGHT
	COVE LIGHT
	WALL-MTD EXTERIOR, LED
	SMALL/LARGE AUTOMATIC, LED CLOSET LIGHT MTD ABOVE HEADER
	ILLUMINATED MIRROR ADJUSTABLE TEMP/ DIMMABLE
	WALL-MTD SCENCE
	SURFACE-MTD LED LIGHT (DAMP RATED)
	EXHAUST FAN/HEAT LAMP COMBO
	10"Ø SURFACE-MTD LED DISC
	WALL-MTD LED ADJUSTABLE READING LIGHT, 3000K
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CEILING HEIGHT

1 ATTIC FLOOR REFLECTED CEILING PLAN

SCALE:1/4" = 1'-0"
4' 2' 0 4'

Job:	2966
Date:	09/16/2024
Scale:	AS NOTED
Drawn:	ISP
Checked:	ATR

BASEMENT
FLOOR
REFLECTED
CEILING PLAN

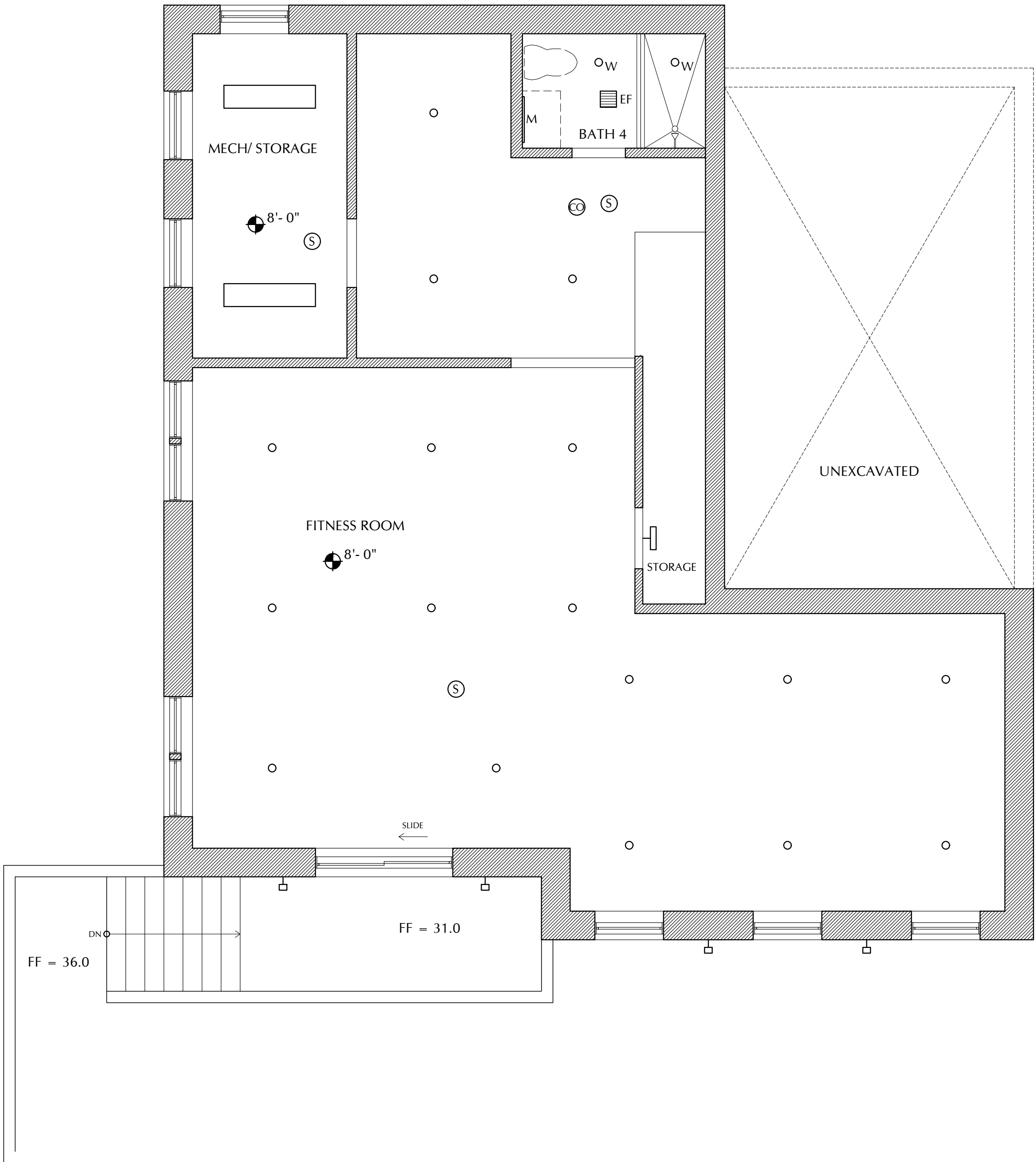
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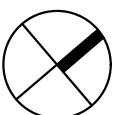
A-09

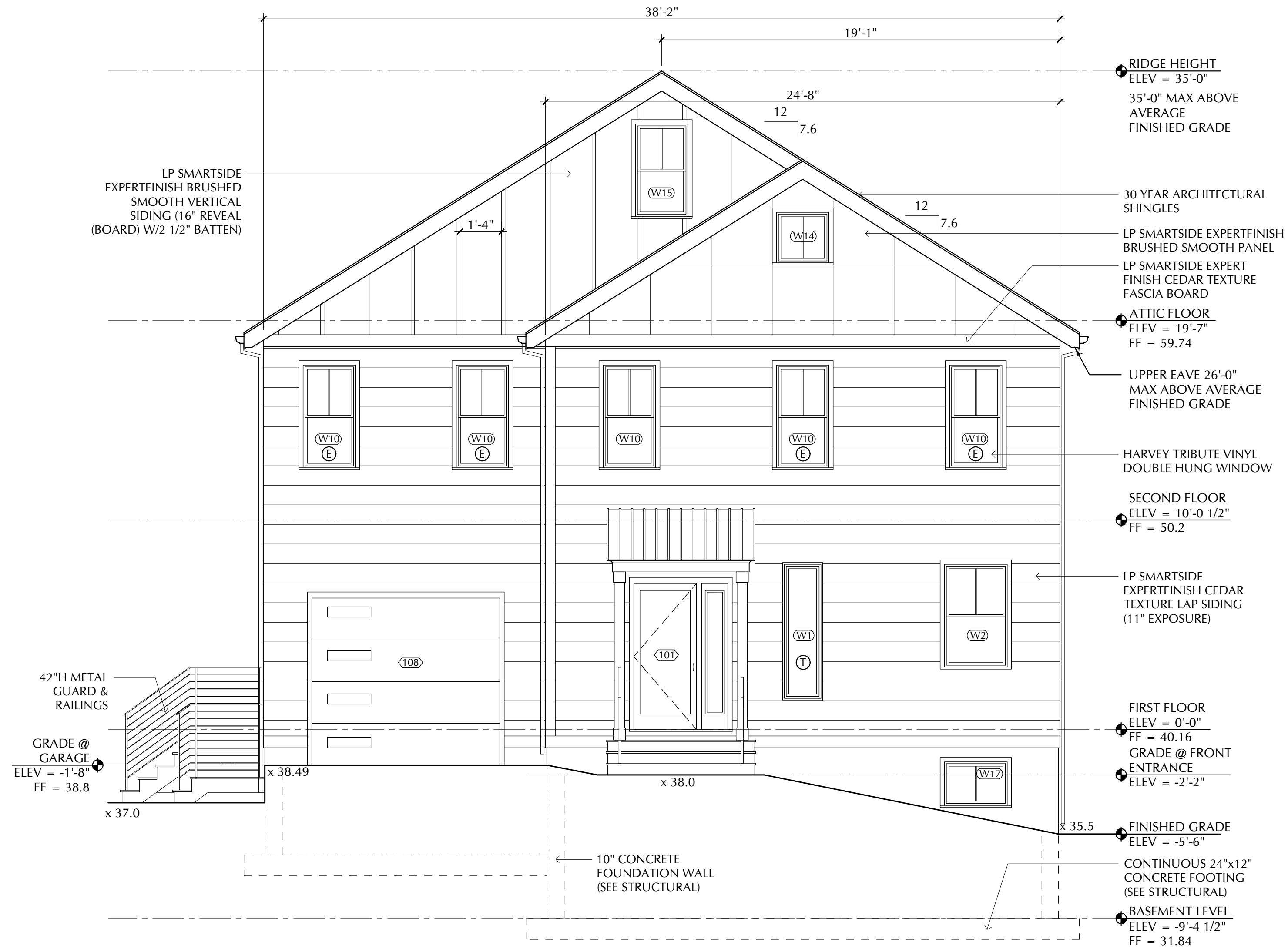


LEGEND	
	1'x4' SURFACE-MTD LED UTILITY FIXTURE
	GARAGE FIXTURE
	SLIM SURFACE-MTD LED DISC, 3000K
	3" ENTRA CL ADJUSTABLE DOWNLIGHT
	WALL-MTD ADJUSTABLE ARM READING LIGHT
	PENDANT LED, 3000K
	SURFACE-MTD CLOSE TO CEILING PENDANT
	PENDANT
	UNDER CAB. LED TASK LIGHT
	COVE LIGHT
	WALL-MTD EXTERIOR, LED
	SMALL/LARGE AUTOMATIC, LED CLOSET LIGHT MTD ABOVE HEADER
	ILLUMINATED MIRROR ADJUSTABLE TEMP/ DIMMABLE
	WALL-MTD SCENCE
	SURFACE-MTD LED LIGHT (DAMP RATED)
	EXHAUST FAN/HEAT LAMP COMBO
	10"Ø SURFACE-MTD LED DISC
	WALL-MTD LED ADJUSTABLE READING LIGHT, 3000K
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CEILING HEIGHT

1 BASEMENT FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"





1 FRONT (WEST) ELEVATION - PILGRIM ROAD

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FRONT (WEST)
ELEVATION -
PILGRIM ROAD



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A-10

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A-11



Job:	2966
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REAR (EAST)
ELEVATION

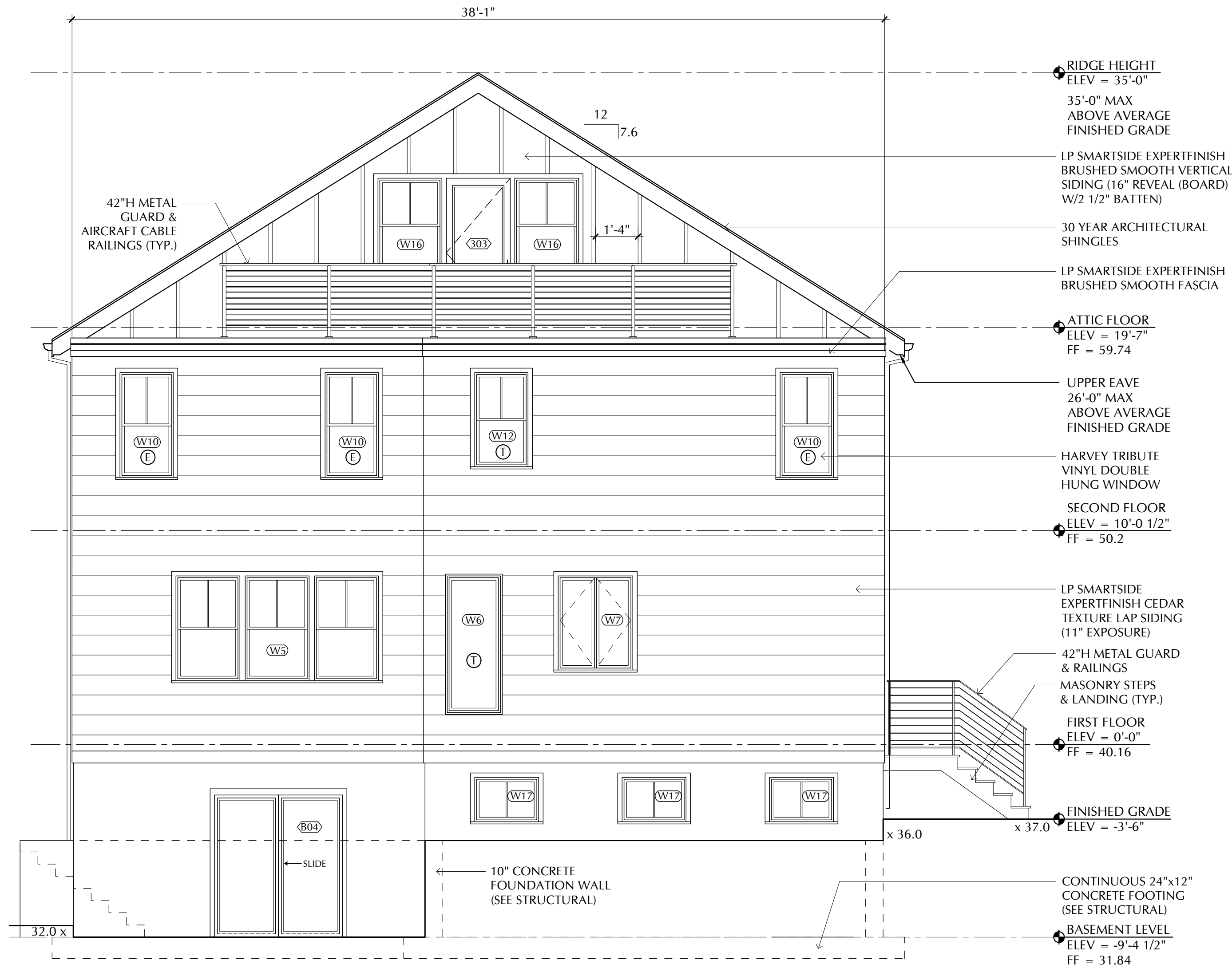
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A-12



1 REAR (EAST) ELEVATION

SCALE: 1/4" = 1'-0"

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SIDE (SOUTH)
ELEVATION



1 SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

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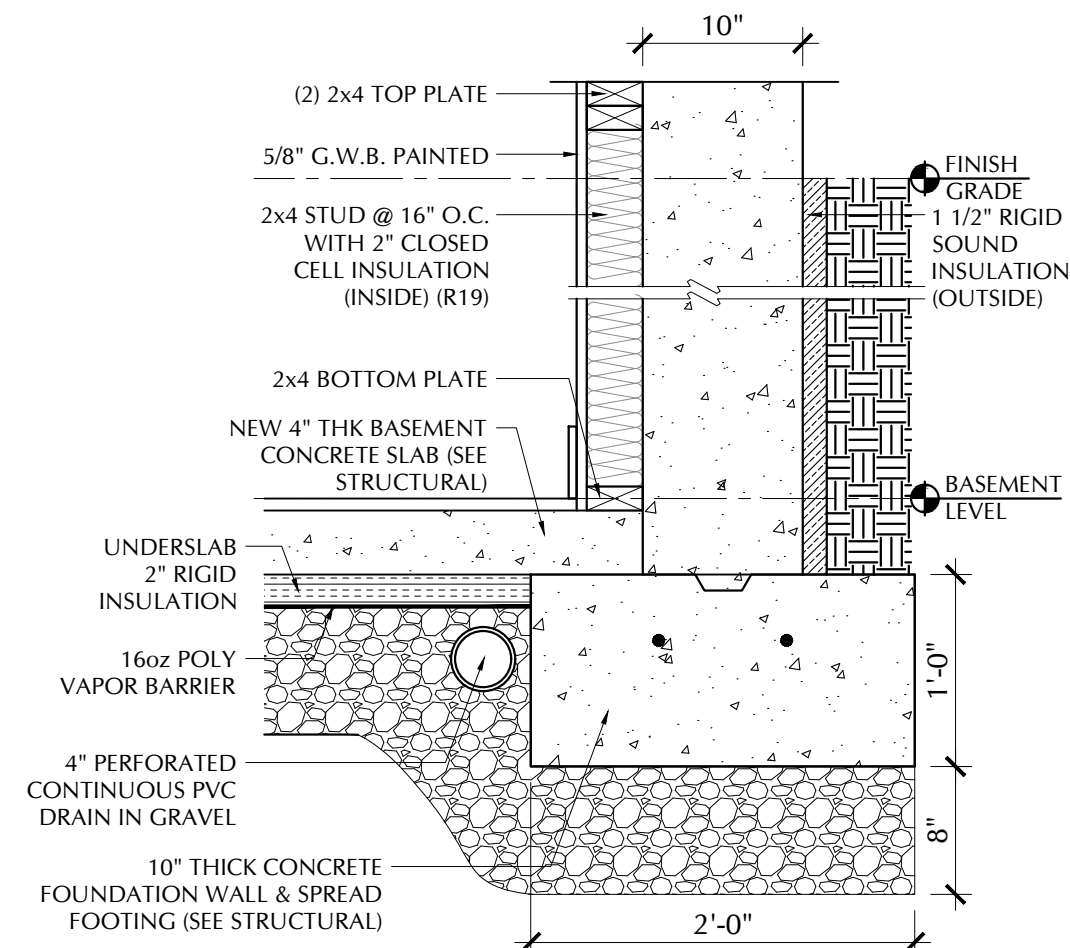
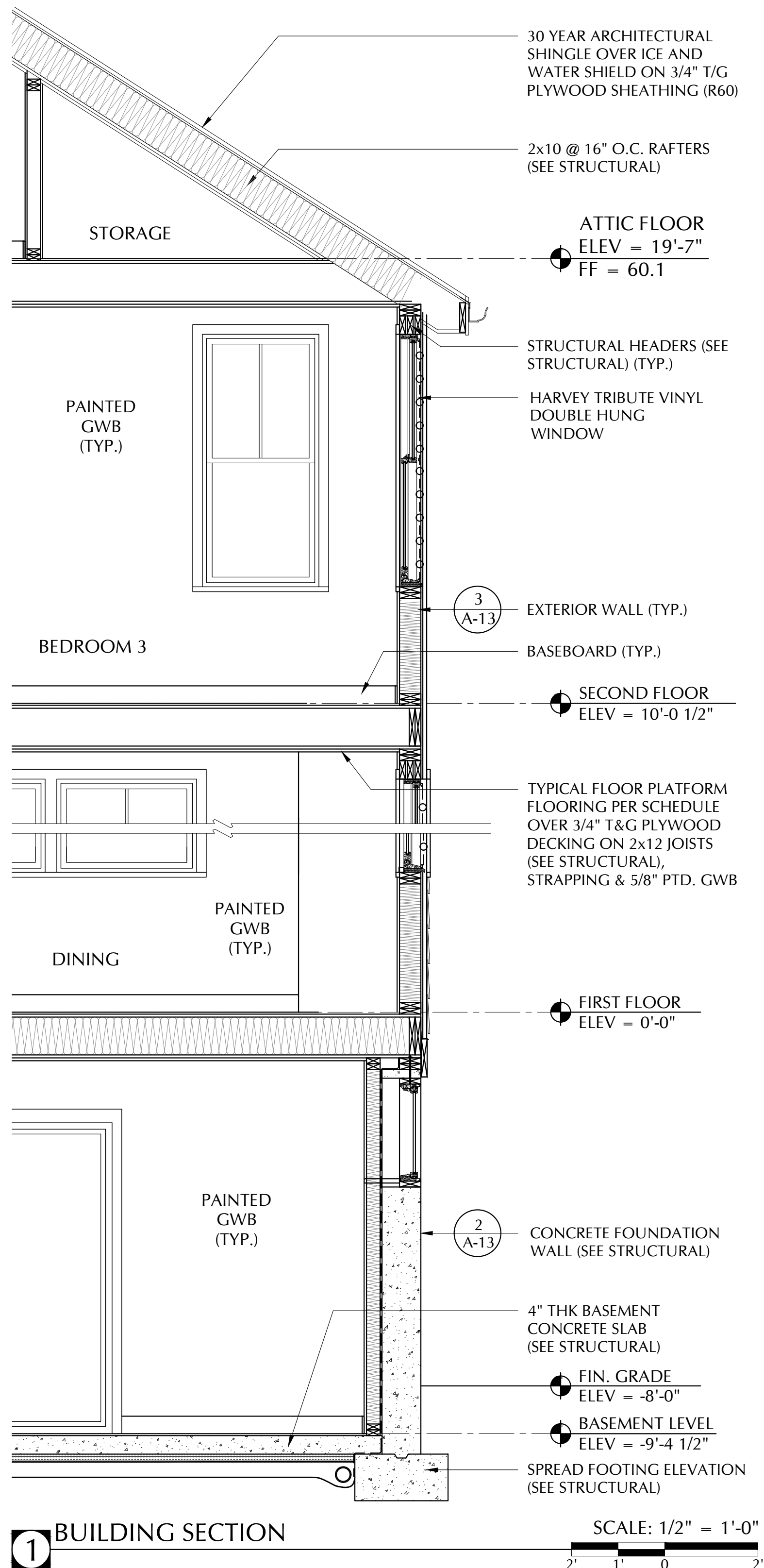
BUILDING SECTION & WINDOW TYPES

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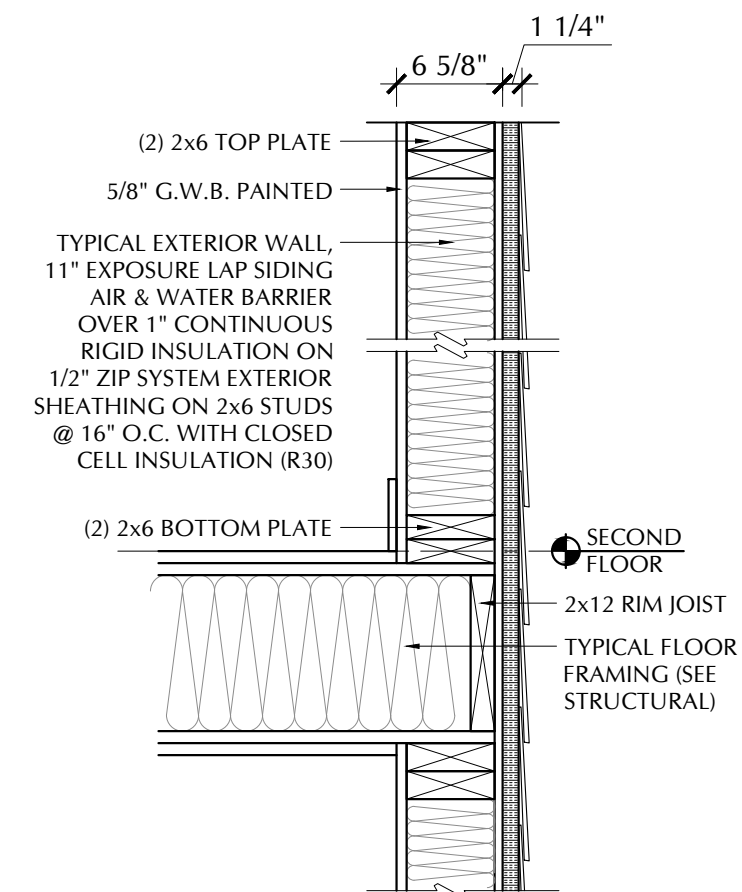
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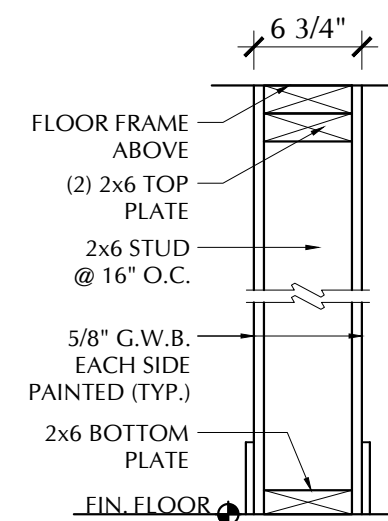
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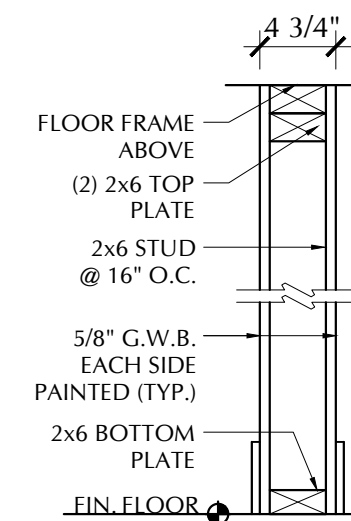
2 EXTERIOR WALL @ BASEMENT LEVEL



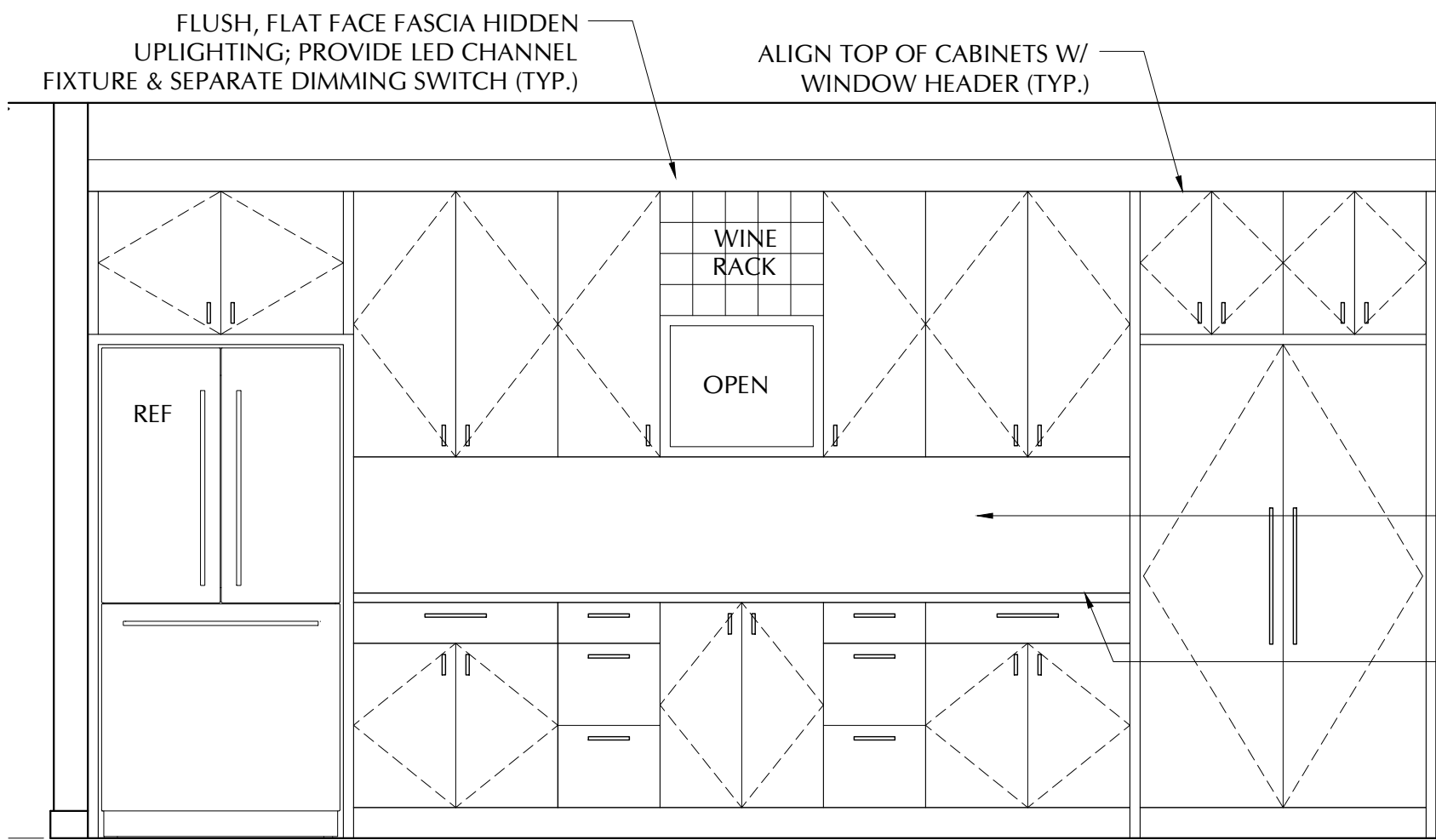
3 TYPICAL EXTERIOR WALL



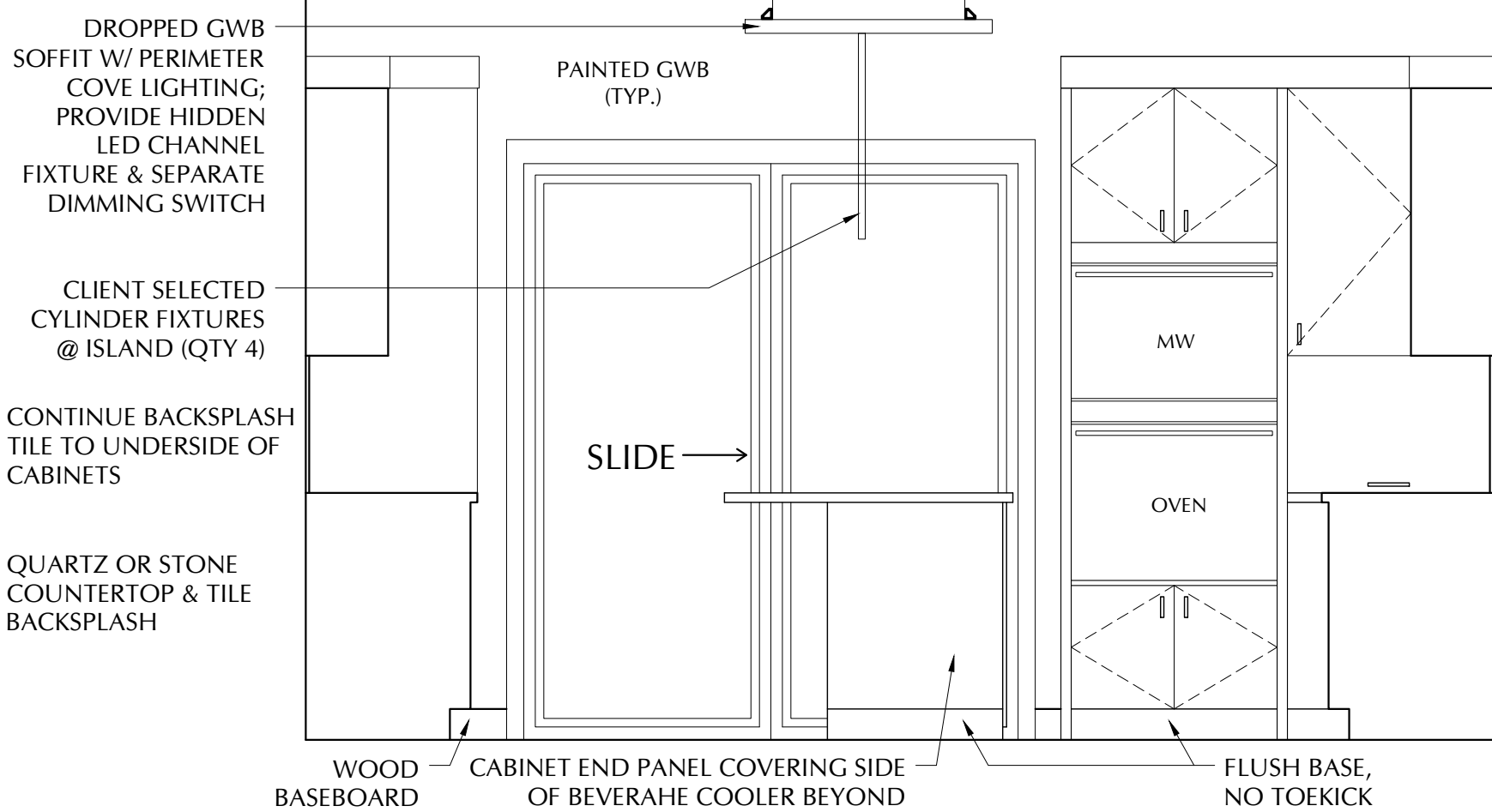
4 TYPICAL INTERIOR PARTITION



5 TYPICAL INTERIOR PARTITION

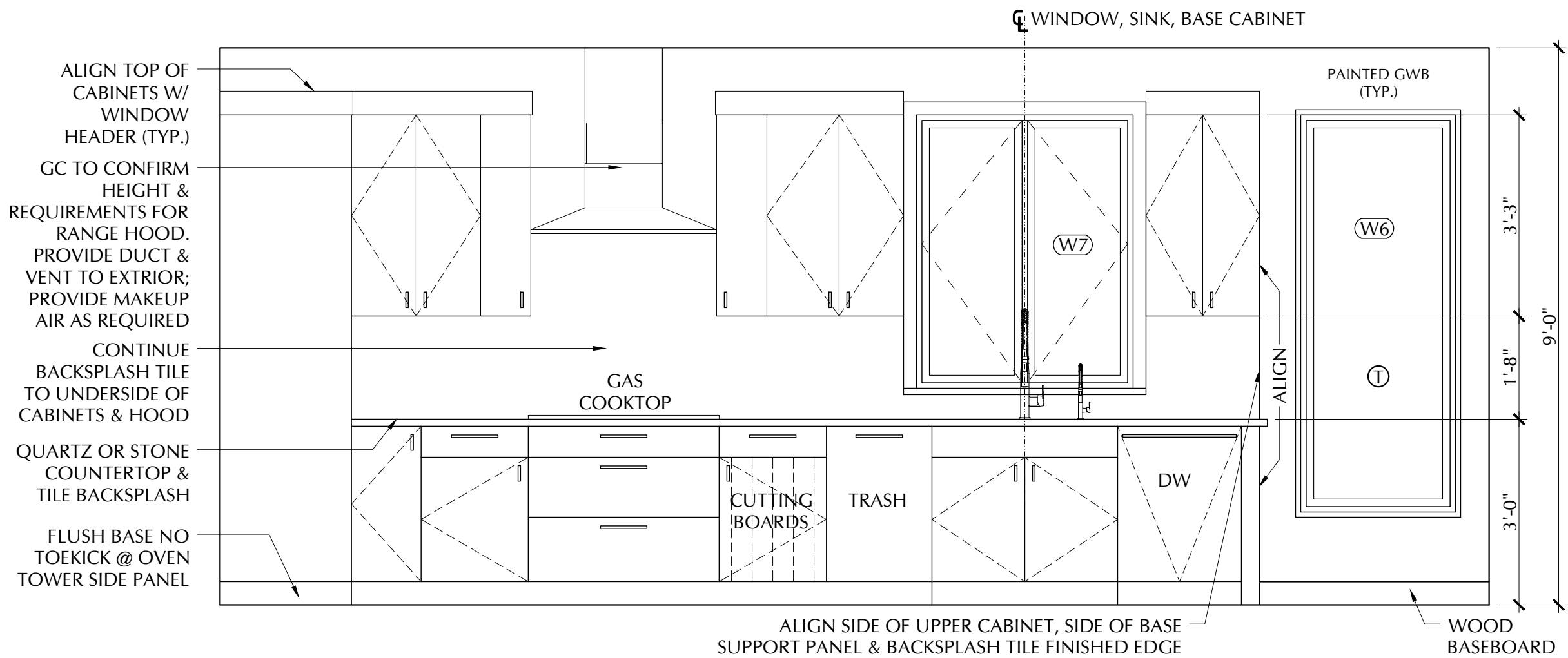


1 REFRIGERATOR/ PANTRY ELEVATION

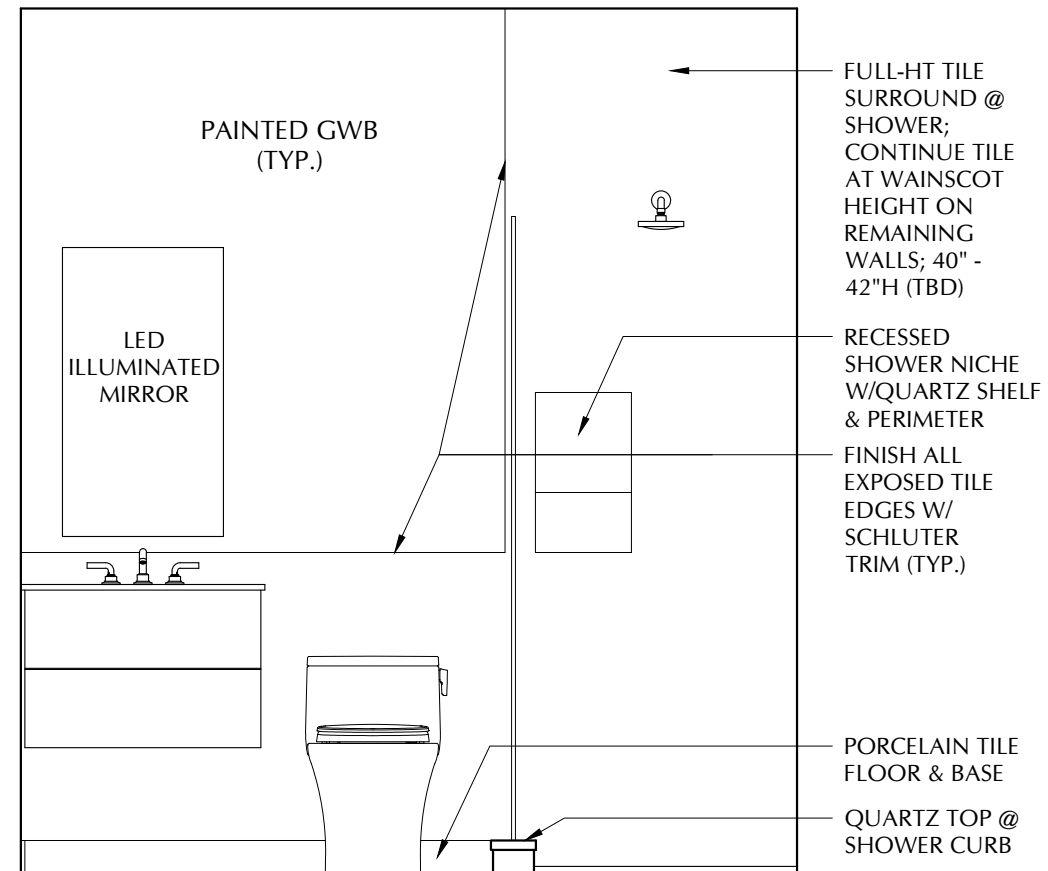


2 ISLAND ELEVATION

- NOTE
- CABINETS, VANITIES, APPLIANCES, PLUMBING FIXTURES ARE SHOWN FOR GENERAL INFORMATION ONLY.
 - FINAL PRODUCTS LAYOUT & LOCATIONS TO BE CONFIRMED WITH CLIENT PRIOR TO WORK.



3 RANGE/ SINK ELEVATION



1 BATH 1 ELEVATION

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Scale: AS NOTED
Drawn: ISP
Checked: ATR

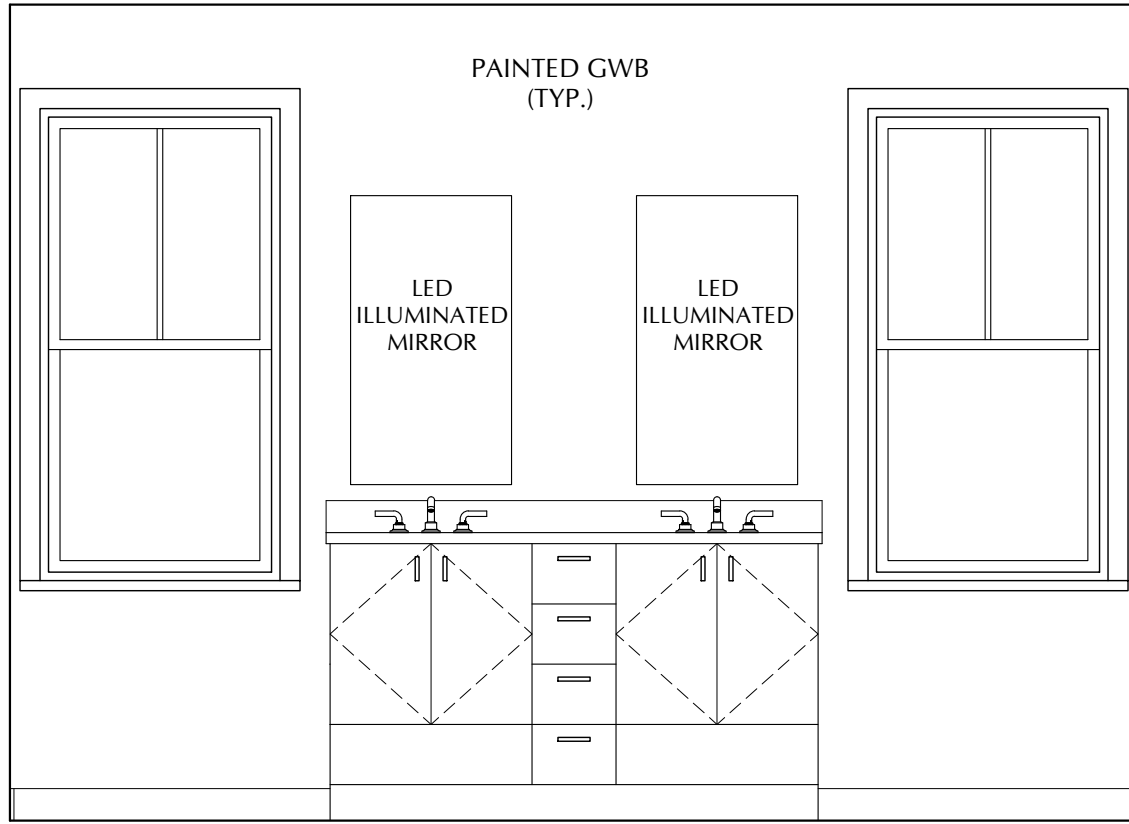
INTERIOR
ELEVATIONS



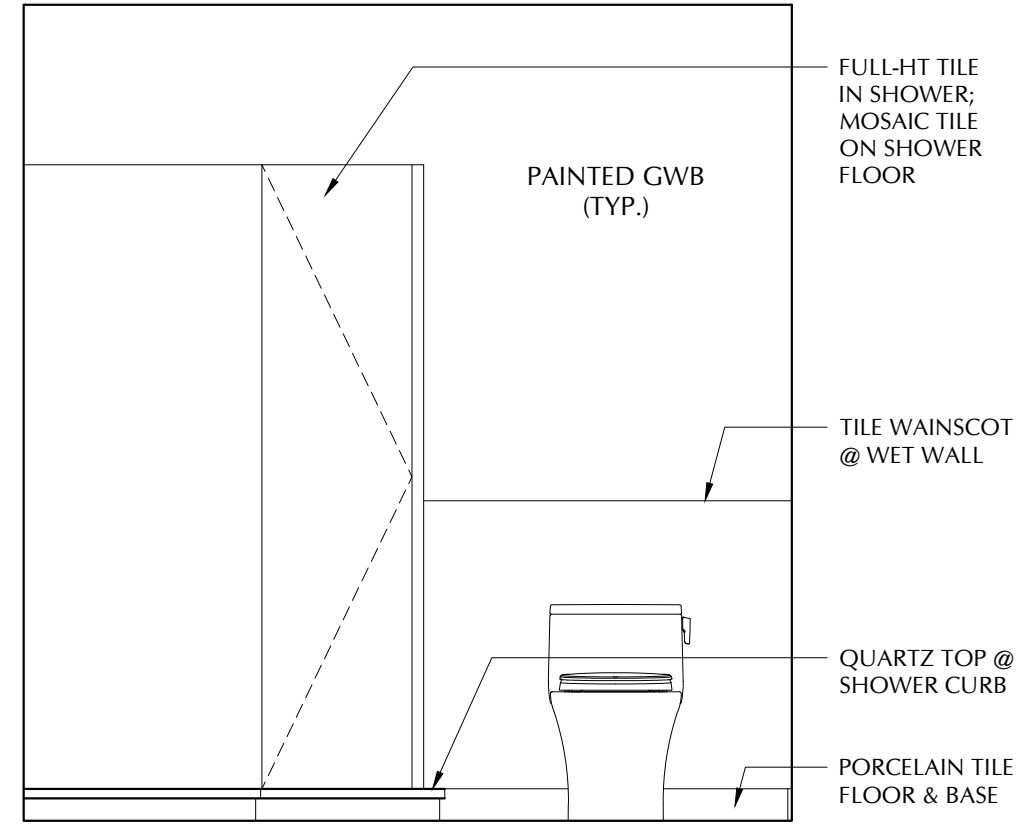
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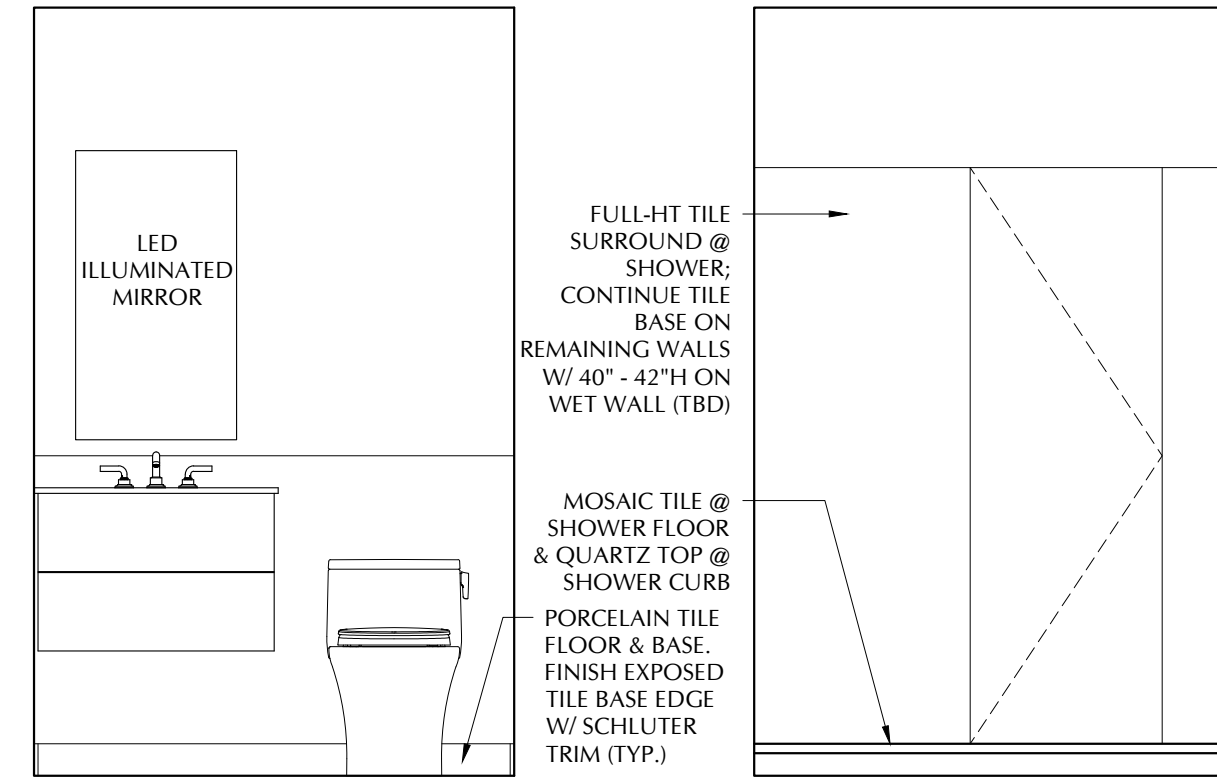
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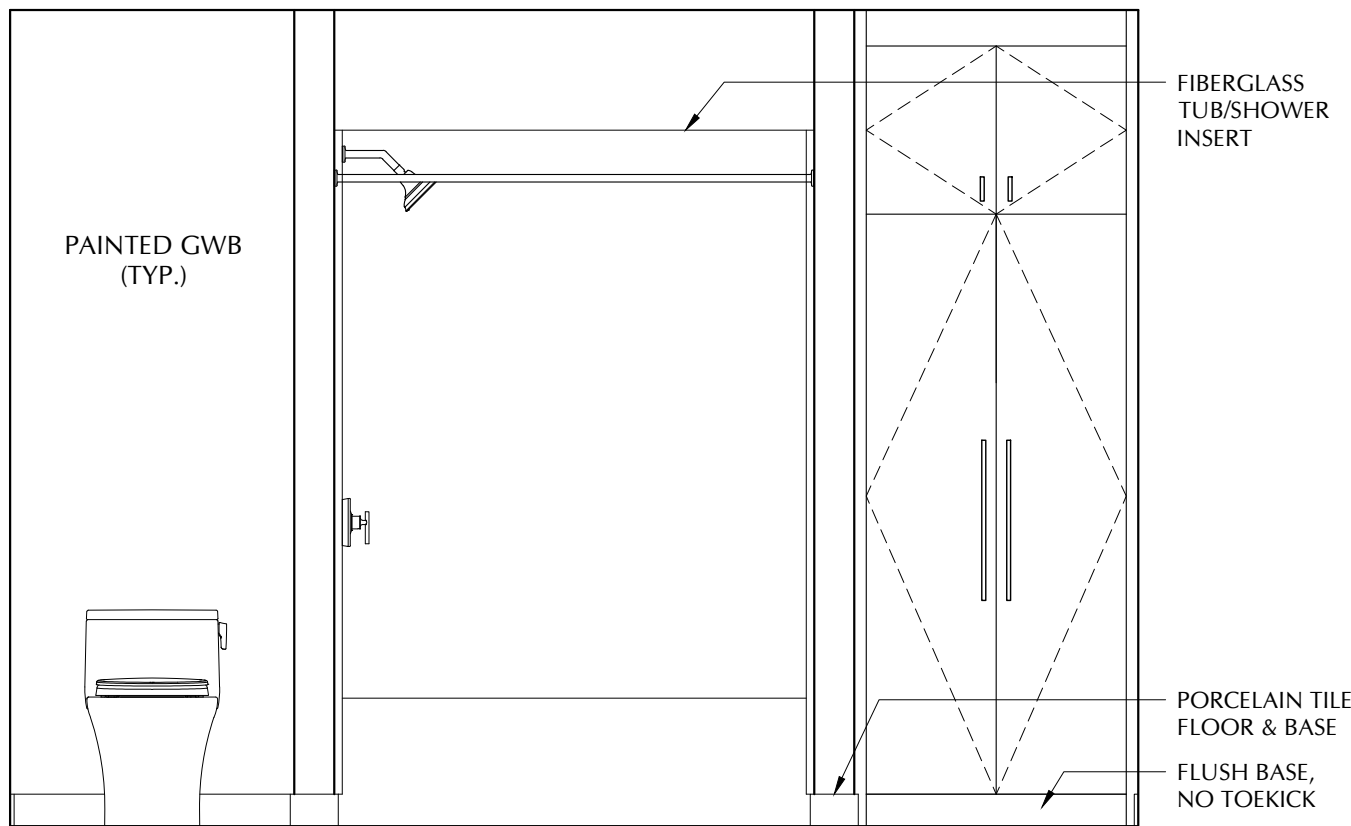
1 BATH 2 VANITY ELEVATION



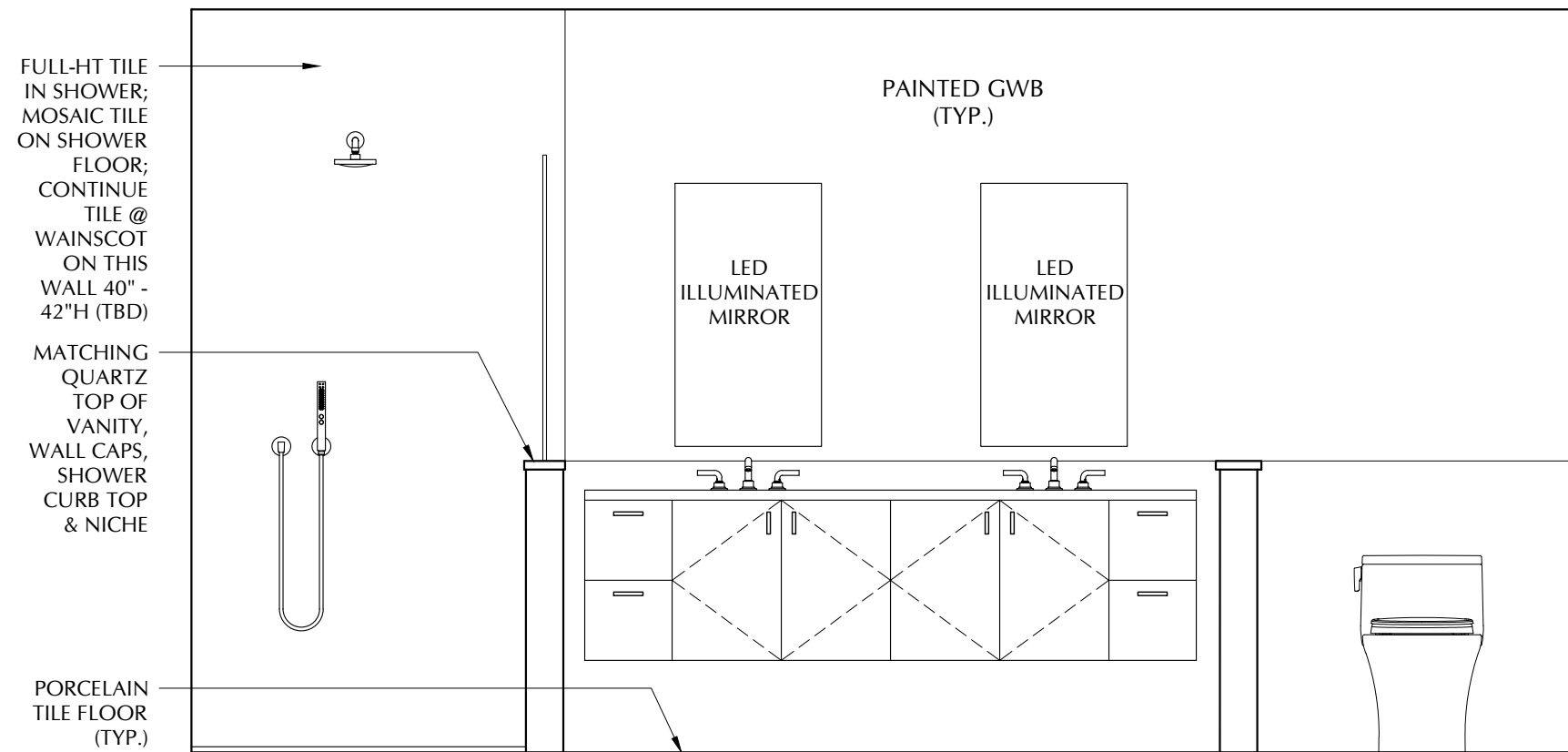
4 BATH 3 SHOWER ELEVATION



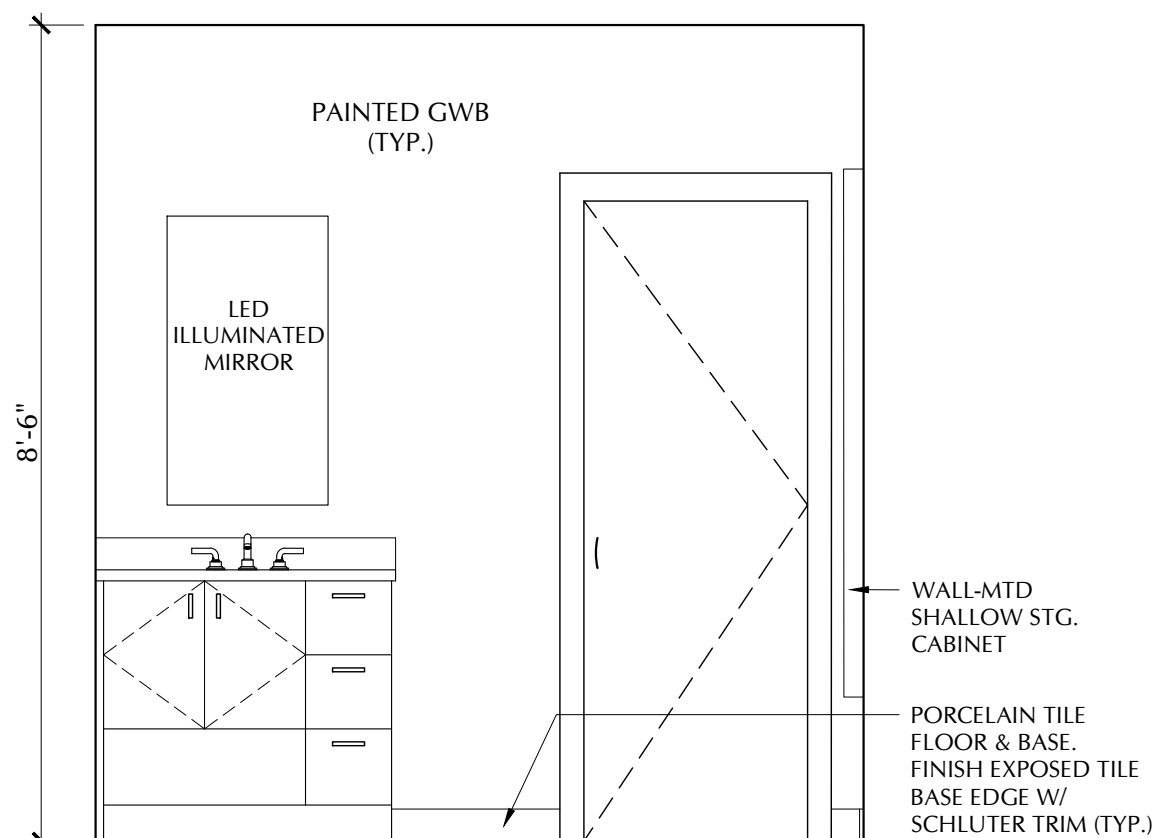
5 BATH 4 VANITY ELEVATIONS



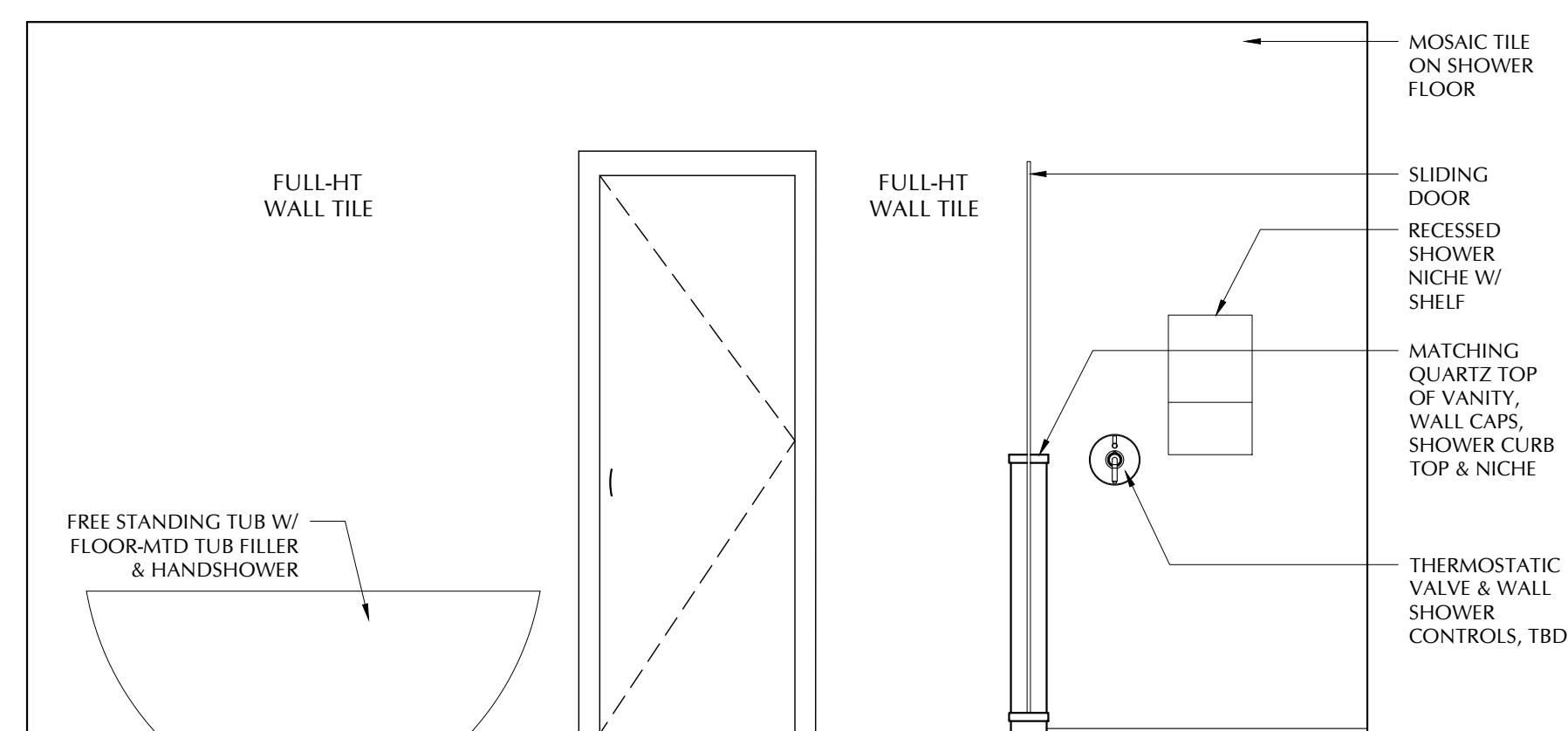
2 BATH 2 TUB ELEVATION



5 MASTER BATH VANITY ELEVATION



3 BATH 3 VANITY ELEVATION



6 MASTER BATH TUB ELEVATION

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Scale: AS NOTED
Drawn: ISP
Checked: ATR

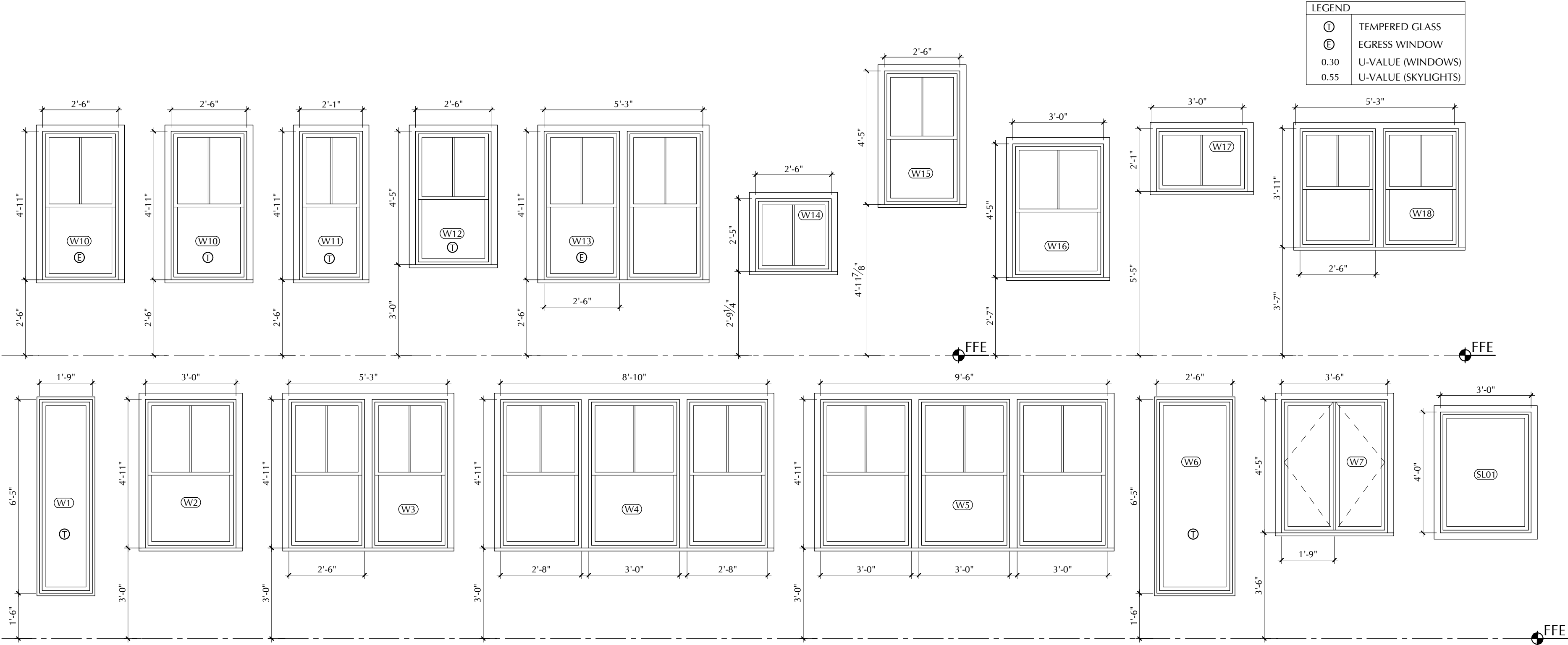
INTERIOR
ELEVATIONS

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2 WINDOW TYPES

44 PILGRIM ROAD, WATERTOWN MA						DOOR SCHEDULE	
RD 2966						07/01/2024	
DOOR TAG #	DOOR OPENING		PANEL		U - FACTOR	COMMENTS	
	Width	Height	Thickness	Material			
BASEMENT							
B01	2'-4"	6'-8"	1 3/4"	Wood	-		
B02	2'-8"	6'-8"	1 3/4"	Wood	-		
B03	3'-0"	6'-8"	1 3/4"	Wood	-		
B04	6'-0"	6'-8"	1 3/4"	Wood	0.40	(2) 3'-0" Sliding Door Panels	
FIRST FLOOR							
101	3'-0"	7'-0"	1 3/4"	Wood	0.40	W/ 1'-3"W Sidelite	
102	2'-0"	7'-0"	1 3/4"	Wood	-		
103	2'-8"	7'-0"	1 3/4"	Wood	-		
104	6'-0"	7'-0"	1 3/4"	Wood	0.40	(2) 3'-0" Sliding Door Panels	
105	6'-6"	7'-0"	1 3/4"	Wood	-	(2) 3'-0" Barn Door Panels	
106	2'-4"	7'-0"	1 3/4"	Wood	-		
107	2'-8"	7'-0"	1 3/4"	Wood	-	W/ 1'-10"W Sidelite	
108	9'-0"	8'-0"	0 3/4"	Wood	-	Garage Panels	
109	2'-8"	7'-0"	1 3/4"	Wood	-		
SECOND FLOOR							
201	2'-6"	7'-0"	1 3/4"	Wood	-		
202	4'-0"	7'-0"	1 3/4"	Wood	-	(2) 2'-0" Door Panels	
203	2'-4"	7'-0"	1 3/4"	Wood	-		
204	3'-6"	7'-0"	1 3/4"	Wood	-	(2) 2'-0" Barn Door Panel	
205	2'-4"	7'-0"	1 3/4"	Wood	-		
206	2'-6"	7'-0"	1 3/4"	Wood	-		
207	4'-8"	7'-0"	1 3/4"	Wood	-	(2) 2'-4" Door Panels	
208	2'-4"	7'-0"	1 3/4"	Wood	-		
209	3'-0"	7'-0"	1 3/4"	Wood	-	(2) 1'-6" Door Panels	
210	2'-6"	7'-0"	1 3/4"	Wood	-		
211	2'-4"	7'-0"	1 3/4"	Wood	-		
212	3'-0"	7'-0"	0 3/4"	Wood	-	(2) 1'-9" Barn Door Panel	
213	2'-6"	7'-0"	1 3/4"	Wood	-		
ATTIC LEVEL							
301	5'-0"	3'-6"	1 3/4"	Wood	-	(2) 2'-6" Door Panels - Low Access	
302	5'-0"	3'-6"	1 3/4"	Wood	-	(2) 2'-6" Door Panels - Low Access	
303	3'-0"	6'-8"	1 3/4"	Wood	0.40	Glass Outswing Door	
304	5'-0"	3'-6"	2 3/4"	Wood	-	(2) 2'-6" Door Panels - Low Access	
305	5'-0"	3'-6"	3 3/4"	Wood	-	(2) 2'-6" Door Panels - Low Access	

44
PILGRIM ROAD
WATERTOWN MA
02472

PERMIT SET

Job: 2966
Date: 09/16/2024
Scale: AS NOTED
Drawn: ISP
Checked: ATR

WINDOW
TYPES & DOOR
SCHEDULE



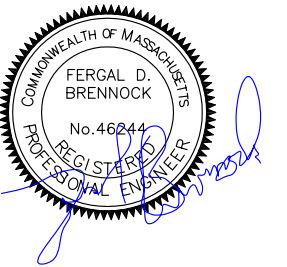
Rojas Design, Inc.
Architecture
46 Waltham Street -
Suite 2A
Interior Design
Boston MA 02118
Landscape Architecture
(617) 720-4100

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A-18

FOUNDATION PLAN & NOTES



Fergal Brennock, PE
Structural Engineer
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(617) 828-0376

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Boston, MA 02118
Landscape Architecture
(617) 720-4100

Rojas

S-0

24"x12" Cont. Concrete Footing
with 10" Concrete Wall, Typ.

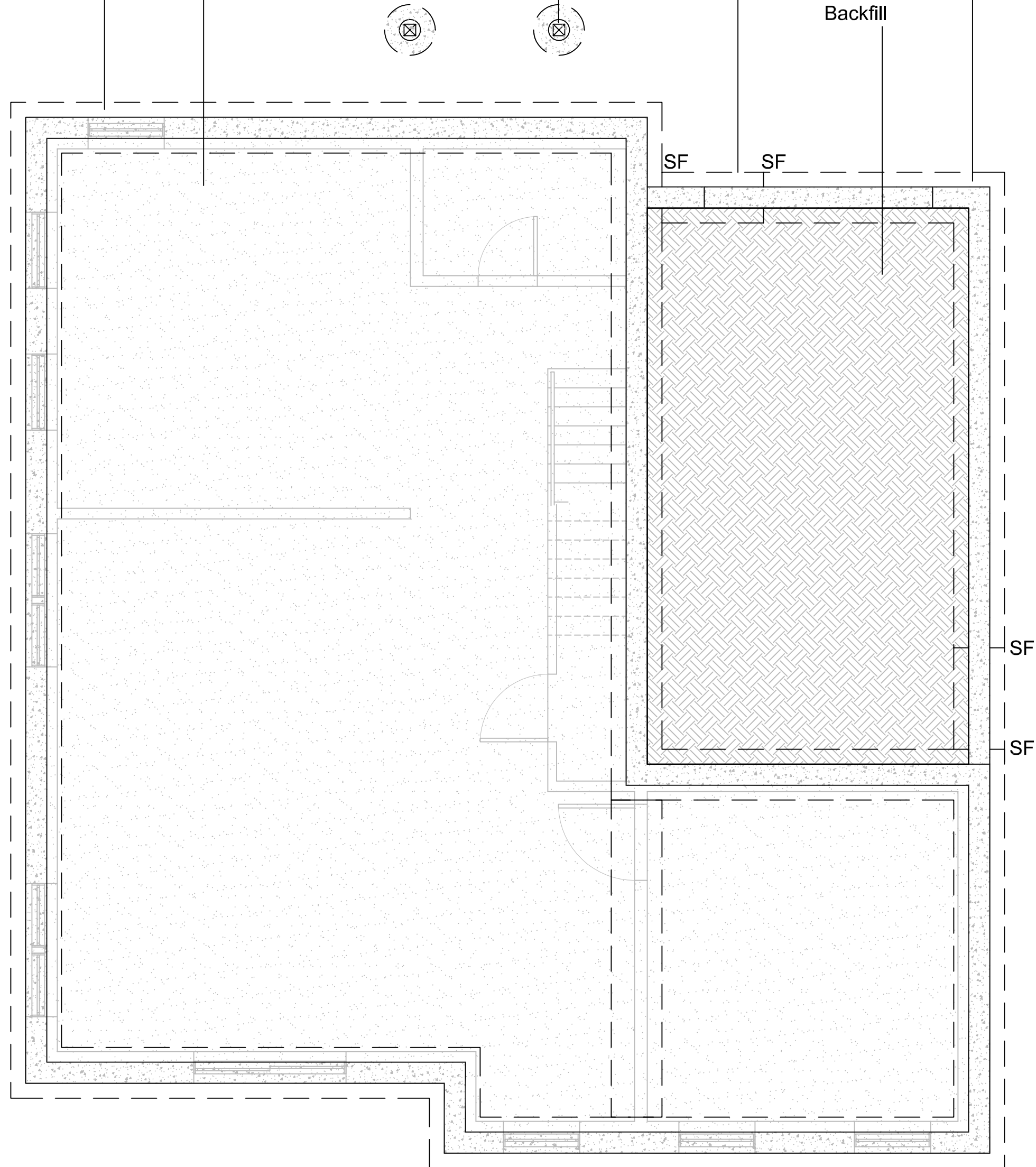
4" Concrete Slab with
WWF mid depth, 10Mil VB

10" Sonotube with
BF24 Footings
4' Below FG

Step
Footing
Typ. (SF)

24"x12" Cont. Concrete Footing
with 10" Concrete Wall, Typ.
at Garage, BOF 4' Below FG

Compacted
Backfill



NOTES:

1. Structural drawing for permit purposes only and to be read in conjunction with all other permit documents.
2. Dimensions and conditions to be field verified.
3. Refer to Architecturals for Dimensions and Elevations
4. All work to IRC 2015, 9th Edition Mass Building Code

Loading:

1. Roof - Snow Loading Zone 2: 40psf
2. Floors - 40psf (Bedroom 30psf)
3. Deck - 40psf
4. Dead Load - 10psf
5. Wind - Zone 3, Exposure B, Vult 127mph
6. Seismic Wood Framed - Group II, Category C
7. Basic Structural System - Loadbearing Wall System

Concrete:

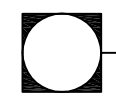
1. Per ACI Standards, Min 3000 PSI
2. Reinforcement per ASTM A615 Grade 60 (deformed)
3. Footings: 3-#5 Long, #4@18" Short with #4 Wall Dowels 16"x48"
4. Walls: #4@18" Horizontal & Vertical to match Dowels

Steel:

1. All work to AISC Steel Manual 14th Edition

Lumber:

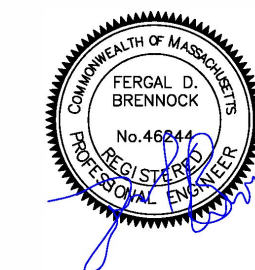
1. UNO all timber joists, rafters, studs, lintels and plates to be S.P.F. No.1/No.2 or better with Fb=875psi, Fv=135psi, E=1,400,000psi
2. Framing exposed to weather: min Southern Pine PT #2
3. Provide min double jack studs and one full height studs under all headers or beams
4. Double 2x8 Headers over all openings up to 6'
5. Double 2x10 Headers over all openings up to 7'-6"
6. All flush connections to have beam or joist hangers
All Joist Hangers to be LU28 Unless Noted Otherwise
6. LVL's, min of Fb=2800psi, Fv=285psi, E=2,000,000psi
7. Boise Cascade Versa Lam(VL) composite beams or equiv.
Floor Joists 2x10@16" o/c UNO, bridging at spans >8'
8. 1/2" Plywood sheathing at exterior walls for bracing with 2x6 blocking at horizontal joints
9. Min $\frac{5}{8}"$ Plywood Roof sheathing. 2x12 Stringers, 6" min cut.
10. Double top and bottom plate on loadbearing walls (LBW)
11. PD (Post Down & PU (Post Up) to be 4x4 posts typical
12. Exterior walls 2x6 Framing typical

 **FOUNDATION
PLAN & NOTES**

4' 2' 0 4'



FIRST FLOOR &
SECOND FLOOR
FRAMING PLANS



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Rojas

S-1

11.875/TJI560@12" O/C Typ.
Double Where Shown

2x8PT Entry Framing
2x12PT Stringers
6x6PT Posts
ABU66Z Standoff Bases

2x10@12 O/C Typ.

6" Concrete Slab pitched to Door
WWF Mid Depth, 10Mil VB
Sawcut Slab, 10' Max

11.875/TJI230@12" O/C Typ.
Double Where Shown

2x8 Roof Framing
with Ledger at Wall

2x10@16 O/C Typ.

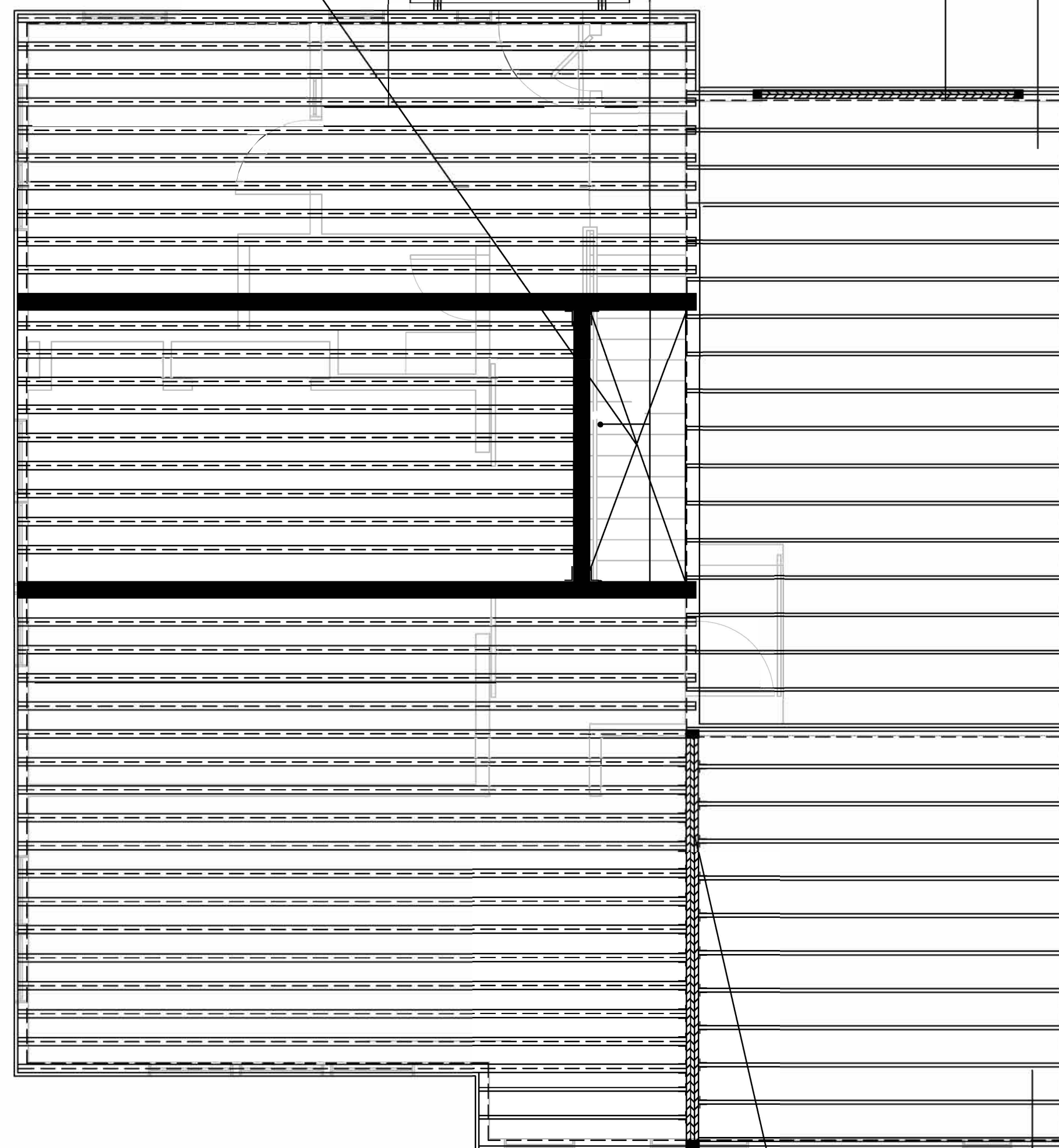
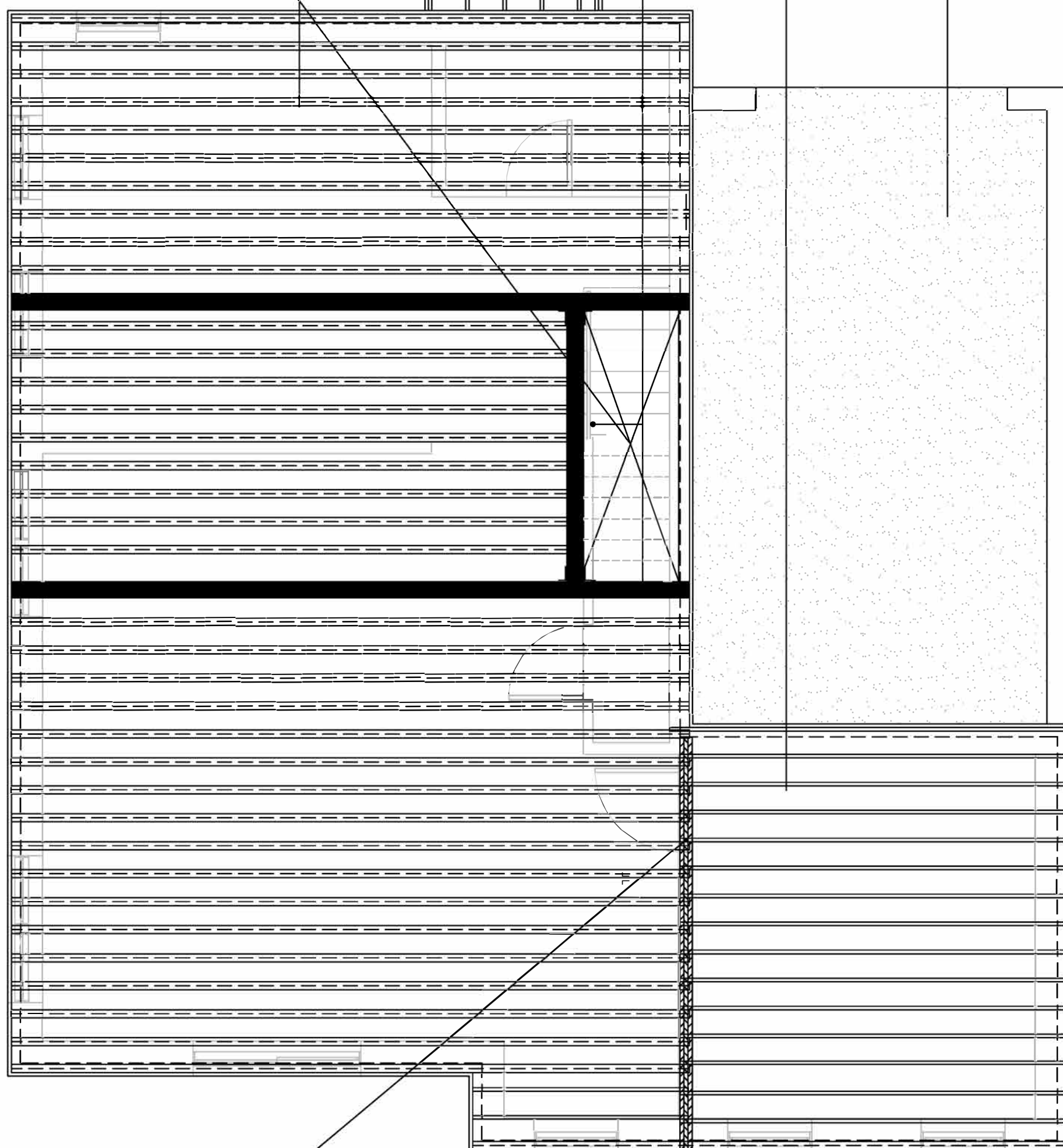
2-1.75x11.875LVL Header &
Trimmer at Stair Opening per
View Rail Mono Stair System
Spec to be provided prior to
framing commencement

B7.12/11.88
Hanger

2-1.75x11.875LVL Header &
Trimmer at Stair Opening per
View Rail Mono Stair System
Spec to be provided prior to
framing commencement

MIT3511.88-2
Hanger

2-2x10LVL
Header



3-1.75x11.875LVL with
2-3/8" Flitch Plates OR
4-1.75x11.875LVL OR
Load Bearing Wall with 12"
Haunched Slab in Basement



FIRST FLOOR & SECOND FLOOR
FRAMING PLANS



3-1.75x11.875LVL
Flush Framed
Hangers U210 at KD
ITS2.37/11.88 at TJI

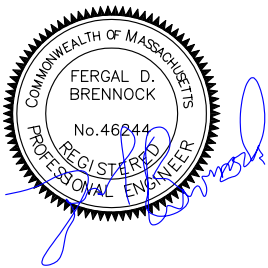
2x12@16 O/C Typ.

PERMIT SET

SCALE 1/4"= 1'-0"

JUNE 20, 2024

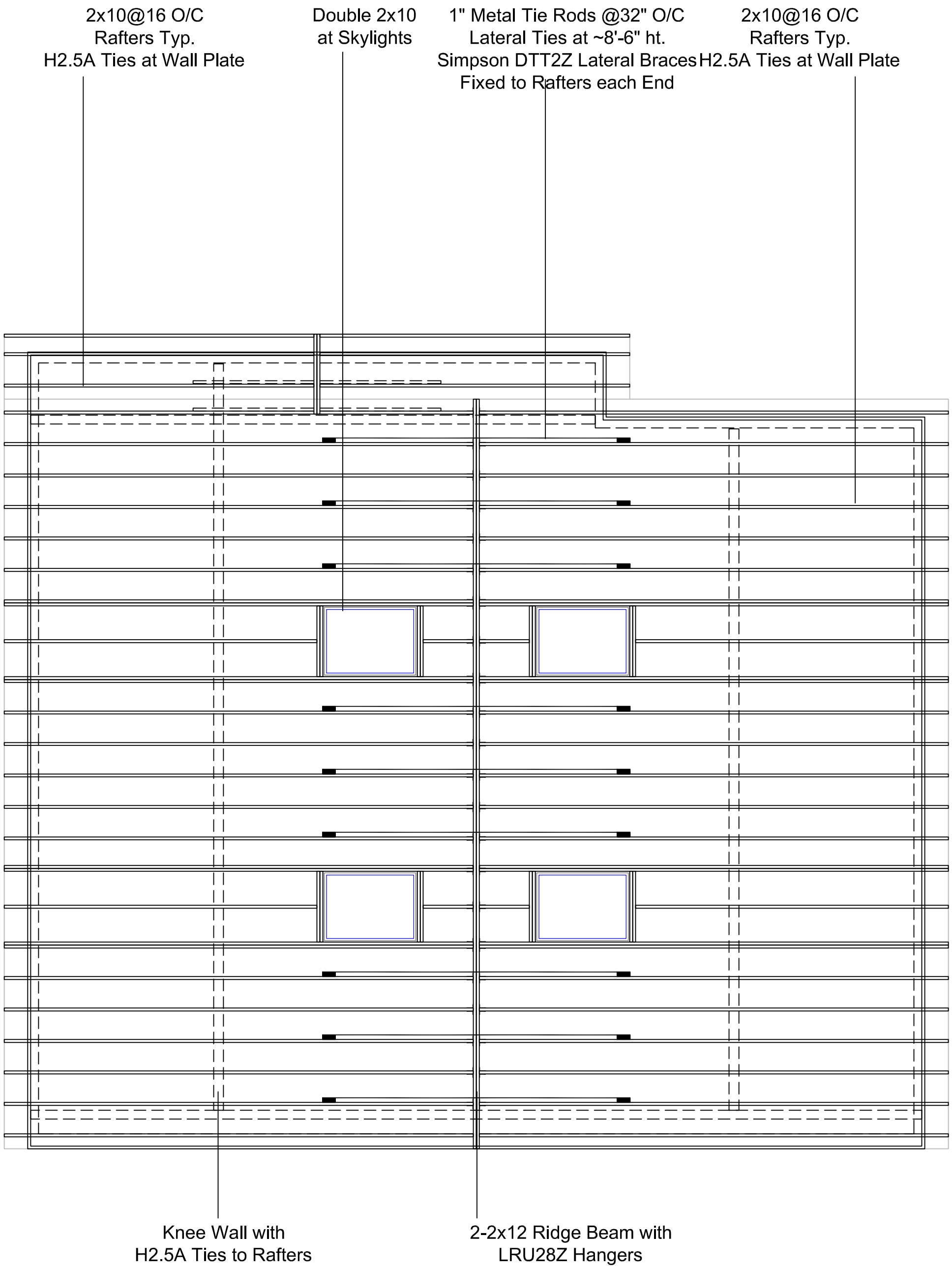
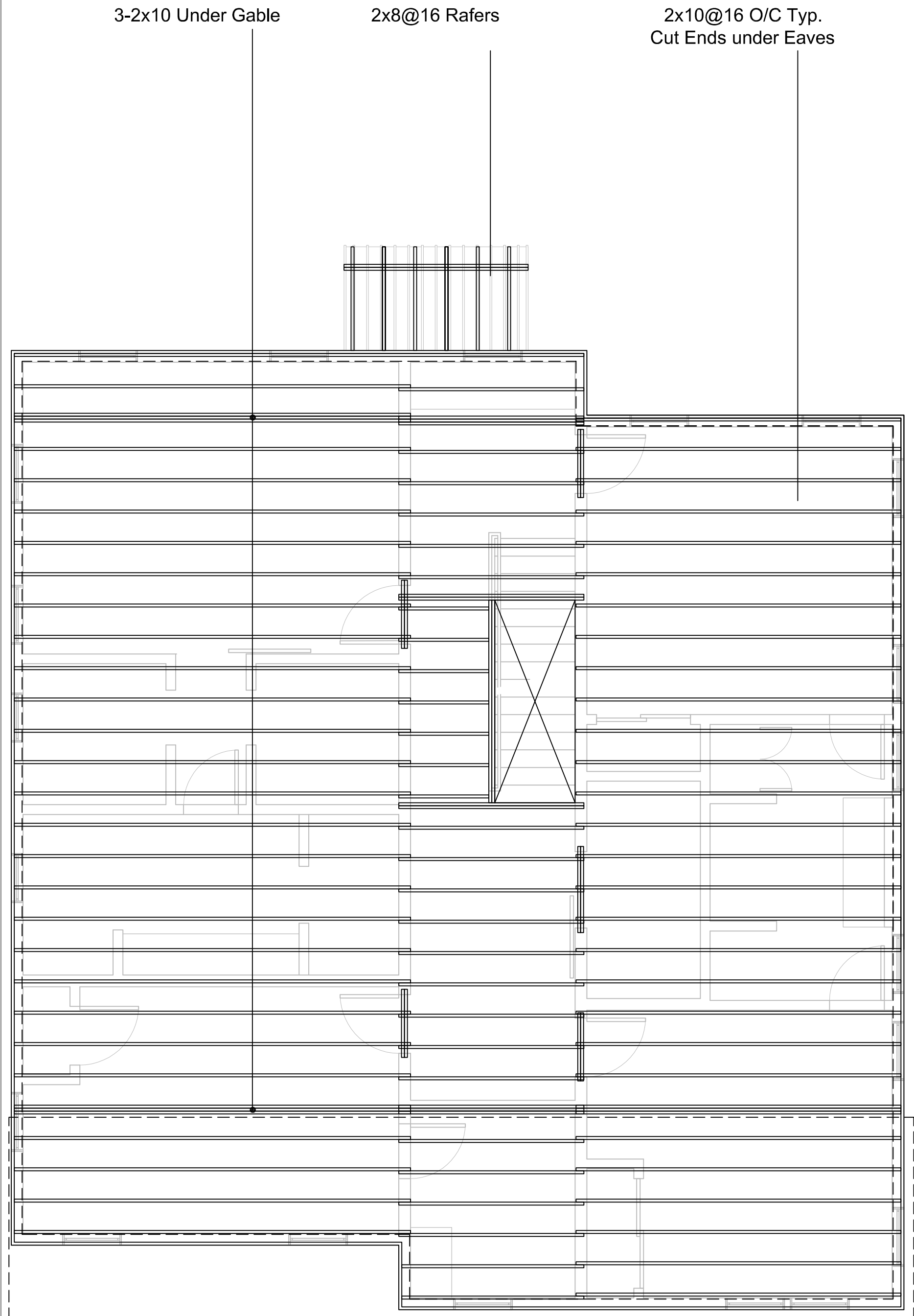
ATTIC FLOOR &
ROOF FRAMING
PLANS



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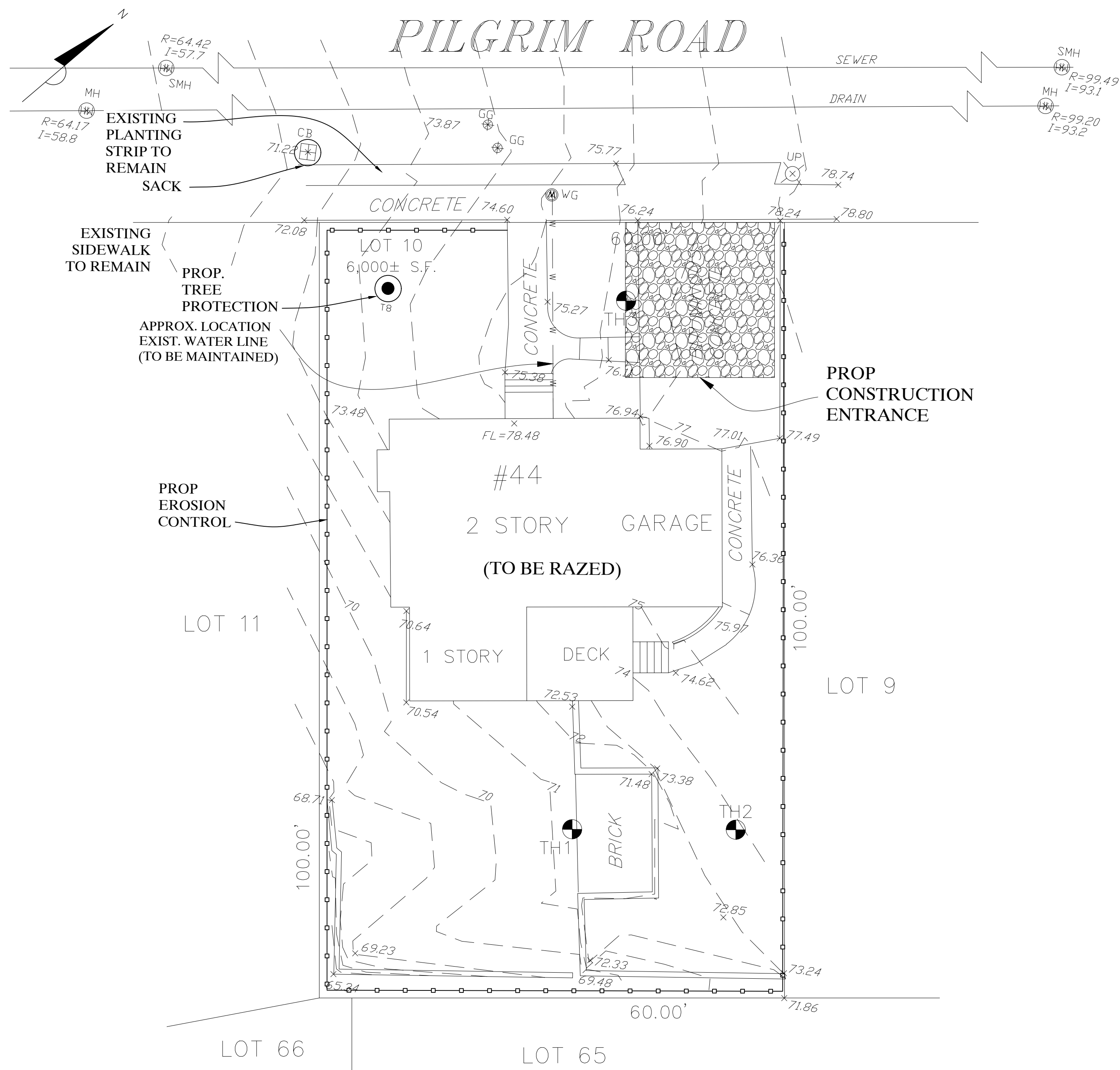
2x10@16 Flat Rafters
at Low Roof

ATTIC FLOOR & ROOF
FRAMING PLANS



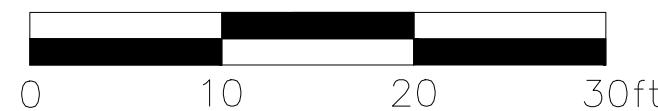
S-2

	SOIL TEST PIT
	RIM
	INVERT
3.	PROP. CONTOUR
9.7	PROP. SPOT EL.
0.	PROP. CLEAN OUT
	EXIST. DOWNSPOUT



SCALE: 1" = 10'

GRAPHIC SCALE



1. EXISTING CONDITIONS SURVEY INFORMATION OBTAINED FROM ROBER SURVEY, ARLINGTON, MA.
OWNER/CLIENT ASSUMES ALL RESPONSIBILITY FOR SOURCES AND AUTHORIZATION TO USE ELECTRONIC AND RECORD FILES.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING INFORMATION ON THE GROUND AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION PRIOR TO CONSTRUCTION.
3. ALL AREAS OUTSIDE OF THE LIMIT OF WORK LINES SHALL NOT BE DISTURBED IN ANY MANNER BY THE CONTRACT OPERATIONS. THE CONTRACTOR SHALL KEEP OUT OF THESE AREAS AND PRESERVE THEIR EXISTING CHARACTER.
4. INSTALL TEMPORARY EROSION CONTROL MEASURES PRIOR TO CONSTRUCTION FOR APPROVAL BY THE DESIGN ENGINEER.
5. PROVIDE SMOOTH TRANSITION AT CHANGES IN GRADE EXCEPT AS INDICATED ON THE DRAWINGS AND AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITY LINES, ACTIVE OR NOT, AND SHALL MAINTAIN A CLOSE AND CONSTANT CONTACT WITH ALL UTILITY COMPANIES INVOLVED. CALL DIG-SAFE 888-344-7253
7. ALL ELEVATIONS ARE REFERENCED TO AN NAVD83 DATUM.
8. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS, PERMITTING, AND LICENSES ISSUED AT THE FEDERAL, STATE AND LOCAL AGENCIES.
9. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH THE CITY OF WATERTOWN OFFICIALS.
10. ENGINEER IS TO BE CONTACTED BY CONTRACTOR TO PERFORM AS BUILT MEASUREMENTS.
11. OWNER/DEVELOPER IS TO COMPLY WITH ALL OF MASSACHUSETTS DEP SITE DEVELOPMENT REGULATIONS.

1. CONTRACTOR IS RESPONSIBLE FOR THE VERTICAL AND HORIZONTAL CONTROLS OF THE PROJECT.
2. CONTRACTOR IS TO REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF BUILDING DOWNSPOUTS.
3. THE MINIMUM CLEARANCE FROM THE BOTTOM OF THE SUBSURFACE DRAINAGE SYSTEMS TO REFUSAL OR GROUNDWATER IS 24 INCHES.
4. SYSTEMS WILL REQUIRE PERIODIC INSPECTION.
5. STORMWATER RUNOFF SHALL NOT BE DIRECTED ACROSS ADJACENT PROPERTY LINES.

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. LOCATION OF EXISTING UTILITIES SHOWN ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE INCURRED DURING CONSTRUCTION TO ANY UTILITY SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
3. CONTRACTOR TO REFER TO A SURVEYOR PLOT PLAN FOR ACCURATE OFFSETS TO PROPERTY LINE.

Performed by Gala Simon Associates, Inc., on 7/30/24

<i>TH1 (EL. 71.2)</i>						
<i>Horizon</i>	<i>Depth</i>	<i>Color</i>	<i>Texture</i>	<i>Mottles</i>	<i>Other</i>	<i>Elevation</i>
<i>C</i>	8"	N/A	FILL	-	-	70.5
<i>A/B</i>	14"	10YR3/3	FSL	-	-	70.0
<i>C1</i>	65.5"	10YR6/6	SL	-	-	65.7

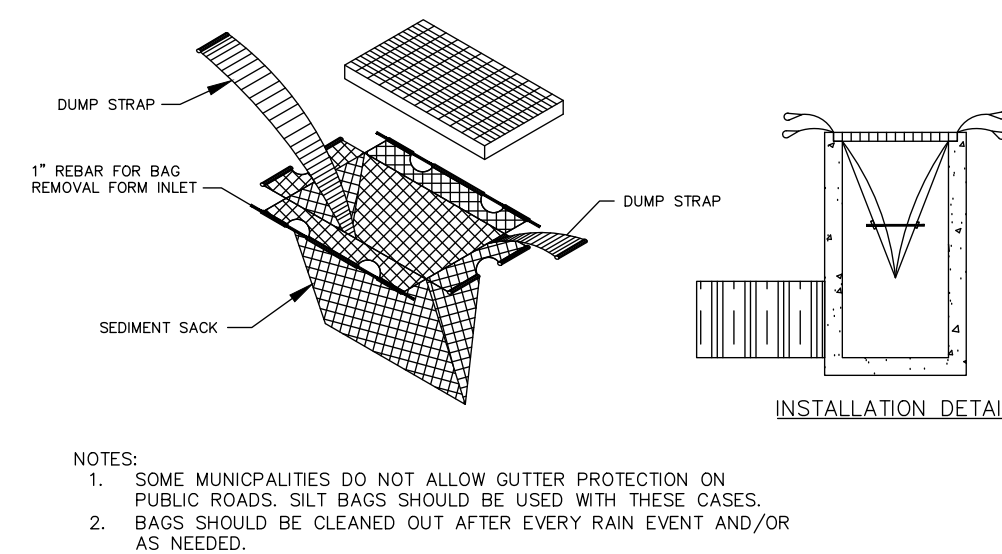
NO WATER, MOTTILING @56" EL. 66.5, REFUSAL @65.5" EL. 65.7

<u>TH2 (EL. 73.9)</u>						
<i>Horizon</i>	<i>Depth</i>	<i>Color</i>	<i>Texture</i>	<i>Mottles</i>	<i>Other</i>	<i>Elevation</i>
<i>C</i>	18"	N/A	FILL	-	-	72.4
<i>C1</i>	45"	10YR6/6	SL	-	-	70.2

NO WATER, MOTTLING @34" EL. 71.0, REFUSAL @45" EL. 70.2

<i>TH3 (EL, 76.3)</i>						
<i>Horizon</i>	<i>Depth</i>	<i>Color</i>	<i>Texture</i>	<i>Mottles</i>	<i>Other</i>	<i>Elevation</i>
<i>FILL</i>	20"	N/A	FILL	—	—	74.6
<i>A</i>	23"	10YR3/3	FSL	—	—	74.4
<i>B</i>	29"	7.5YR4/6	FLS	—	—	73.9
<i>C</i>	70"	10YR6/6	SL	—	—	70.5

NO WATER, MOTTLING @60" EL. 71.3, REFUSAL @70" EL. 70.5



3
C-0

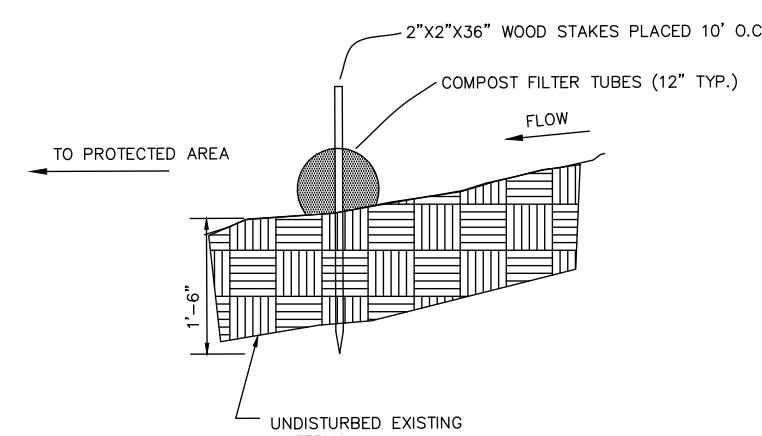
CONTRACTOR IS TO CONTACT ENGINEER FOR AS-BUILT MEASUREMENTS PRIOR TO BACK FILLING DRAINAGE SYSTEMS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BEFORE PROCEEDING WITH THE WORK.

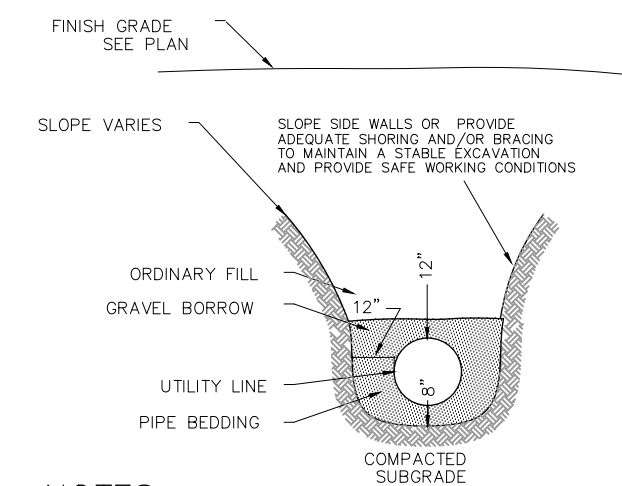
THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON THE TITLED LOCATION OF ANY VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATERGATES, ETC. AND COMPILED FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ALL UTILITY COMPANIES OR AGENCIES PRIOR TO ANY EXCAVATION WORK.

CALL DIGSAFE AT 1-800-322-4844

CONTRACTOR IS TO IMPLEMENT ALL NECESSARY SAFETY AND CONSTRUCTION MEASURES AND PROCEDURES FOR THE CONSTRUCTION OF THE PROJECT. STRICT COMPLIANCE WITH FEDERAL, STATE AND LOCAL SAFETY AND CONSTRUCTION REQUIREMENTS IS MANDATORY.



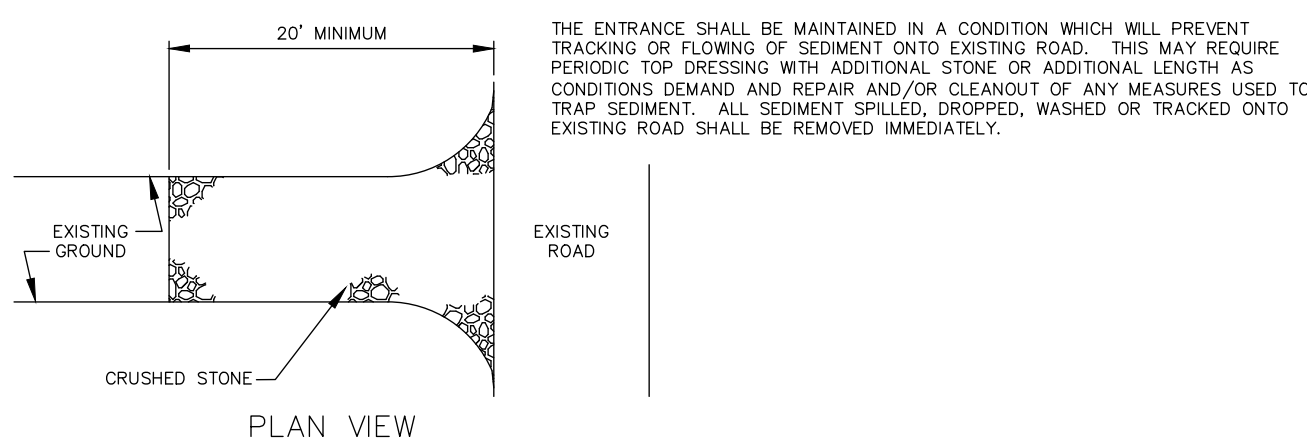
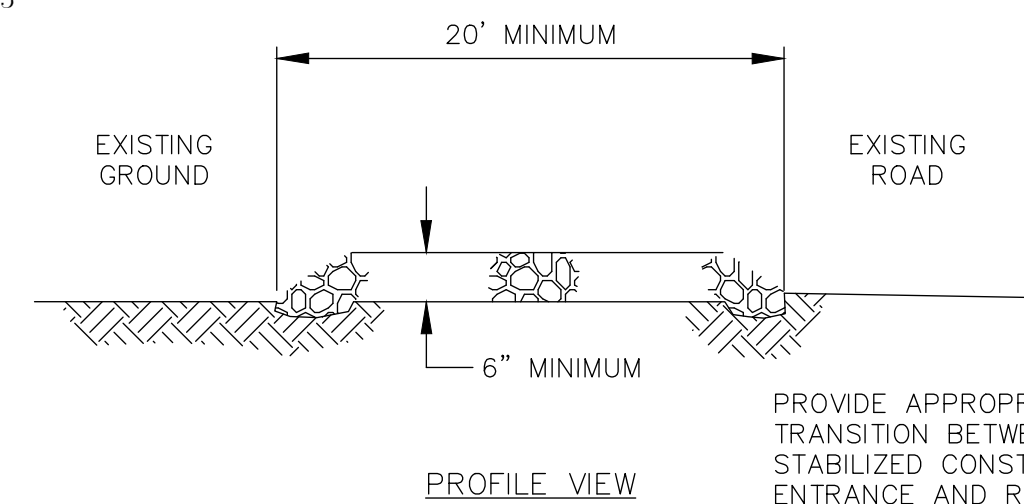
1 EROSION CONTROL
C-0 SCALE: NTS



NOTES:

1. 8" SAND CUSHION REQUIRED AT ALL LEDGE OR PIPE CROSSING
2. NO STONE GREATER THAN 3" TO BE PLACED OVER PIPE TO FINISH GRADE
3. NO STONE GREATER THAN 3" WITHIN 12" OF PIPE.
4. GRAVEL BORROW SHALL COMPLY WITH MHD M1.03.0 TYPE C
5. PIPE BEDDING SHALL COMPLY WITH MHD M1.04.1

2 TYP. UTILITY TRENCH
C-0 SCALE: NTS



4	STABILIZED CONSTRUCTION ENTRANCE
C-0	SCALE: NTS

*Gala Simon
Associates Inc.*

394 LOWELL STREET, SUITE 18
LEXINGTON, MA 02420
Tel: (781) 676-2962

Gala Simon Associates

GSA

Civil Engineers

EXISTING CONDITIONS PLAN

**44 PILGRIM ROAD
WATERTOWN, MASSACHUSETTS**

Job No. 2420	Date: 9/5/2024
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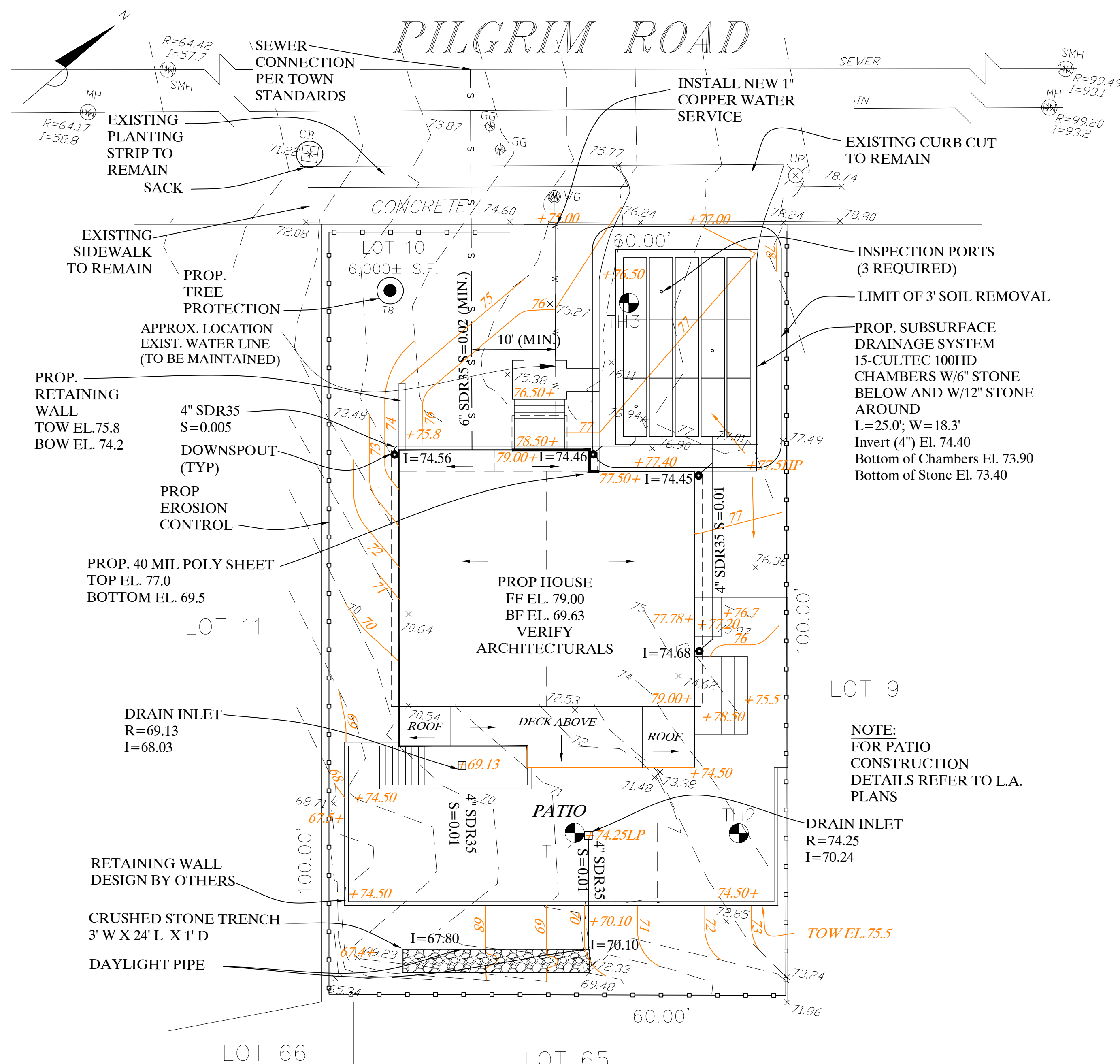
Drawn By: AG	Scale: AS SHOW
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Rev#	Date:	Description:
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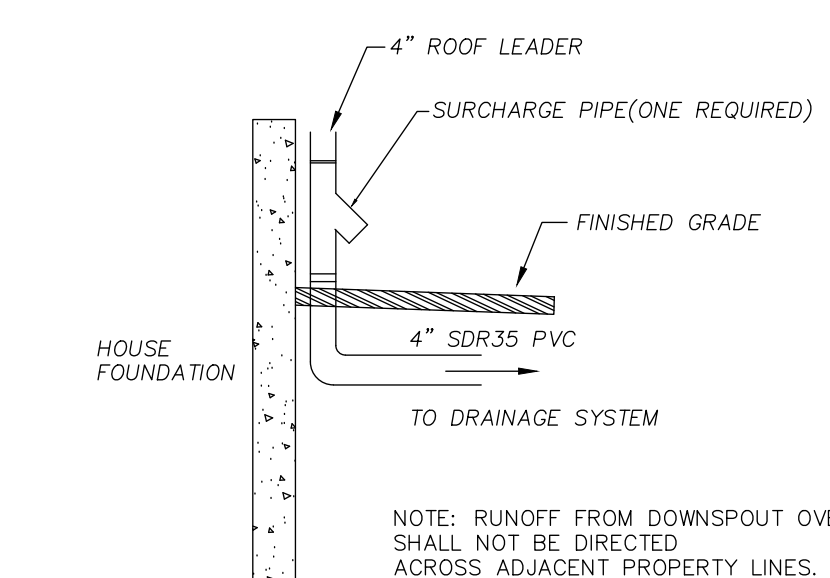
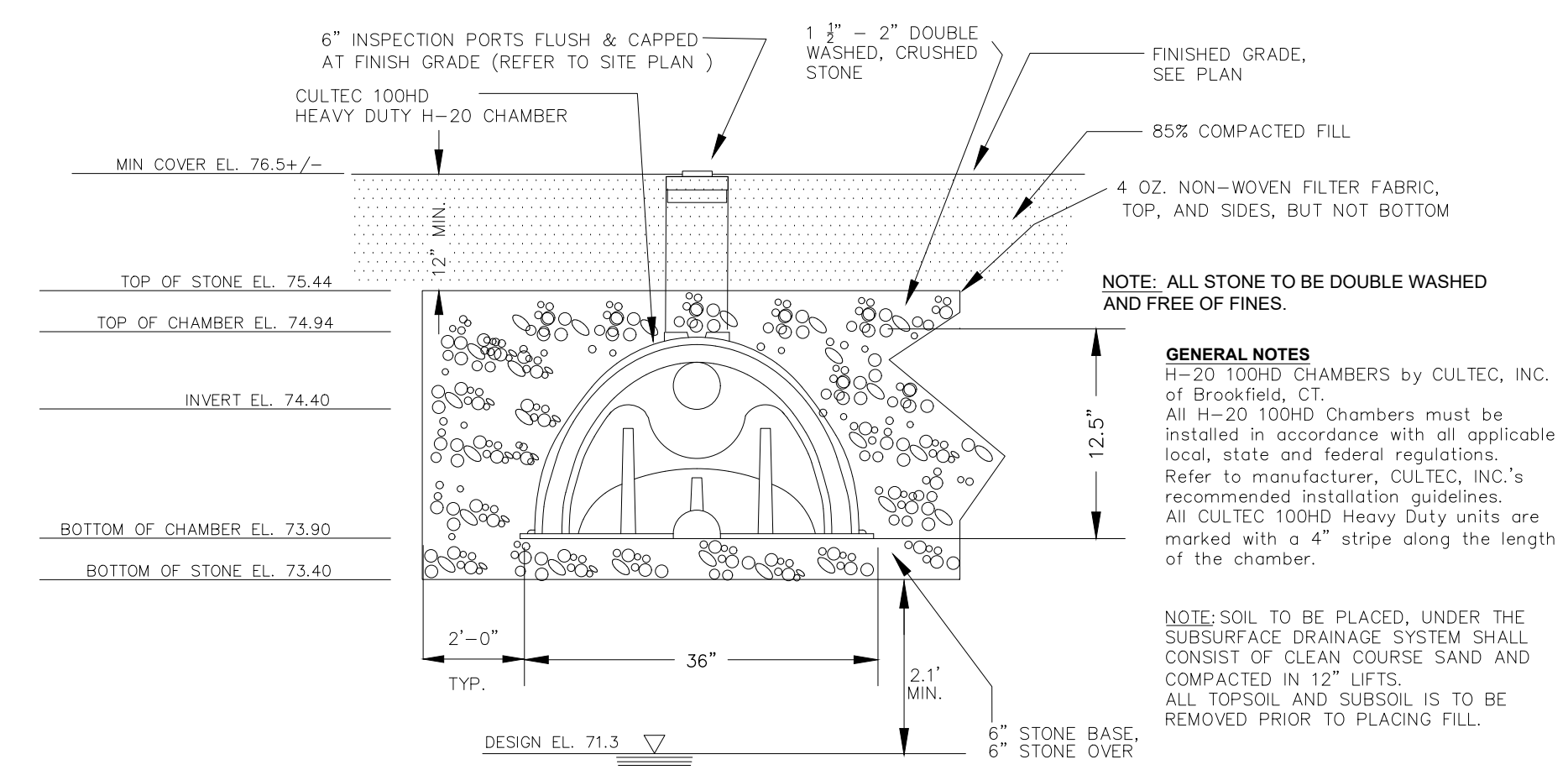
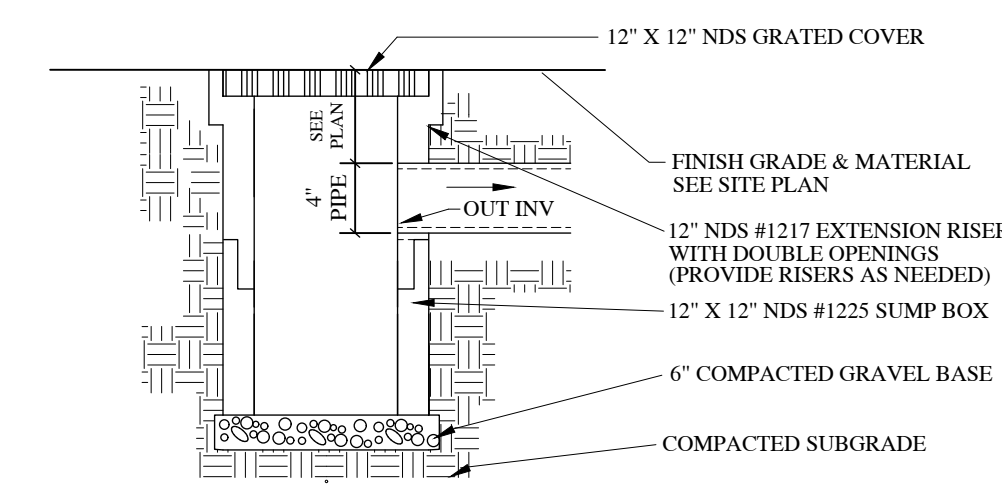
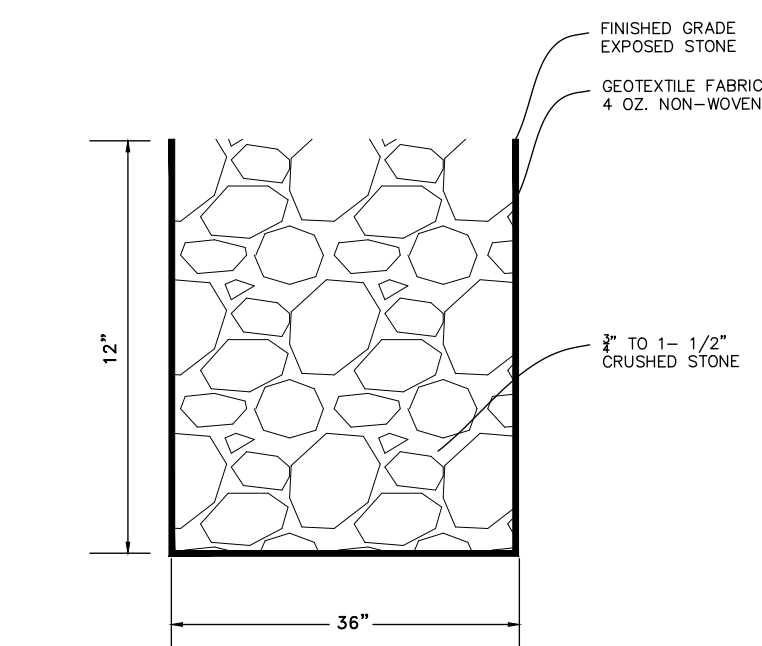
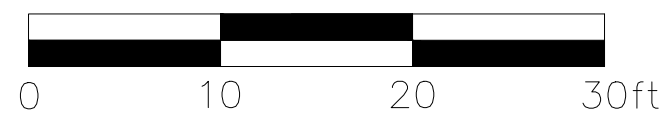


C-O

- LEGEND**
- TP SOIL TEST PIT
 - R RIM
 - I INVERT
 - 98 PROP. CONTOUR
 - +99.7 PROP. SPOT EL.
 - C.O. PROP. CLEAN OUT
 - EXIST. DOWNSPOUT



SITE PLAN
SCALE: 1" = 10'
GRAPHIC SCALE



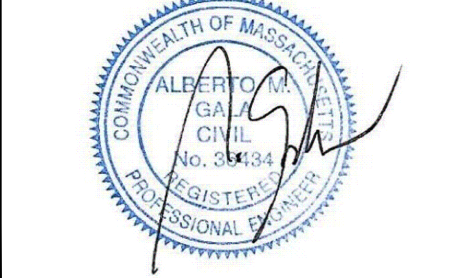
Gala Simon Associates Inc.
394 LOWELL STREET, SUITE 18
LEXINGTON, MA 02420
Tel: (781) 676-2962



**PROPOSED CONDITIONS
DRAINAGE PLAN**

**44 PILGRIM ROAD
WATERTOWN, MASSACHUSETTS**

Job No. 2420	Date: 9/5/2024
Drawn By: AG	Scale: AS SHOWN
Rev#	Date: Description:



C-1



















HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
PART 1—SIGNIFICANCE

SECTION 1. APPLICATION INFORMATION

PROJECT NUMBER

Historic Property Name The University Prints Building
Property Address 9 Boyd Street, Watertown, MA 02472
Historic District or National Register Property _____
☐ National Register District ☐ Certified State or Local District
☐ Property with multiple buildings, including individually-listed properties and properties in a historic district (see Section 6)
Application received (date) 3/8/24 ☐ Property visited by SHPO (date/s) _____
Additional information requested (date/s) _____ ☐ Preliminary consultation (date) _____
Complete information received (date) 3/8/24 ☒ Applicant informed of SHPO recommendation
Transmitted to NPS (date) 4/9/24

SECTION 2. APPLICATION MATERIALS

- ☒ Photographs (PDF) ☐ Photographs (up to 20 individual in folder) ☐ Historic District Map ☐ Other (list) _____
☐ For properties with more than one building—map or site plan of the entire property and map or site plan of the portion of the property under applicant's ownership or control.

SECTION 3. SHPO RECOMMENDATION

Joshua Dorin, who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

Include names of any additional staff to be copied on NPS decisions Elizabeth Sheron + Ben Hakey

- ☐ The property contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for the purpose of rehabilitation.
☐ The property contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Internal Revenue Code.
☐ The property does not contribute to the significance of the above-named district.
☐ Insufficient documentation has been provided to evaluate the property.
☐ This application is being forwarded without recommendation.

Preliminary Determinations

- ☒ The property appears to meet the National Register Criteria for Evaluation and will be nominated individually.
☐ The property does not appear to meet the National Register Criteria for Evaluation and will not be nominated.
☐ The property appears to contribute to the significance of a:
☐ proposed historic district that appears to meet the National Register Criteria for Evaluation and will likely be nominated.
☐ registered historic district, but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS. The nominated will be amended.
☐ The property is located in a proposed historic district and:
☐ the property does not appear to contribute to the significance of the proposed historic district.
☐ the proposed historic district does not appear to meet the National Register Criteria for Evaluation and will not be nominated.

4/9/24
Date

[Signature] DSHP
State Historic Preservation Office Signature

This is a review sheet only and does not constitute an official determination of the significance of the property.

The University Prints Building
9 Boyd Street
Watertown, MA 02472

It is the opinion of MHC staff that the University Prints Building meets the criteria of eligibility for listing under National Register Criterion A at the local level in the area of Commerce, and possibly Industry, for its associations with the printing and publishing industry in Watertown in the early to mid-20th century. Constructed in 1916 with a 1925 addition, the building housed University Prints, the only publishing company in Watertown that was unrelated to newspaper production. The company was founded by Dr. Harry Huntington Powers and specialized in publishing educational and university materials in subjects such as the classics, various art media, and architecture.

The University Prints Building may also meet eligibility under Criterion A in the area of Education, if the subject property's associations with H. H. Powers' second company, the Bureau of University Travel, can be demonstrated more fully. The function of the company's international tours as educational travel would also need to be expanded onto demonstrate significance in this area.

The University Prints Building may also meet eligibility under National Register Criterion C in the area of Architecture. Designed by Boston architects Brainerd and Leeds, the building retains a high level of integrity at the exterior and interior, with original windows and doors, stairs, wood trim and surrounds; plaster walls and ceilings, and open floor plans in historically industrial spaces. A potential nomination would need to explain the significance of the building's mixed-use plan or building type within Watertown and provide a comparative context of other small-scale industrial buildings. Alternatively, the application of the Georgian Revival style to the original block's design would need to be expanded on to demonstrate its architectural significance.

The period of significance would extend from the original building's construction in 1916 to an end date to be determined and supported by further research. Likely end dates are 1934, when H. H. Powers retired as company president, or 1953, when the University Prints Company ceased to be associated with the building.



The Commonwealth of Massachusetts
William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission - State Historic Preservation Office

The Americans with Disabilities Act Consultation Process Form

Name of Property: _____

Address of Property: Street: _____

City: _____ County: _____ State: _____ Zip: _____

Historic Designation/Status/Listing:

☐ National Historic Landmark Date of Listing _____

☐ Listed Individually in National Register of Historic Places Date of Listing _____

☐ Located in registered historic district (specify _____) Date of Listing _____

☐ Listed in State Register of Historic Places Date of Listing _____

☐ Eligible for listing (prepare and submit MHC inventory form, attach to application)

Project Contact:

Name: _____

Street: _____ City: _____

State: _____ Zip: _____ Daytime Telephone Number: _____

Property Owner:

Name: _____

Street: _____ City: _____

State: _____ Zip: _____ Daytime Telephone Number: _____

Signature: _____

Consultation with individuals with disabilities and their organizations:

Name: _____

Organization: _____

Street: _____ City: _____

State: _____ Zip: _____ Daytime Telephone Number: _____

Signature: _____

Attach comments to form.

Consultation with local historical commission

Name: _____

Organization: _____

Street: _____ City: _____

State: _____ Zip: _____ Daytime Telephone Number: _____

Attach comments to form.

Describe major significant architectural features of property. Include the overall shape of the building, its materials, craftsmanship, decorative details, interior space and features, as well as various aspects of its site and environment.

Explain why applying the General Requirements for Barrier Free Access would threaten or destroy the historic significance of the property.

Architectural feature(s): _____

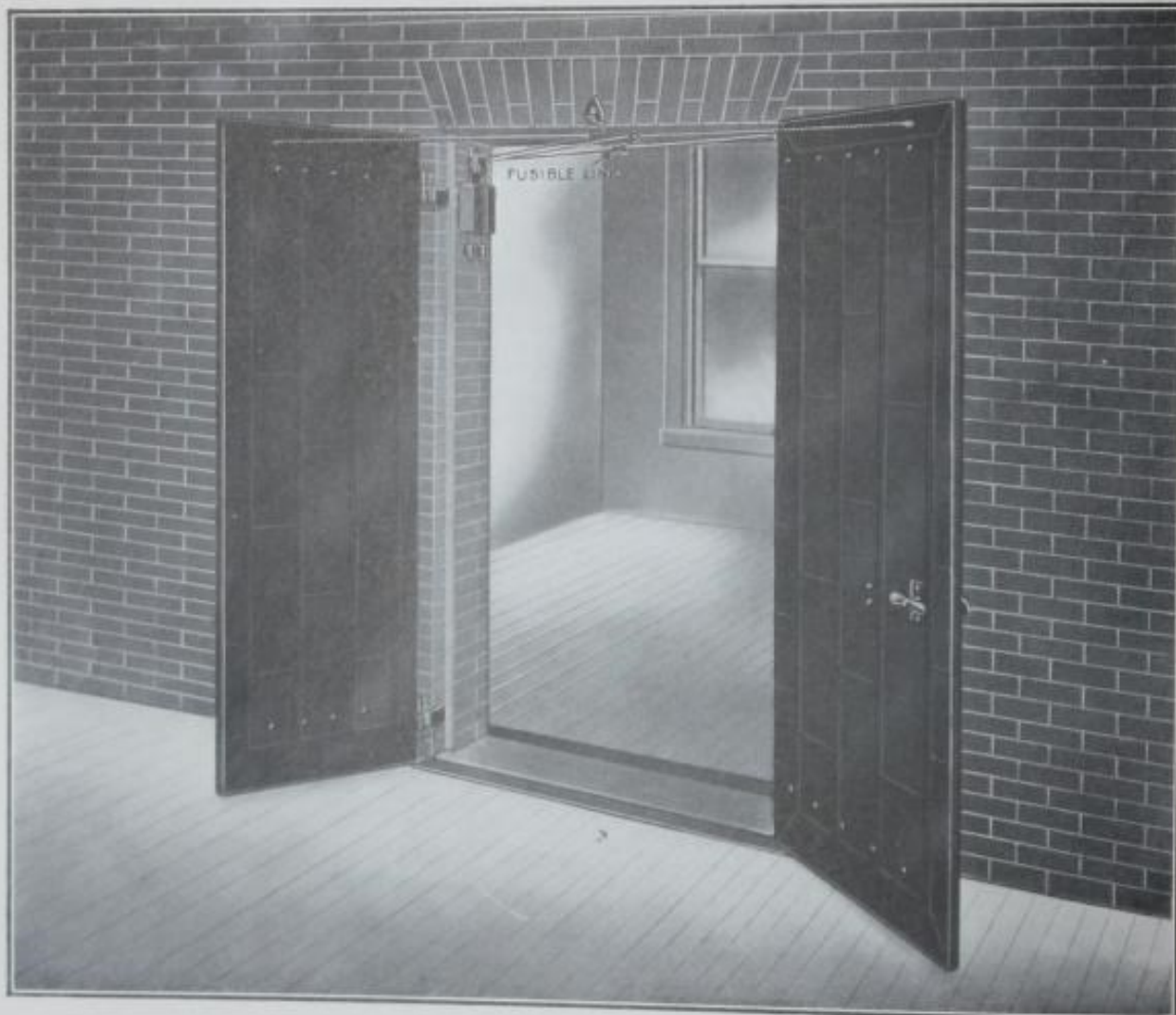
Approximate date(s) of feature(s): _____

Describe existing condition(s): _____

Describe the proposed alternative Barrier Free Access solution under the Special Rule [4.1.793)]. Include photographs, drawings, and all pertinent information to assist us in our review.

COBURN

DOUBLE SWING



STYLE "R R"

(Not Labeled)

	Price List
Complete set of fixtures for 4'-0" wide Flush Door.....	\$14.50
Complete set of fixtures for 4'-0" wide Overlap Door.....	15.50
For wider doors add per foot.....	.75
Automatic Closing device, complete.....	8.00
Steel Astragal to bolt to door per foot.....	.25

NOTE—Hinge Pintles and Astragal are not included in above prices of sets. (For prices of Pintles see page 22.)

NOTE.—Prices of above Complete Sets include four hinges, single latch, gravity top bolt, gravity bottom bolt and automatic closing device. If six hinges are required add price of extra hinges. (See page 26 for prices of hinges.)

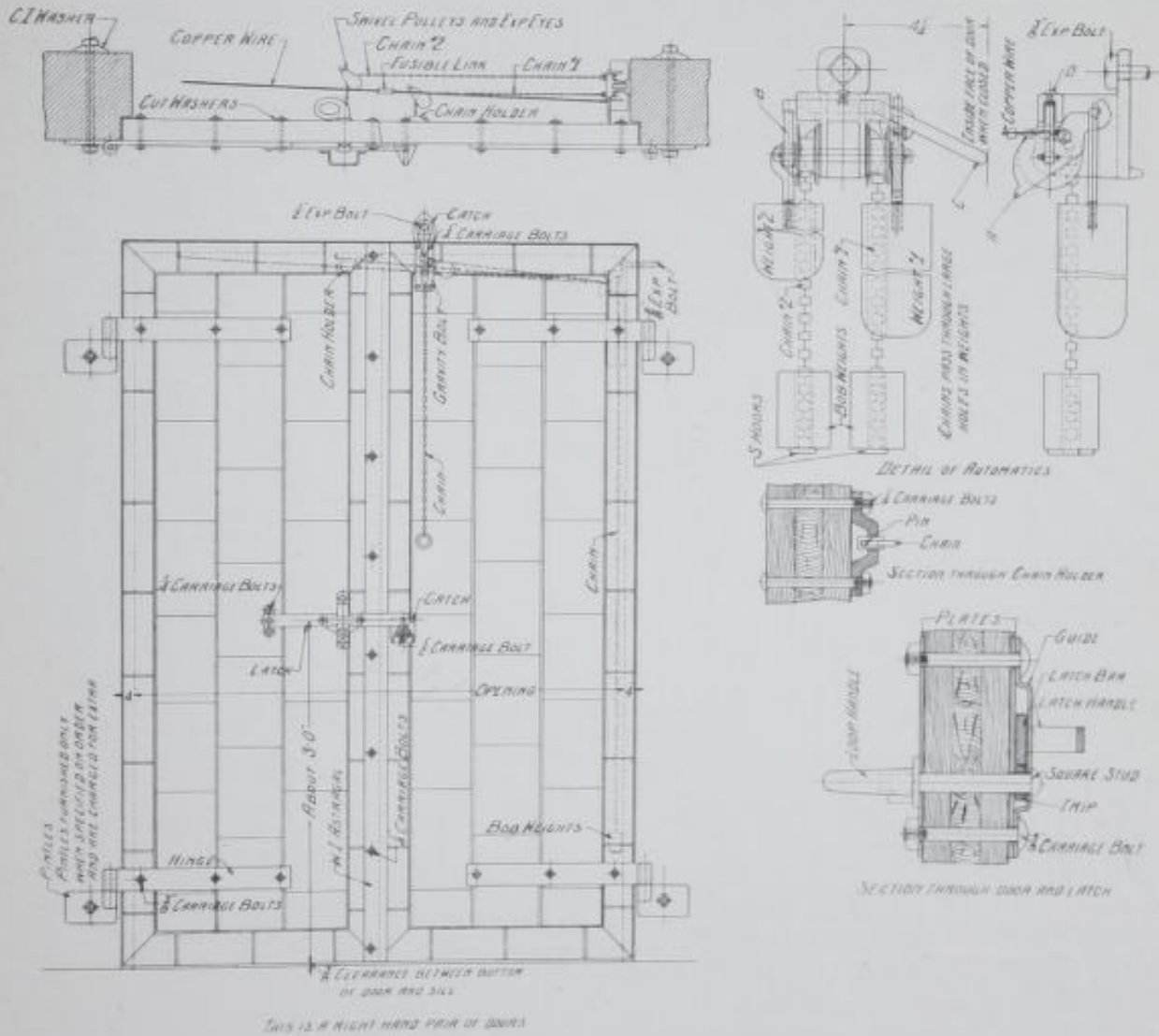
Price List of Doors on Page 3.

In ordering give data on pages 43 and 34.

COBURN

Style "R R"

Erection Sheet



NOTE—Hinge Blocks or Pintles are not included in set of fixtures. Same are furnished only when ordered extra.

Wall Bolts are not included in set of fixtures. Same are furnished only when ordered extra.



HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
PART 1—SIGNIFICANCE

SECTION 1. APPLICATION INFORMATION

PROJECT NUMBER

Historic Property Name The University Prints Building

Property Address 9 Boyd Street, Watertown, MA 02472

Historic District or National Register Property _____

☐ National Register District ☐ Certified State or Local District

☐ Property with multiple buildings, including individually-listed properties and properties in a historic district (see Section 6)

Application received (date) 3/8/24

☐ Property visited by SHPO (date/s) _____

Additional information requested (date/s) _____

☐ Preliminary consultation (date) _____

Complete information received (date) 3/8/24

☒ Applicant informed of SHPO recommendation

Transmitted to NPS (date) 4/9/24

SECTION 2. APPLICATION MATERIALS

☒ Photographs (PDF) ☐ Photographs (up to 20 individual in folder) ☐ Historic District Map ☐ Other (list) _____

☐ For properties with more than one building—map or site plan of the entire property and map or site plan of the portion of the property under applicant's ownership or control.

SECTION 3. SHPO RECOMMENDATION

Joshua Dorin, who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

Include names of any additional staff to be copied on NPS decisions Elizabeth Sheron + Ben Hakey

☐ The property contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for the purpose of rehabilitation.

☐ The property contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Internal Revenue Code.

☐ The property does not contribute to the significance of the above-named district.

☐ Insufficient documentation has been provided to evaluate the property.

☐ This application is being forwarded without recommendation.

Preliminary Determinations

☒ The property appears to meet the National Register Criteria for Evaluation and will be nominated individually.

☐ The property does not appear to meet the National Register Criteria for Evaluation and will not be nominated.

☐ The property appears to contribute to the significance of a:

☐ proposed historic district that appears to meet the National Register Criteria for Evaluation and will likely be nominated.

☐ registered historic district, but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS. The nominated will be amended.

☐ The property is located in a proposed historic district and:

☐ the property does not appear to contribute to the significance of the proposed historic district.

☐ the proposed historic district does not appear to meet the National Register Criteria for Evaluation and will not be nominated.

4/9/24
Date

[Signature] DSHP
State Historic Preservation Office Signature

This is a review sheet only and does not constitute an official determination of the significance of the property.

The University Prints Building
9 Boyd Street
Watertown, MA 02472

It is the opinion of MHC staff that the University Prints Building meets the criteria of eligibility for listing under National Register Criterion A at the local level in the area of Commerce, and possibly Industry, for its associations with the printing and publishing industry in Watertown in the early to mid-20th century. Constructed in 1916 with a 1925 addition, the building housed University Prints, the only publishing company in Watertown that was unrelated to newspaper production. The company was founded by Dr. Harry Huntington Powers and specialized in publishing educational and university materials in subjects such as the classics, various art media, and architecture.

The University Prints Building may also meet eligibility under Criterion A in the area of Education, if the subject property's associations with H. H. Powers' second company, the Bureau of University Travel, can be demonstrated more fully. The function of the company's international tours as educational travel would also need to be expanded onto demonstrate significance in this area.

The University Prints Building may also meet eligibility under National Register Criterion C in the area of Architecture. Designed by Boston architects Brainerd and Leeds, the building retains a high level of integrity at the exterior and interior, with original windows and doors, stairs, wood trim and surrounds; plaster walls and ceilings, and open floor plans in historically industrial spaces. A potential nomination would need to explain the significance of the building's mixed-use plan or building type within Watertown and provide a comparative context of other small-scale industrial buildings. Alternatively, the application of the Georgian Revival style to the original block's design would need to be expanded on to demonstrate its architectural significance.

The period of significance would extend from the original building's construction in 1916 to an end date to be determined and supported by further research. Likely end dates are 1934, when H. H. Powers retired as company president, or 1953, when the University Prints Company ceased to be associated with the building.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

PART 1 – EVALUATION OF SIGNIFICANCE

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Property address: 9-13 Boyd St, Watertown, MA

5. Description of Physical Appearance:

11 Boyd Street, also known as The University Prints building, is located at 9-13 Boyd Street in Watertown, Massachusetts. The building was constructed across two building campaigns in the early twentieth century, resulting in a complex consisting of two blocks; the original 1916 Georgian Revival building, which housed manufacturing space in the basement, offices on the first floor, and a residence on the second floor, and a large industrial rear addition with manufacturing spaces at the basement and first floor. The area surrounding the complex is generally characterized by a Victorian era residential neighborhood with freestanding houses to the west, and a combined residential and commercial area to the east along Galen Street. The original building reflects the Georgian Revival style, with a symmetrical facade, red brick construction, multi-lite windows, and simple geometric ornamentation. The rear addition is largely industrial and utilitarian, also featuring brick construction and multi-lite windows. Though atypical for the Georgian Revival, both portions of the complex feature a flat roof, reflecting the utilitarian uses held within both the original building and the addition. The original building and addition continue to reflect the period during which The University Prints and the Bureau of University Travel used it as their headquarters offices and manufacturing facility, retaining a vast number of original features and a high degree of integrity.

Site: 11 Boyd Street is located on an approximately 0.24 acre parcel just north of Newton and to the west of Galen Street in Watertown, Massachusetts. The building is set back from the street and features a small, paved parking area directly in front of its facade. A cement walkway connects the sidewalk with the main entrance on Boyd Street. A small path and area of grassy lawn with small trees and bushes lines the west side of the parcel, adjacent to the wood fence and driveway of the neighboring building. Beside the path along the fence is a small structure likely housing MEPs. A paved driveway and additional parking are located at the east side of the building, wrapping around to the rear of the building to the north. Within the “L” of the original building, where it connects to the addition, is a small, paved area utilized for trash and recycling. The paved area at the east extends into the parking area of the adjacent residential buildings. The only division between the two parcels is a single tree. At the rear of the building are chain link fences lining the back yards of adjacent residential buildings to the north and northwest.

Setting: 11 Boyd Street exists in the southernmost portion of Watertown bordering Newton to the south. It exists in a primarily residential neighborhood. On Boyd Street and parallel streets are a mix of newly constructed and predominantly historic single-family homes. Directly surrounding The University Prints building are Victorian and Second Empire houses, with rowhouses to the east on Galen Street and single-family houses in the neighborhood to the west. The residential neighborhood surrounding the subject building was largely developed in the nineteenth century. Even Galen Street, now mixed residential and commercial, was strictly residential at this time.¹ Directly south of the subject area in Newton is I-90 and the neighborhood of Newton Corner. The area around the highway becomes increasingly modern

¹ “11 Boyd St” (Watertown, Watertown County, Massachusetts: Sanborn Map Company, 1911).

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and mixed in terms of use. More recently constructed restaurant buildings, shops, parking garages, mid-century apartment buildings, and hotels line Centre/Galen Street, becoming larger and more densely developed as you get closer to I-90. A few historic buildings are present on Galen/Centre Street, though they do not define the streetscape.

Exterior: The subject building was originally constructed in 1916 and expanded in 1925 with an addition at the north. The building's two parts, the original "L" shaped building to the south, and the rectangular addition to the north, are both two stories in height, though the original building is slightly taller. The original building, having been designed in the Georgian-Revival style, is more ornate than the industrial addition to the rear, but the two share a number of similar features, such as their red brick exteriors, flat roofs, and divided-lite windows.

The original building features a parapet roof with a projecting wood cornice. The design of the original building relies on symmetry, characteristic of Georgian Revival architecture. Windows across the original building are largely double hung with divided lite sashes.

The addition to the north is largely utilitarian and industrial in design. It features a flat roof, a cement foundation, and is otherwise unadorned. The addition features a number of original paneled wood doors and metal industrial loading doors. Windows across the addition are largely original fixed industrial units with divided lites and operable centers, however some units at the south elevation have been replaced.

South Elevation (Facade):

Original 1916 Building: The facade of the original building is symmetrical and fronts Boyd Street. It is five bays wide with a central, main entrance. The parapet at the roofline is decorated with cut-outs in the brick, filled with rows of small colonnettes. At center is a carved limestone sign that reads "THE UNIVERSITY PRINTS."

The central entrance accessed at the top of a set of stone steps with granite treads and non-historic metal railings that were installed between 2011 and 2018. The door is located under a curved portico supported by simple doric columns. Behind the columns flush with the wall are slightly projecting painted wood pilasters. The entrance is set into a round arch opening with a limestone surround. The surround is simple, but slightly fluted with a central key. Where the portico attaches to the wall is copper flashing and an arched, flat wood panel with circular ornaments beneath.

Windows at the first story of the facade feature double-hung, twelve-over-one windows. At the second story windows are six-over-one, double-hung, and slightly smaller. Windows across the facade are consistent per level with the exception of the window above the central entrance at the second story. Consisting of a central double-hung, six-over-one window flanked by narrow, single-lite transoms, the configuration shares a splayed lintel with a central key. The double-

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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hung window at the center of the configuration has the same number of lights as the other second story windows, however, it is narrower. All windows feature limestone sills and splayed lintels.

1925 Addition: The south elevation of the addition is largely obscured by the original building. However, portions at the east and west of the original building are visible. At the east side of the original building, the addition features six bays and a cement watertable. The central four bays feature a projection which is single-story aside from a freight elevator tower to the east. The westernmost bay features a square, infilled opening at ground level. The easternmost bay features an original twelve-lite fixed square window. The elevator tower features a small loading dock with a heavy granite base and a large metal industrial door with glazing at the top. The single-story portion of the projection features an entrance at the westernmost side. The entrance is at ground level, with an original glazed and wood paneled door behind a replacement storm door. At the center of the projection is a fixed, eight-lite window with a simple painted wood surround. At the second story, a window exists in every bay but the projecting elevator tower. All windows are divided-lite, double-hung, six-over-six replacement units set into the original openings. The replacement windows are smaller than the original windows and have been infilled at the top.

West of the original building, two bays of the south elevation of the addition are visible. In the bay adjacent to the original building is a small, single-story projection with an entrance at ground level leading to the basement. The interior door is a glazed wood-framed single-leaf door with an aluminum storm door beneath a small aluminum awning. The westernmost bay features a similar entrance with a storm door and awning at the first story, accessed by a set of cement stairs with a non-historic metal rail.

West Elevation:

Original 1916 Building: The west elevation of the original building is seven bays wide and features windows in each bay at the first and second stories. This elevation features two fixed, four-lite basement windows at either side of the elevation. At the first story, the southernmost window has been removed and is off-site for repairs, to be returned to its original location. Present at the opening is a double-hung one-over-one storm window. The remaining windows at the elevation are grouped together, and are double-hung, twelve-over-two windows covered with pairs of double-hung storm windows.

At the second story, windows are less consistent. The southernmost bay features a double-hung, six-over-one window. The remaining six bays feature a grouping of six windows, two at the southern end and one at the northernmost bay of the grouping feature the same double-hung, six-over-one window as that located in the southernmost bay. The remaining three are smaller, six-over-one, double-hung windows. Lintels are aligned across the top.

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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1925 Addition: The west elevation of the addition is six bays wide and largely features twelve-lite, fixed industrial windows with cement sills. The third bay from the south features a very small, narrow window.

East Elevation:

Original 1916 Building: The east elevation of the original building features nine bays and a raised basement. This elevation features the interior of the “L”, with the southernmost portion of the elevation being largely symmetrical. Above the projecting cornice, the parapet is clad in a painted orange-brown panel. Within the concrete foundation that contains the raised basement at southernmost block of the elevation are three small, fixed, four-lite basement windows towards the center. The upper floor windows match those at the facade, with the first story windows being larger than the second story, matching the number of lites.

The northern portion features a ground level entrance at the northernmost bay, and an asymmetrical configuration of windows and openings. All openings are original and feature splayed limestone lintels, matching those at the facade. The raised basement features two openings, one featuring an original divided-lite window, and the other having been infilled for MEPs. Non-historic metal grates cover the openings. The entrance is located at the top of two granite steps and features a painted, wood paneled door behind a storm door.

Select windows at the first story have been removed from the site for repair and will be reinstalled once complete. Present at these locations are one-over-one aluminum storm windows. The remainder of the elevation features double-hung wood windows of various configurations.

1925 Addition: The east elevation of the addition is five bays wide. The exposed foundation at the south elevation does not continue around to the east elevation, which is entirely clad in brick. The southernmost bay features a double-leaf metal door at ground level. The remaining bays at this story feature large, fifteen-lite industrial windows with operable portions at center and concrete sills which extend to the ground. The second story features only three openings with slightly larger twenty-lite windows of the same design, aligned to the south. These windows are configured the same way, however the smaller ones are missing a row of lites at the bottom. The elevation is otherwise unadorned.

North Elevation: The north elevation consists of a small area at the original building within the ell, and the industrial addition. The small area at the ell of the original building is two bays wide, featuring double-hung six-over one windows, matching that of others at the second story. At the first story, windows have been removed for repair, temporarily only featuring storm windows.

The north elevation of the addition is twelve bays wide with the original industrial sixteen-lite windows with operable four-lite centers and cement sills in most bays. The westernmost seven bays at the first level have slightly smaller openings, with twelve-lite industrial windows. The

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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design of the windows otherwise matches that of the rest on the elevation. A chimney extends up at the west corner of the elevation.

Roof: The roof of both building sections are flat. The original building features a parapet and two skylights which have been temporarily infilled at the interior as repair of the skylights are underway. At the corner of the ell is a chimney. The roof of the addition is also flat, with a subtle parapet and rooftop mechanical units.

Interior:

The plan of the building includes the connected basements and first stories of the original building and addition, and the second story of the main building. Finishes are mixed throughout, with original features at the basement, first and second floors of the main building, and some original features in the basement of the addition. Finishes were largely replaced at the first floor of the addition.

First Floor: The first floor of the building and addition consists of office space. It can be accessed at both the original building and at the addition. The main entrance is located at the south of the original building. A secondary entrance is located at the northwest corner of the original building, leading into the secondary stairwell.

The first floor of the addition can be accessed via a loading dock at its southeast corner, a single-lead door near the corner of the ell, or by a door at the southwest corner.

Original 1916 Building: At the original building, the main entry opens into a central stair hall, with the stairs aligned to the west wall, and doors accessing the east, north, and west. The stair hall features plaster walls with wood trim, including a chair rail, simple molding and door surrounds.

Through the east door, three interconnected rooms within the ell can be accessed. All three rooms are open and feature a small closet. Both rooms at the south side of the ell feature original wood paneled doors, wood paneled walls, plaster ceilings, and plywood floors. The northernmost room in the ell features plaster and gypsum board walls, plaster ceilings, plywood floors, and wood trim. Plywood is inset into the two windows at the north side of the ell. The northernmost room in the ell has an additional door exiting west into a corridor which provides access to a bathroom and open space at the northwest side of the building. The bathroom features terrazzo floors, plaster walls, a plaster ceiling, and painted wood trim. Some wood trim has been damaged or removed. Areas of the walls have been patched.

The north and west sections of the original building are largely open in plan. The open space west of the bathrooms at the northwest side of the building features a line of small, rectangular wood columns, wood paneled and gypsum board walls, and painted plywood floors. Aside from

HISTORIC PRESERVATION CERTIFICATION APPLICATION

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original wood window surrounds, most finishes in this space have been replaced. Additional bathrooms are located at the northeast side of the open area.

South of the open space at the southwest side of the building are utility spaces and two offices. Adjacent to the west stair hall wall are two original doors leading to the utility space, while the offices are located at the southwestern corner. Finishes in the offices consist of wood paneled walls, wood trim, painted plywood floors, and plaster ceilings. The southwestern office features a plain frieze of plaster, while the adjacent room features wallpaper.

At the northeastern corner of the open space is a painted wood paneled door original to the construction of the addition. The door would have originally been accessed atop a small stair which is now missing, along with the door surround.

1925 Addition: The rear addition is largely open with a division of offices and bathrooms distributed along the west wall and northwest corner. The remainder of the space is completely open, featuring two lines of enclosed columns running through the center of the space from east to west. The door from the original building to the addition leads to a small non-historic corridor with gypsum board walls which exits to the east. The exterior of the building can be accessed at one of two doors. At the southwest corner, an original wood paneled door leads to the stairs and path at the west side of the building. At the southeastern corner of the addition is an original double-leaf industrial door leading to the exterior of the building. The door was recently painted along with the original brick walls. Remaining materials featured in this portion of the building include non-historic carpeted floors, dropped ACT ceilings, and a mix of non-historic and historic painted wood window surrounds. MEPs are exposed and hanging beneath the ACT ceilings.

Second Floor: Only the original building features a second floor, which is residential. Accessed via the central stair hall or at the northeast corner of the building, the second floor features multiple units accessible by four, paneled wood doors located around the landing of the main stair. Above is a small, infilled skylight. Materials at the second floor include wood trim, chair rails, molding, and window surrounds, as well as a mix of hardwood floors and linoleum floors. Walls are plaster and gypsum board.

Basement:

Original Building: The basement of the original building is similar to the first floor in plan, but primarily utilitarian and completely open in plan, save for a mechanical room and small records vaults. Two lines of round metal columns support the building above. The northeast of the building is dedicated to MEPs. Across the center of the building are three rows of equally spaced steel columns. Finishes are primarily utilitarian, including concrete floors and walls, some instances of brick walls, original paneled wood doors, and non-historic gypsum board walls. Ceilings feature exposed wood structure.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

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Addition: The basement of the addition is accessed through a rolling metal industrial door at the north side of the original building's basement. It is laid out similarly to the space above, with offices along the eastern wall, with the remainder of the plan being largely open. The open space functions as converted office and artist space. The open industrial space present at the first floor has been divided into two similarly sized rooms and a non-historic corridor which runs the length of the addition at the south. Most divisions within the basement are created with non-historic, gypsum board or plywood walls. The basement exits to the driveway at the east by three doors within the basement of the addition; at the south by the single-leaf, paneled and glazed door at the top of a set of cement stairs, or by a double-leaf, paneled industrial door. At the east, the basement can be exited through a simple double-leaf metal loading door. Some materials in the basement were likely added during mid-twentieth and late-twentieth century renovation campaigns, which introduced wood paneled walls and carpeted flooring. The remaining materials present at the basement level are painted brick walls, steel beams, round steel columns, painted cement floors, and original beadboard ceilings near the southwestern exit.

Vertical access:

Original Building: Vertical access is provided by a primary staircase at the center of the southern block, and a secondary stairwell at the northeast corner of the original building. A small stair also provides access to the basement of the addition at the southeast elevation. The main stair in the original building features an original wood handrail with square balusters and newel posts, wood treads, and a wood chair rail which extends from the first floor. The secondary stair at the northeast of the building is similar, but less decorated, with painted wood treads, floors, and rails. The stairwell is otherwise unadorned.

Addition: The basement of the addition is accessed either by the basement of the original building, utilizing the stairs there, or by a set of stairs which lead to an exterior door at the south elevation.

Integrity: The University Press building retains integrity to convey its historic and continued use as a mixed-use industrial and commercial building constructed between 1916 and 1925. As detailed below, the building's significance stems from its establishment as the home of the first non-newspaper publishing company and press building, and one of the few non-residential Georgian Revival buildings in Watertown. The original building was expanded with an industrial addition at the rear in 1925 during the period of significance. The addition, while altered at the interior with new finishes, retains the overall open plan and original exterior materials and features typical of industrial buildings constructed at this time.

National Register Bulletin 15 describes integrity as the capability of a resource to convey its significance, and evaluates integrity based on a set of seven aspects detailing a property's physical features and how they relate to its significance.

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

Property name: The University Prints

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Property address: 9-13 Boyd St, Watertown, MA

Specific to the seven aspects of integrity:

Location: The University Prints building remains in its original location and thus retains integrity of location.

Setting: Originally constructed in 1916 amid a largely residential neighborhood, the University Prints building retains integrity of setting as the sole commercial/industrial building in an otherwise low-density residential neighborhood west of Galen Street surrounding Boyd Street.

Design: As detailed below, the building has undergone minimal alterations to the exterior since the construction of the rear addition in 1925, and displays a large majority of the original architectural features associated with the Georgian Revival style and the industrial period of Watertown in the early twentieth century. The interior of the original building has experienced replacement of finishes in select locations, including some replacement of flooring and the introduction of wood paneled walls. However, many original elements remain, including wood moldings, plaster ceilings, the general plan of offices and residential units at the first and second floors, and the open utilitarian space at the basement. The industrial addition has been converted to office and artist space, with minimal introductions of new divisions. Flooring has been covered with carpet and columns encased at the first floor level, however, the open floorplan, which is a primary characteristic of industrial manufacturing spaces, has been largely retained.

Materials and Workmanship: The building retains a high degree of integrity of materials and workmanship. The original structure and method of construction is extant across both the original building and addition. Changes to the original building are limited to the minimal replacement of finishes at select locations on the first and second floor, and minimal non-historic divisions of space at the first floor, likely undertaken during the mid-century following the closure of the University Prints business. Alterations include the removal of original flooring, woodwork, and wall treatments in some locations, but not all. Most of the historic woodwork within the original building remains, as do historic plaster walls and windows. Within the addition, finishes at the first floor have been largely replaced or concealed with carpeted floors and painted walls and doors. At the basement, however, more of the original materials, including concrete flooring and exposed steel beams and columns, have been retained, with the exception of mid-twentieth century office finishes.

Feeling and Association: As an early twentieth century mixed-use building dedicated to printing and publishing, the University Prints building was designed in the Georgian Revival Style, a subcategory of the Colonial Revival style, the latter of which was utilized for many buildings in Watertown around this time. The building retains all of its exterior finishes which contribute to the experience of the University Press building as an example of the Georgian Revival. As such, the University Press building retains association as an example of a Georgian Revival, mixed-use industrial, commercial, and residential building. As it did upon construction, the building continues to stand out amidst its Victorian era, including Second Empire residential neighbors, maintaining the contrast that emphasizes it as a non-residential building. The building continues

HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

Property name: The University Prints

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to reflect an association with the history of the printing industry in Watertown, reflecting a mixed-use office, residential, and industrial complex of the early twentieth century.

Overall, the University Prints building retains integrity and continues to convey its significance as both an example of Georgian Revival architecture in Watertown and as an example of a private printing press in the city.

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6. Statement of Significance

Summary

In 1916, The University Prints building was constructed by publisher, printer, and academic H.H. Powers to house the production and offices of University Prints, a local press and publisher of collegiate texts and images. The University Prints was Watertown's first publishing company unrelated to a newspaper. The building was expanded in 1925 with an addition at the rear to accommodate their growing business. The building also held the offices of Powers' second company, the Bureau of University Travel. The University Prints goal of arts education was bolstered by the Bureau of University Travel, which organized travel for students and educators across the globe, insisting that travel was an important element of education. The building is eligible for listing in the National Register of Historic Places at the local level under Criterion A in the category of Industry for its association with the printing and publishing industry in Watertown, Massachusetts. Between 1916 and the 1950s, H.H. Powers' companies, University Prints and the Bureau of University Travel, continuously contributed to the education of students and teachers through the publication of books, journals, and photographs related to the arts, architecture, and classic literature. Specializing in contracts for schools and universities, the University Prints served this area of academia for nearly half a century. The University Prints building is the only extant and purpose-built building constructed for a publishing company during the period of significance which extends from 1916 when the original building was constructed, to 1953, when the company came to an end.

The building is also significant under Criterion C in the category of Architecture as an excellent and rare example of the Georgian Revival as applied to a mixed-use industrial/commercial building in Watertown. Designed by Boston architects Brainerd and Leeds, the original building displays the typical features of the Georgian Revival as displayed in its brick construction, symmetry, divided-lite windows, projecting wood cornice, fanlite, and covered main entry. The flat roof and paired down detailing speak to the utilitarian uses within, and reflect the flexibility of the style's parent category, the Colonial Revival, which was implemented across a range of building types during this period. Referencing the designs of early American buildings in the eighteenth century, The University Prints building is the sole Georgian Revival building in its primarily residential neighborhood, drawing attention to its unique use. The building remains an intact example of a Georgian Revival commercial/industrial building in Watertown, Massachusetts, and reflects this period of publishing in Watertown.

Criterion A – Industry

Early History – Watertown

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Watertown, Massachusetts was settled in 1630 by a group led by Sir Richard Saltonstall.² It was one of the largest settlements of its time, providing the foundation for a notable industrial town in the coming century.³ By 1634, a mill was built on the river at what is now Watertown Square, harnessing the power of a waterfall for production and establishing a town center. By 1640, a footbridge was constructed on the site of the present-day Galen Street bridge for travel and transport by horse, connecting the north side of the city with the south across the Charles River. During this period, the town became self-sufficient with a robust agricultural industry producing a number of crops, meat, and dairy products.⁴ The town's proximity to the Charles River provided an opportunity to harness waterpower. In addition, it provided access to the center of the town by boat, allowing for the transportation of goods.

Throughout the later seventeenth and into the eighteenth centuries, Watertown saw business and industry springing up and down along the Charles River and Watertown Square while retaining its importance as an agricultural town. With the success of industry, the population increased from 1,057 in 1776 to 1,641 in 1830. In 1834, the Boston and Worcester Railroad was extended, servicing Newton Corner just south of Watertown.⁵ By 1837, textile and paper manufacture became notable industries as well.⁶ By 1839, there were two paper mills, a cotton mill, woolen goods finishing factory, other manufacturers, and print works in Watertown.⁷ Watertown was readily accessible by barge or schooner, which helped feed the early industrial period. As the nineteenth century approached and industrialization began, the town became a transportation hub rooted in the west side of Watertown, using the Boston Post Road, which would later become Main Street.⁸

In the late 1860s and early 1870s, new residential neighborhoods began to develop as the town grew. In the following two decades, the population of Watertown almost doubled from 6,000 to 10,000, leading to subdivisions of parcels across town. The population increased again with the introduction of street railways and the completion of the subway to Cambridge. The latter catalyzed suburbanization, making Newton and Watertown desirable residential destinations for those working in Boston and Cambridge. Industrial areas were linked with the river to the northeast of the subject site. Residential districts developed along Mt. Auburn-Main Streets north of the river, as well as on Galen Street, just east of the subject property.⁹ By 1875, the subject

² "Early Settlers—Watertown, MA—John Whitney – Random Thoughts in Thin Air ...," October 26, 2018, <https://www.kenspratlin.com/2018/10/early-settlers-watertown-ma-john-whitney/>.

³ "Https://Greenerpasture.Com/Places/ShowNews/82861," accessed February 19, 2024, <https://greenerpasture.com/Places/ShowNews/82861>.

⁴ "David J. Russo," accessed February 19, 2024, <http://www.davidjrusso.com/architecture/info/WatertownHistory.php>.

⁵ Candace Jenkins and Susan Abele, "MHC Inventory - Newton Corner North Village Center" (Newton, Massachusetts, January 1987).

⁶ "MHC Reconnaissance Survey Town Report - Watertown" (Boston, MA, September 1980).

⁷ "Https://Greenerpasture.Com/Places/ShowNews/82861."

⁸ "MHC Reconnaissance Survey Town Report - Watertown."

⁹ "11 Boyd St," 1911.

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neighborhood's freestanding houses were largely constructed, with multiple large undeveloped parcels owned by John F. Boyd himself, the namesake of the subject street, at the corner of Boyd and Galen Streets. The parcels owned by Boyd included what would become the site of The University Press building.¹⁰

By 1886, the area of Newton Corner, south of the subject building, had been developing into a town center, with banks and offices constructed near the railroad.¹¹ A branch of the Fitchburg Railroad wound through the entire length of Watertown and Newton by this point as well. The West End Street Railway provided convenient and frequent communication and connection with Boston. By 1895, to the south of Boyd Street, Newton had a national bank, a savings bank, a newspaper office, a high school, numerous factories, churches, and many notable residences and neighborhoods.¹²

Come the turn of the twentieth century, local roads were improved to accommodate the increasing popularity of the automobile. Centre/Galen Street was a primary thoroughfare connecting Newton Corner to Watertown. The 1911 publication of the Sanborn Fire Insurance Map shows that the greater area of Watertown south of the Charles River consisted primarily of single-family homes developed in low density neighborhoods. A small number of rowhomes were developed by this time on Galen Street. Closer to the river and railroad where there was good and convenient transportation, an industrial area flourished. Other than the Parker School on Galen Street just north, there were no institutional, commercial, or industrial buildings in the immediate vicinity of Boyd Street.¹³

The development of Watertown as a residential and industrial suburb of Boston was emboldened by the introduction of the railroad and streetcar, creating a desirable destination for those looking to live or work just outside the city. Residential neighborhoods were quickly developed, inviting those from the cities of Cambridge and Boston to pursue new chapters of their life there around the turn of the century.

The University Prints & the Bureau of University Travel

The building at 9-13 Boyd Street, historically known as The University Prints building, was constructed ca. 1916.¹⁴ The earliest mention of University Prints uncovered by research was published by the Boston Evening Transcript on July 2, 1910. The advertisement was geared towards the Bureau of University Travel, which seemed to be affiliated with University Prints, then located at 31 Trinity Place in Boston, Massachusetts.¹⁵ These two businesses were founded

¹⁰ Historic Map Works LLC, "Watertown Map, Atlas: Middlesex County 1875, Massachusetts Historical Map," accessed February 20, 2024, <https://www.historicmapworks.com/Map/US/15166/Watertown+Map/>.

¹¹ "Atlas of the City of Newton Massachusetts" (New York, New York: J.B. Beers & Co., 1886).

¹² "Atlas of the City of Newton Massachusetts."

¹³ "11 Boyd St," 1911.

¹⁴ Charlotte Littlewood, The University Prints Building, 2024, Watertown Public Library.

¹⁵ "Advertisement for the Bureau of University Travel," *The Boston Evening Transcript*, July 2, 1910.

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by Dr. Harry Huntington Powers, a local academic, professor, and businessman who specialized in the world of art and architecture. H. H. Powers was originally from Hebron, Wisconsin, and graduated from the University of Wisconsin in 1882. He then returned to his alma mater as a professor of French, German, and economics. Following his time at the University of Wisconsin, Powers did post-graduate work at the University of Berlin, instilling a fascination with travel.¹⁶ Upon returning to the states, Powers taught at Oberlin, Smith, Stanford, and Cornell, retiring as a professor in 1902. Powers believed in the power of travel as education and began to experiment with a new educational travel company, the Bureau of University Travel, the same year.¹⁷ The business was originally located in Boston.¹⁸ Shortly after beginning his business, Power's entered the world of printing and publishing with his company The University Prints.¹⁹ The two businesses would go on to work hand in hand.

In 1911, Professor H.H. Powers relocated from Boston to southern Watertown, bordering the northeast edge of Newton, and took his businesses with him. Powers took advantage of the blossoming suburban community and constructed a new headquarters building and primary residence at 9-13 Boyd Street for The University Prints in 1916.²⁰ The Georgian Revival building housed production in the basement, offices on the first floor, and a private residence for H. H. Powers and his wife on the second floor.²¹ The neighborhood was otherwise strictly residential, with his new building being the only mixed-use construction in the immediate neighborhood west of Galen Street.²² It was set apart from the various Victorian era freestanding houses to the west and Second Empire rowhouses just east on Galen Street with its Georgian Revival design and brick construction, of which there was little in the immediate neighborhood.

In 1917, University Prints was the only publisher in Watertown that wasn't a newspaper.²³ Being on the edge of Watertown and Newton, the address was sometimes listed in Watertown and sometimes in Newton. University Prints specialized in school and college orders, providing universities with texts and images for the purposes of education.²⁴ In 1917, the company published over 3,000 subjects of painting, sculpture, and architecture. Included were halftone reproductions and lantern slides for the purpose of art study. In 1918, they were one of the only publishers in Watertown to be considered an art dealer by the American Art Annual.²⁵

¹⁶ "Obituary for Dr. Harry H. Powers," *The Boston Globe*, December 9, 1936.

¹⁷ "Dr. H. H. Powers Dies in Newton," *The Boston Herald*, December 9, 1936.

¹⁸ "Many Bostonians Return," *Boston Globe*, July 19, 1911.

¹⁹ "Obituary for Dr. Harry H. Powers."

²⁰ Littlewood, The University Prints Building.

²¹ "J.H. Powers and Miss Burdick Wed," *The Boston Globe*, June 23, 1922.

²² "11 Boyd St" (Watertown, Watertown County, Massachusetts: Sanborn Map Company, 1923).

²³ "Watertown Directory" (Watertown, MA, 1917).

²⁴ Florence N. Levy, "American Art Annual - Who's Who Among Art Dealers" (Washington, D.C: The MacMillan Company, 1918).

²⁵ Levy.

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In 1922, the Dartmouth Alumni Magazine published a column titled “*Bureau of University Travel Announces New Plans*,” which announced the company’s new plans to reorganize as an educational institution with a non-profit charter prohibiting profits. With this move and the ongoing work of University Prints, they had outgrown the offices at 11 Boyd Street. Powers commissioned a large addition for industrial production and printing to be constructed at the rear of the 1916 building. From 1921 to 1923, the Bureau of University Travel’s location was advertised as being located at 2 Boyd Street in Newton.²⁶ In 1924, an advertisement referenced offices at 51 Boyd Street.²⁷ Others continued to advertise their location at 11 Boyd Street. The offices of the Bureau of University Travel existed at multiple locations during this period of expansion, but continued to function out of 9-13 Boyd Street during construction as well, likely supplementing with other nearby spaces.²⁸ These changes in address can be attributed to growth of the companies and the ongoing construction of the addition, which was completed by 1925.²⁹ By 1926, they shared their newly expanded space with another printer, the Garden City Press.³⁰ Research did not uncover the extent of their relationship, but it is likely that Garden City Press occupied one of the floors while The University Prints utilized the other in conjunction with their original basement space.

From the newly expanded 9-13 Boyd Street, and under the auspices of his newly reorganized travel business, Powers re-entered the world of education. Their opening year, they offered a Scholarship Tour in addition to their regular University Tours, which was geared towards students and teachers of history, the classics, art, and architecture. The tours covered all parts of the world. Applications to the program were received at 11 Boyd Street, the headquarters address for the institution.³¹ The combined headquarters of Powers’ businesses were strengthened by his collaboration with his son Joseph H. Powers, who became a publisher at The University Prints.³²

By 1923, the neighborhood had grown slightly, with new development occurring along Galen Street and to the south in Newton.³³ Only a block north, a Marriot Hotel and parking garage was constructed between 1916 and 1923, feeding off the developing areas along the railroad and river, where the New National Bank and multiple meeting halls and offices existed.³⁴

By 1926, local publishing companies in Watertown were primarily newspapers. A handful of printers existed in Watertown by this point, most being on Mt. Auburn Avenue, Main Street or

²⁶ “Bureau of University Travel Advertisement,” *Kansas City Sentinel*, March 27, 1921.

²⁷ “Bureau of University Travel Advertisement,” *Kansas City Sentinel*, November 9, 1924.

²⁸ Pedro J. Lemos, “The School Arts Magazine” (Worcester, Massachusetts: The Davis Press, Inc., 1923), University of California.

²⁹ Littlewood, The University Prints Building.

³⁰ “Watertown Directory” (Watertown, MA, 1926).

³¹ “Bureau of University Travel Announces New Plans,” *The Dartmouth Alumni Magazine*, March 1922.

³² “Who’s Who in Massachusetts - A Volume Containing a Biographical History of Every Important Living Person in the Commonwealth” (Boston, MA: Larkin, Roosevelt & Larkin, LTD., 1940), University of Illinois.

³³ “11 Boyd St,” 1923.

³⁴ “11 Boyd St.”

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Washington Avenue, but The University Press remained the only publishing company unrelated to the newspaper business.³⁵ The University Prints became a notable publisher of the arts, being referenced in the 1937 Metropolitan Museum of Art's list of photographers and dealers of photographs of American architecture, painting, sculpture, and the decorative arts.³⁶

In 1934, Harry H. Powers retired as president of the Bureau of University Travel.³⁷ Two years later, he passed away after being involved in a serious automobile accident.³⁸ Following his death, his son Joseph H. Powers took over the family business of University Prints and moved into the office space, residing nearby in Newton. The Bureau of University Travel would go on, being led by a team who joined the company around 1923, at the expansion of the Power's complex.³⁹ The upstairs residential space was rented out to tenants as well. By 1939, alongside the functions of The University Prints, a portion of their space was rented out to Garden City Press Inc.⁴⁰ Located at the building was also one of two developing and printing shops in Watertown.⁴¹ The company continued into the mid-century, likely remaining until the mid-twentieth century as Joseph Powers health declined. In 1953, Joseph H. Powers passed, closing the story of The University Prints.⁴² Throughout the mid-century, the building was rented to a number of tenants. In 1955, the rear space was rented to company who manufactured and prepared frozen baked goods.⁴³ By 1979, a printing company continued to occupy the rear addition, while a seamstress occupied an office to the west on the first floor.⁴⁴

The University Prints building, located in an unusually residential neighborhood for operations of its kind, has served this area of Watertown south of the Charles River consistently since 1916. The Georgian Revival style building and industrial addition retain a high level of integrity, reflecting the architectural knowledge and tastes of academic R.R. Powers, who was firmly committed to art and design education throughout his career and life. The building ultimately created a hub for local industry and makers, offering space in a quiet neighborhood between two major suburban and historically industrial town centers.

Printing and Publishing in Watertown

³⁵ "Watertown Directory," 1926.

³⁶ "Photographs of American Architecture, Painting, Sculpture, and Decorative Arts - A List of Photographers and Dealers" (New York: The Metropolitan Museum of Art, 1937), University of Illinois, <https://babel.hathitrust.org/cgi/pt?id=uiug.30112045811657&seq=13&q1=11+boyd+st>.

³⁷ "Dr. H. H. Powers Dies in Newton."

³⁸ "Obituary for Dr. Harry H. Powers."

³⁹ "Who's Who in Massachusetts - A Volume Containing a Biographical History of Every Important Living Person in the Commonwealth."

⁴⁰ "Watertown Directory" (Watertown, MA, 1939).

⁴¹ "Watertown Directory" (Watertown, MA, 1942).

⁴² "Obituary - Joseph H. Powers," *Boston Globe*, 1953.

⁴³ "Certificate Granting Variance or Special Permit - Hartshorn Associates Inc." (Watertown, MA, February 8, 1955).

⁴⁴ "Certificate Granting Variance or Special Permit - Mari Essayan" (Watertown, MA, August 30, 1979).

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Watertown's printing and publishing history is largely connected to the newspapers and periodicals which were established during the nineteenth and twentieth centuries. The earliest printers functioned out of residential houses, not unlike the University Prints building which had multiple uses. The town, though it did boast its own publishers and printers, initially relied on local businesses in combination with larger companies in nearby Cambridge and Boston. These larger companies were often mentioned alongside local companies in earlier directories. Some publishing and printing companies were related to local bookstores, such as the Pequossette Press, which distributed small weekly periodicals. Others were more substantial newspapers, such as the Watertown Sun (1921-1997) and the Watertown Tribune Enterprise (1879-1949).⁴⁵



Figure 1, Eugene Fanning House/Fanning Printing Company. 88 High St, Newton, MA. 1889. (NWT.101)

Of those earlier printing companies was the Fanning Printing Company (NTW.101), which operated out of a house in nearby Newton.⁴⁶ The Fanning Printing Company building, located at 88 High Street and was constructed in 1889 by an unknown architect. The house, which is now primarily residential, originally housed a few different functions. The first floor was dedicated to printing while the second housed a paper box factory. The remaining space was residential. The building was designed in the Colonial Revival style. Unlike University Prints, which was purpose built, it is likely that the Fanning House was converted to accommodate non-residential functions at the interior during the Fannings occupation as they diversified their businesses. For

⁴⁵ "Newspapers | Watertown Library, MA - Official Website," accessed February 21, 2024, <https://www.watertownlib.org/233/Newspapers>.

⁴⁶ "Form B - Building: 11-13 Chester Street" (Watertown, MA: Massachusetts Cultural Resource Information System, September 10, 1982).

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early small businesses involved in printing, operations like this often functioned out of the home.⁴⁷



Figure 2, original location of the Pine Tree Press. 1887. (WAT.247)⁴⁸

Prior to The University Prints' arrival in Watertown, the area had only two large-scale printers, Fred G. Baker and McLauthlin & Co, both located on Main Street near Watertown Square by 1897.⁴⁹ This established Watertown Square as a hub for printing and publishing, with a number of newspapers, such as the Watertown Press and the Enterprise Tribune located there by 1915.⁵⁰ The number of printers in the town grew between 1897 and 1915, with McLaughlin & Co, the Enterprise Tribune, and Watertown Press holding strong on Main Street, and the smaller Pine Tree Press functioning out of a house in a residential neighborhood at 13 Chester Street constructed in 1887 (See above, Figure 2).⁵¹

Printing history after the turn of the century in Watertown is largely limited to the small print shops scattered across residential neighborhoods, and large newspapers which were centered in Watertown Square across the Charles River and further northeast on Mount Auburn Street. The University Prints building existed outside the typical areas for publishing and industry in Watertown. Pine Tree Press, which originally shared a similar story, inevitably moved to Mount Auburn Street, joining other printers by 1930.⁵²

⁴⁷ Gretchen Schuler, "Form B - Building: Eugene Fanning House" (Newton, Massachusetts: Massachusetts Cultural Resource Information System, February 1993).

⁴⁸ "Form B - Building: 11-13 Chester Street."

⁴⁹ "Watertown Directory" (Watertown, MA, 1897).

⁵⁰ "Watertown Directory" (Watertown, MA, 1915).

⁵¹ "Watertown Directory."

⁵² "Watertown Directory" (Watertown, MA, 1930).

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Between 1897 and 1916, there were no formal publishers in Watertown, only printers. Readers were instead directed to George H. Walker & Co., located in Boston. In 1916, The University Prints opened in Watertown, marking the first publishing company unrelated to a newspaper in the town.⁵³ While printers had existed in Watertown prior, a formal publisher of this kind, which worked in both printing and publishing, did not yet exist.



Figure 3, Arthur T. Nelson Block, NR 2002 (WAT.370).

In 1919, more printers opened shops on Main Street, including Leroy S. Eaton at 22 Main Street, who was also involved in the newspaper business.⁵⁴ On Mount Auburn Street, a few printers opened shops, including Mt Auburn Press at 602 Mount Auburn Street and Ellis S. Ripley by 1923, who occupied the Arthur T. Nelson Block.⁵⁵ The Arthur T. Nelson Block at 137-151 Mount Auburn Street (WAT.370) was home to several print shops, law offices, and other service-related commercial spaces such as barber shops and cobblers.⁵⁶ The building was constructed the same year as University Prints in 1916 and designed by Abraham Marshall. The Nelson Block is a vernacular commercial building which served the printing industry, alongside numerous other businesses, as a multi-unit storefront building. While tenants varied, the building represents Mount Auburn Street as a place which contributed to early printing history in Watertown.

⁵³ “Watertown Directory” (Watertown, MA, 1916).

⁵⁴ “Watertown Directory” (Watertown, MA, 1919).

⁵⁵ “Watertown Directory” (Watertown, MA, 1923).

⁵⁶ Karen L. Davis, “Form B - Building: Arthur T. Nelson Block” (Watertown, MA: Massachusetts Cultural Resource Information System, May 1999).

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With Main Street in Watertown Square and Mount Auburn Street being the primary centers for print and publishing, University Prints is the only company that remained in their original building in a largely residential neighborhood for the entirety of their life as a company. They established a long-lasting location for printing services at their location on Boyd Street. The site of the building was likely ideal, being residential enough to have a living space on the second floor, and close to two town centers with ease of transportation from either to the cities of Boston and Cambridge. In 1926, Garden City Press, originally a print company from Beverly, Massachusetts, moved into the University Prints building alongside its namesake, remaining there until the mid-century.⁵⁷ The facility constructed by H.H. Powers allowed future tenants to establish similar business there in the following decades.

The University Prints was an extremely unique and specialized company, focused on publishing books, journals, photographs, and more related to arts education. They served local universities and schools, providing and publishing texts alike, and remained the only publisher in Watertown through the mid-twentieth century that was unrelated to the newspaper business. Functioning for almost half a century in Watertown, The University Prints building is a remnant of early publishing history in the town.

Criterion C – Architecture Georgian Revival Overview

The Georgian Revival style is a branch of the Colonial Revival style, which referenced early English and Dutch colonial houses found in the United States. These styles were some of the most prevalent in the English colonies throughout the eighteenth century. The Georgian style arrived in the United States from British pattern books in the early sixteenth century, influencing the country's architecture during its first stages of growth. The original Georgian period in the United States stretched across the country's early history, from 1725 to 1780.⁵⁸

Georgian houses of the eighteenth century were often two-story stone or brick buildings with a symmetrical arrangement of windows and doors on the front facade. Common building types designed in the style include houses, schools, and courthouses.⁵⁹ Most were simple, symmetrical buildings with a variety of classical details and gabled or hipped roofs. Windows were symmetrically spaced, with paneled doors with decorative surrounds framed by pilasters.⁶⁰

Being a relatively young country, the Colonial Revival became one of the most popular and long-lasting styles in America as the country became interested in its own history following the Philadelphia Centennial of 1876. As an awareness of the country's history bled into architectural

⁵⁷ "Watertown Directory," 1926.

⁵⁸ "Andover's Architectural Styles | Andover Historic Preservation," accessed February 20, 2024, <https://preservation.mhl.org/history>.

⁵⁹ "Georgian Style 1700 - 1800 | PHMC > Pennsylvania Architectural Field Guide," accessed February 19, 2024, <https://www.phmc.state.pa.us/portal/communities/architecture/styles/georgian.html>.

⁶⁰ "Andover's Architectural Styles | Andover Historic Preservation."

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thinking, the firm of McKim, Mead and White began designing buildings inspired by the late eighteenth and early nineteenth century Federal and Georgian Buildings. Architects sought to suggest elements of the original colonial era, including pedimented or gabled windows, porches, pilasters, columns, main entry doors with side and fan lites. The style was applied to a range of buildings, including houses, banks, libraries, churches, and schools.⁶¹ From around 1880 to the mid-twentieth century, the Colonial Revival period remained strong, largely thanks to a period of revived patriotism that erupted with World War I around the turn of the century, driving the country to continue referencing its own history.⁶²

The Colonial Revival, of which the Georgian Revival falls under, featured simple features referencing the aforementioned early American buildings while implementing new building technology. The style was easily adaptable to a range of building types.⁶³ The Colonial Revival combined elements of the original American Georgian and Federal periods, and more freely interpreted them, creating a range of stylistic references of early American architecture.⁶⁴ Floor plans were commonly rectangular with symmetrical wings. Like those early building's facades were designed symmetrically with relatively plain detailing and geometric proportions. Examples of the style often featured paired triple or bay windows, one story side wings, and gabled, hipped, or flat roofs. Brick was a popular choice for masonry.⁶⁵ Entries featured wood paneled doors with fanlights, flanked by columns and pilasters which supported porches or porticos with angular, Grecian simplicity. A cornice was often emphasized by decorative moldings or dentils, and windows were double-hung with multi-lite sashes, commonly twelve-lite or nine-lite.⁶⁶

The Georgian Revival, while present in Watertown, is not very common. Of those buildings inventoried by the Massachusetts Historical Commission, only five surveyed buildings are considered to be Georgian Revival. Included are two religious buildings, the Bigelow Chapel at the Mount Auburn Cemetery on Mount Auburn Avenue, and the Episcopal Church of the Good Shephard on Russel Avenue, and three houses. No other printing or publishing building represents the Georgian Revival, making the University Prints building a unique and representative example for its use.

The University Prints Building – Local Architectural Context

⁶¹ "Colonial Revival Style 1880s - 1940s (U.S. National Park Service)," accessed February 20, 2024, <https://www.nps.gov/articles/colonial-revival-architecture.htm>.

⁶² "Andover's Architectural Styles | Andover Historic Preservation."

⁶³ "Colonial Revival Style 1880s - 1940s (U.S. National Park Service)."

⁶⁴ "Andover's Architectural Styles | Andover Historic Preservation."

⁶⁵ "Georgian Revival (1890-1955) | City of Urbana," accessed February 19, 2024, <https://urbanailinois.us/residents/historic-urbana/100-most-significant-buildings/architectural-styles/georgian-revival>.

⁶⁶ "Georgian Revival Style," accessed February 19, 2024, <https://www.buffaloah.com/a/archsty/geo/index.html>.

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Of buildings in Watertown and Newton, a number were constructed in the Colonial Revival style, and typically display a range of similar characteristics. However, very few non-residential Georgian Revival buildings exist in Watertown, especially those that house industrial purposes. The most notable example is the Administration Building of the Watertown Arsenal. Newton to the south has more surveyed examples, however, the mixed-use building type of The University Prints remains unique. The building represents a rare example of the style as adapted to a non-residential building in Watertown, accommodating the mixed use needs of housing, offices, and manufacturing. To understand the context of the Georgian and Colonial revival in the local context, the Arsenal provides the most notable example in Watertown. The building is listed in the National Register of Historic Places (NR 1999, WAT.K) as a contributing resource to the Watertown Arsenal Historic District.



Figure 4, Watertown Arsenal Administration Building. 1900. (WAT.353)

The Administration Building of the Arsenal complex (WAT.353) was constructed in 1911 and serves as an excellent example of the Georgian Revival in Watertown. Simple in style, the building introduced the style to the campus and was loosely modeled after Philadelphia's Independence Hall, reflecting the aforementioned patriotism and interest in American history. It was designed by another Boston architect, Charles H. Alden Jr. The two story, red brick building features a raised basement, water table, a raking cornice, multi-lite double-hung windows, a fanlite over the main entry, pilasters, and a plain frieze, all elements present at the University Prints building. The Arsenal building differs most notably in its grandiosity and size and is further emphasized by its central cupola and pediments. Being used for the administration of a large and public operation, the building reflects the importance of its duties and centralizes it

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architecturally as an important part of the complex. Unlike the simple, utilitarian example of the University Prints building, this building sought to establish authority and rank.⁶⁷

Architects of the University Prints building, Brainerd and Leeds, were not strangers to the Colonial Revival, nor to the towns of Newton or Watertown. The year after the Arsenal's new Administration Building was constructed, the Newton West Suburban Y.M.C.A (NWT.2828) was designed by Brainerd and Leeds, also utilizing the Colonial Revival style.



Figure 5, Newton West Suburban Y.M.C.A. Designed by Brainerd and Leeds. (NWT.2828, PR 2005)

The Newton West Suburban Y.M.C.A is located at 276 Church Street in Newton Corner, just south of the subject area. This building gives us another example of the Colonial Revival as applied to a non-residential building in the Newtown/Watertown area. Though it is a community center and not a commercial or industrial building, the Y.M.C.A building features similar characteristics to the subject building. The two buildings share brick construction, a flat, parapet roof, a symmetrical facade, a covered entrance, divided-lite windows, and simple ornamentation. Brainerd and Leeds adaption of the style for the different purposes held within reflect both the architects comfort and experience with the Colonial/Georgian Revival, and also the style's innate ability to be applied to a range of building types, utilizing different combinations of architectural elements.⁶⁸

⁶⁷ Virginia H. Adams, "National Register of Historic Places Form - Watertown Arsenal Historic District" (Watertown, MA, May 12, 1999), <https://mhc-macris.net/details?mhcid=WAT.353>.

⁶⁸ Chris Moore, "Form B - Building: Young Men's Christian Association" (Newton, Massachusetts: Massachusetts Cultural Resource Information System, July 14, 2005), <https://mhc-macris.net/details?mhcid=WAT.353>.

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Figure 6, 257 Prince St, Newton, MA. Designed by Brainerd and Leeds.

Brainerd and Leeds also designed a number of private residences in the area, including 257 Prince Street, known historically as the Eliza Zinderstein House (NWT.7314) in Newton (See above, Figure 6). 257 Prince Street was built in 1912 and designed by Brainerd and Leeds, also in the Colonial Revival Style. Though the building has more differences than commonalities with the University Prints building, 257 Prince Street offers another example of Brainerd and Leeds Colonial Revival work in the local area. The style is reflected in the symmetry of its facade, portico, and divided-lite windows. These elements are seen at The University Prints as well; however, the details are simpler, accommodating a building which primarily had commercial and industrial purposes. At 257 Prince Street, the ornament and dramatic elements reflect a more ornate version of the style. At the University Prints building, the features seen at 257 Prince Street, such as the grand portico and bay windows, are paired back to features like a simple flat roof and small covered entry.⁶⁹

Aside from illustrating the architect's work, the design of 257 Prince Street also helps show how residential instances of the Colonial Revival can differ from mixed-used and commercial buildings. Though not a true comparative example for the University Prints building due to their architectural differences and use, this iteration of the Colonial Revival helps us understand how revivalist design was applied to different kinds of buildings. As a more commercial and industrial example, the details seen at University Prints are simplified.⁷⁰

⁶⁹ Yvonne Alberts and Laura Foote, "Form B - Building: Eliza Zinderstein House" (Newton, Massachusetts: Massachusetts Cultural Resource Information System, December 2016), <https://mhc-macris.net/details?mhcid=WAT.353>.

⁷⁰ Alberts and Foote.

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Figure 7, Union Building, Newton Center NWT.3283

As few other commercial examples of the Colonial or Georgian Revival exist in Watertown, Newton's Union Building (NWT.3283) provides a good comparison. Grasping on to elements of the Colonial Revival while adapting it to a commercial purpose, the Union Building utilized elements like brick construction, a round arched covered entrance, pediments, symmetry, and a dominant wood cornice to reference the style, all of which are present at University Prints. However, instead of the typical gabled roof seen at residential examples, the Union Building utilized a flat roof. Seen at both the University Prints and Y.M.C.A. buildings, this choice relates to its differing use. Being on a main street, the Union Building has storefronts, inviting pedestrians in. This contrasts with the University Prints building, which is located on a residential street and primarily dedicated to more private uses, including housing, industrial, and commercial.⁷¹

Conclusion

The University Prints building, including its original 1916 Georgian Revival building and the 1925 addition holds an important place in the history of printing and publishing in the town and

⁷¹ "Form B - Building: Union Building" (Newton, Massachusetts: Massachusetts Cultural Resource Information System, May 15, 1983), <https://mhc-macris.net/details?mhcid=WAT.353>.

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represents a unique iteration of the style in Watertown. Being the first publisher unrelated to a newspaper, the University Prints substantially contributed to educational publications, specifically in the arts and architecture, serving educational institutions from their headquarters in small residential neighborhood south of the Charles River at the edge of Newton. Constructed particularly for the businesses and living quarters of R.R. Powers, the building reflects the adaptability of the Georgian Revival style. Applied to this mixed-use, largely utilitarian building, The University Prints represents a simple, small-scale, and non-residential iteration. The building retains nearly all the exterior elements necessary to reflect both of its building campaigns, as well as its association with its style and the history of printing and publishing in Watertown.

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Site Map





Dear Building Inspector/Code Official,

I am writing to respectfully present a case for the preservation of the historic fire doors located at The Universal Prints Building (9 Boyd St.) in Watertown, MA. These doors are an integral part of the building's architectural heritage and embody significant historical value. The owner is facing a requirement under modern building code regulations to increase the height of these doors by one inch. While we fully support the importance of fire safety and compliance, modifying these doors to meet this requirement would present considerable challenges in terms of both cost and historic integrity.

1. Adverse Impact on Historic Integrity

The fire doors in question are original features of the building, most likely dating to the late 19th or early 20th century. They were manufactured by Coburn, as indicated by the attached reference materials, which emphasizes their craftsmanship and historical significance. There are few examples left of these doors in-situ and in this good of a condition.

Altering these doors would contravene **Section 106 of the Secretary of the Interior's Standards for Rehabilitation**, which clearly states that "the historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided."

The doors, as they currently exist, contribute to the building's overall historic integrity. Increasing their height by even one inch would require invasive modifications, disrupting their original design and craftsmanship. Such alterations could diminish their value as authentic historic artifacts.

2. Financial Hardship for the Property Owner

The property owner is prepared to maintain and restore these doors in their current configuration, but the mandated height adjustment would incur significant costs. Custom fabrications and retrofitting the surrounding door frames to accommodate the increase in height would be an expensive and complicated process, adding unnecessary financial strain on the owner, who is already investing in preservation efforts.

Replacing or significantly altering historic doors for the sake of meeting a minor dimensional code requirement not only adds to the costs but also sacrifices the authenticity of the historic fabric that is central to the building's significance.

3. Adherence to the Secretary of the Interior's Standards

In light of these challenges, we believe that compliance with both safety codes and historic preservation standards can be achieved through alternative solutions. The **Secretary of the**

Interior's Standards for Rehabilitation encourages the use of “repair and replacement of historic materials with materials that match the old in design, color, texture, and other visual qualities.” This can be interpreted to suggest that minimal alterations, such as using appropriate fire-rated materials to enhance the existing doors without changing their size, could provide a balanced solution.

Additionally, Section 106 promotes the idea of “compatible alterations” that do not damage the historical elements of a property. Given the doors’ historical significance, we advocate for a variance that would allow the retention of these fire doors in their original state while still providing appropriate fire protection through less invasive means, such as fire-retardant coatings, upgraded hardware, or fire-rate panels, as deemed appropriate.

Conclusion

In summary, we urge the code enforcement team to consider a variance or alternative compliance method that prioritizes the preservation of the historic fire doors in their current form. Modifying these doors to meet modern code height requirements would impose unnecessary financial hardship on the owner and would irreversibly damage a significant historical feature of the building.

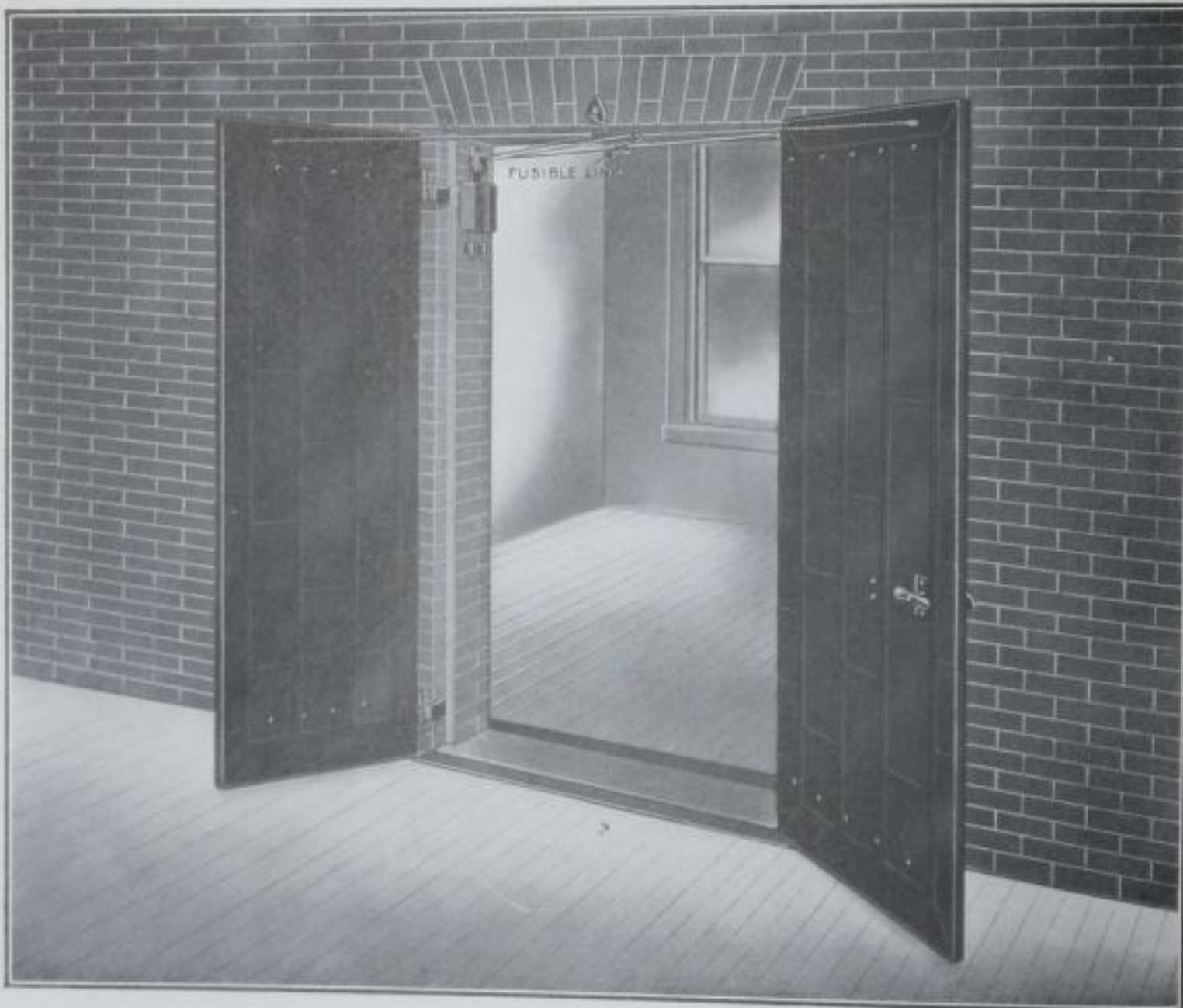
We believe that a collaborative approach—focusing on fire safety while preserving historical integrity—will serve both the building and the community of Watertown, maintaining the authenticity and character of this historic property.

Thank you for considering this request. We look forward to working with you to find a solution that honors both the building’s safety and its historic value.

Sincerely,
Duane D Houghton
President/CEO
Early American Restoration

COBURN

DOUBLE SWING



STYLE "R R"

(Not Labeled)

	Price List
Complete set of fixtures for 4'-0" wide Flush Door.....	\$14.50
Complete set of fixtures for 4'-0" wide Overlap Door.....	15.50
For wider doors add per foot.....	.75
Automatic Closing device, complete.....	8.00
Steel Astragal to bolt to door per foot.....	.25

NOTE—Hinge Pintles and Astragal are not included in above prices of sets. (For prices of Pintles see page 22.)

NOTE—Prices of above Complete Sets include four hinges, single latch, gravity top bolt, gravity bottom bolt and automatic closing device. If six hinges are required add price of extra hinges. (See page 26 for prices of hinges.)

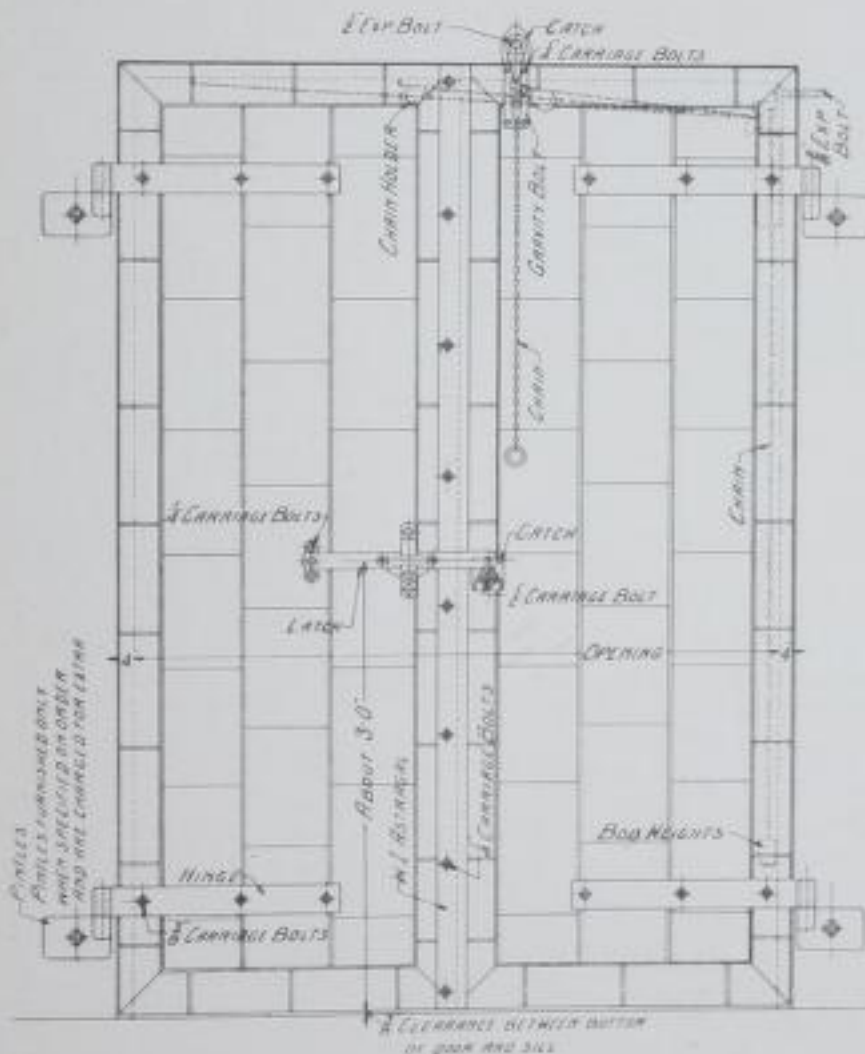
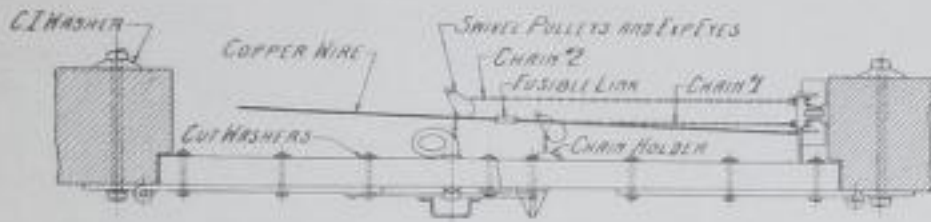
Price List of Doors on Page 3.

In ordering give data on pages 43 and 34.

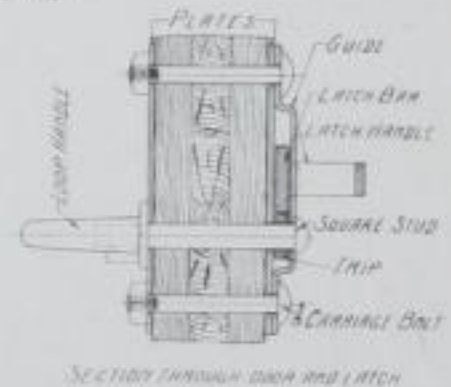
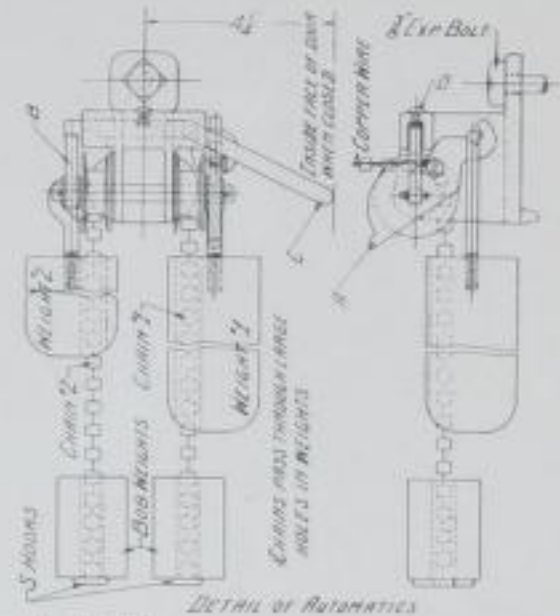
COBURN

Style "R R"

Erection Sheet



THIS IS A RIGHT HAND PAIR OF DOORS



NOTE—Hinge Blocks or Pintles are not included in set of fixtures. Same are furnished only when ordered extra.

Wall Bolts are not included in set of fixtures. Same are furnished only when ordered extra.